

APPLICATION FORM

BOARD OF ADJUSTMENT AND ZONING APPEALS ACTION BOONE COUNTY PLANNING COMMISSION

See Boone County Zoning Regulations SECTION A (To be completed by applicant)

(Check One)

1. [X] Boone [] Florence [] Walton [] Union

(Check One)

2. [X] Conditional Use Permit [] Variance [] Appeal [] Change in Non-Conforming Use

3. Applicant's Name Kinman Farms "Aaron Anderson" Phone Number 859-687-2682 Fax No. Applicant's Address 4175 Burlington Pike Burlington KY 41005

4. Description of Request: corn maze, hay ride, pony ride

5. Name of Development FARM TOURS, EDUCATIONAL TOURS, RECREATION, WALKING TRAILS

6. Location of Development 4175 Burlington Pike Burlington KY 41005

7. Acreage Under Review 134.55

8. Lot Number and Name of Subdivision (if part of a subdivision)

9. Owner of Property Kinman Farms

10. Address of Property Owner 4065 Burlington Pike Phone No. 859-586-8272 Burlington KY 41005

11. Proposed Use(s) on Site

12. Total Square Footage of Existing and/or Proposed Buildings

13. Current Zoning on Property A-2

14. Deed Book 597 Page No. 142 Group No. 2028 & 2029

15. Is the site subject to a zone change? NO

16. Have you submitted a Site Plan with this request? YES

17. Have you submitted a list of adjoining property owners with this request? YES

18. I, or we, understand and agree that this application and drawing(s) are being filed in accordance with the Boone County Zoning Regulations.

Applicant's Signature: Aaron Anderson

Property Owner's Signature: Glenrose Kinman

**BOARD OF ADJUSTMENT AND
ZONING APPEALS ACTION
APPLICATION
PAGE 2**

SECTION B (To be completed by the Boone County Planning Commission Staff)

1. Date Received 9-18-07 Fee Received \$571⁰⁰ R# 54672
2. Is application complete? Yes No
3. Staff Reviewer KENIN WALL
4. Scheduled Board Action Date 10/10/07
5. Board Action:
 Approved
 Approved with Conditions (See #6)
 Denial (See #7)
6. Conditions of Approval: _____

7. Reasons for Denial: _____

**Boone County Planning Commission
Boone County Administration Building
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005
(859) 334-2196 - Phone
(859) 334-2264 - Fax
plancom@boonecountyky.org - E-mail
www.boonecountyky.org - Web Page**

NOTE: See Boone County Planning Commission Fee Schedule for Board of Adjustment Fees.

Site Plan Review is not granted by the appropriate Board of Adjustment.

An application consists of all fees paid in full, submitted drawings and a completed application form.

STAFF REPORT

APPLICANT: Aaron Anderson for Kinman Farms

LOCATION: 134.55 Acre Site Located at 4175 Burlington Pike, Boone County, Kentucky

ZONING: Agricultural Estate (A-2)

DATE: October 10, 2007

Proposal

The Applicant is requesting a Conditional Use Permit to allow agricultural exhibit and sales functions at the above referenced location. These functions include tours, a petting zoo, a corn maze, hay rides, walking trails, and sales of agricultural products. These activities are already occurring on the property in some capacity.

Applicable Regulations

Article 2, Section 220 of the Boone County Zoning Regulations states that one of the duties of the Board of Adjustment is to grant conditional use permits as specified by the zoning order.

Article 6, Section 623 of the Boone County Zoning Regulations permits "roadside stands, farmers mart and similar sales uses of agricultural and related products including specialty crafts and foods (Site Plan Review required)" and "botanical gardens and arboretums, nature preserves, wildlife habitats and other natural exhibitions (Site Plan Review required)" as Conditional Uses in the A-2 zone.

Article 30, Section 3007 of the Boone County Zoning Regulations states that "property involving a conditional use and/or variance shall be subject to the Boone County Planning Commission Site Plan review and approval if required by an individual zoning district."

Article 33, Section 3312 of the Boone County Zoning Regulations states that "all parking areas shall be striped to facilitate movement into and out of the parking stalls."

Article 33, Section 3314 of the Boone County Zoning Regulations states that "all parking and loading areas set forth in Sections 3311 and 3325, including driveways, aisles, vehicle storage, outdoor storage, and vehicle circulation areas shall be improved with either asphalt concrete or portland cement concrete to provide a durable and dust free surface."

The Board shall evaluate the applicant's request as it relates to the criteria necessary for granting a Conditional Use Permit as stated in Sections 262 and 613 of the Boone County Zoning Regulations.

The "general standards" listed in Section 262 include:

1. Will be harmonious with and in accordance with the general objectives, or with any specific objective of the County's comprehensive plan, a specific corridor plan and/or the zoning order;
2. Will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and shall not change the essential character of the same area;

3. Will not be hazardous to existing or future neighboring uses;
4. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately such services;
5. Will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community;
6. Will not involve uses, activities, process, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, dust, fumes, glare, or odors;
7. Will have vehicular approaches to the property which shall be so designated as not to create an interference with traffic on surrounding public thoroughfares.

Article 6, Section 623 of the Boone County Zoning Regulations allows the proposed uses in the A-2 zone as Conditional Uses provided:

- A) The activity is an integral part of the agricultural or residential use of the land, and the activity is not of scale, nature or other character which will detract or conflict with the principal purposes of the district; or
- B) The activity is necessary to provide the specified public service for the residents of the district so long as the service area, use, scale or other character of the activity does not overpower, transient or conflict with the principal purpose of the district; and
- C) Provided the arrangement of use, building or structure is mutually compatible with the organization of permitted and accessory uses to be protected in the district.

Relationship to the Comprehensive Plan

The 2005 Boone County Comprehensive Plan's "2030 Future Land Use Map" designates the vast majority of the site for Suburban Residential (SR) uses, areas along the KY 18 frontage for Rural Density Residential (RD) uses, and a band along the southwest boundary of the site for Rural Lands (RL). The designations are defined as follows:

Suburban Residential (SR): Single family housing of up to four units per acre. This classification does not preclude low density or estate residential developed as a formal subdivision.

Rural Density Residential (RD): Low density residential uses of up to one dwelling unit per acre.

Rural Lands (RL): Wooded, agricultural, recreational, or low density residential uses of up to one dwelling unit per two acres for the 25 year land use plan. Residential construction in Rural Lands does not occur in a formal subdivision.

The Land Use Element (13. Burlington Area, p. 151) states the following regarding the overall area:

This section of Boone County contains parts of the Woolper Creek valley and the extensive Developmentally Sensitive areas associated with the creek. This section should nevertheless experience some population growth as the Burlington area changes from a rural community to a suburban community. This is due largely in part to the sanitary sewer pump station and mains on KY 18. The suburban growth around Burlington will be substantial, causing KY 18 and Idlewild Road to serve as higher volume collector roads. New subdivisions should locate in close proximity to Burlington proper. Any new subdivisions should develop internal road networks rather than using the existing roads as primary access; this will avoid congestion and allow adequate space for necessary road improvements. Road connections between KY 18 and Idlewild Road, between KY and East Bend Road, and between Idlewild Road and Bullittsville Road should be made. Parts of the Woolper Creek valley should be preserved and included as part of the tourism/recreation potential of the area. To provide an appropriate entrance to the potential large western Boone County tourism area, KY 18 west of Burlington should maintain a rural appearance through unique subdivision design. As this area develops and anticipated school facilities are built, improvements to KY 18 will be needed, such as shoulders, reconstructed curves, improved sight distances, and sufficient intersection improvements in Burlington at KY 18 and KY 338. Suburban Residential Land Uses depicted on the 2030 Future Land Use Map in this area should not be developed until these conditions on KY 18 are improved, and adequate school capacity can be provided in the area. The next Comprehensive Plan update can be used as a tool to evaluate the progress made regarding infrastructure provision. The balance of land in the western part of this section should remain largely undeveloped or agricultural uses, and suburban development should stay in the immediate watershed of the KY 18 sanitary sewer pump station. New residential subdivision development in the KY 18 corridor west of Burlington and east of Woolper Road should be designed carefully to respect the rural character. As the Future Land Use Map indicates, the planned Suburban Residential land uses west of Burlington change abruptly in the corridor to Rural Density, Rural Lands, and Developmentally Sensitive further west. Future Suburban Residential development in this area needs to provide sections of lower residential density adjacent to these border areas. A true density step-down is needed beyond the frontage and setback transitional recommendations described in the Development Guidelines section of this Element. Subdivision entrance areas and frontages along KY 18 should also be sensitively designed to retain the rural character of the area.

Site Characteristics

The site contains approximately 134 acres and has approximately 1,500 feet of road frontage along KY 18. There is a residence and several farm structures on the property, and a lake near the east boundary. The site is mostly open pasture, but has some pockets of tree cover which is mostly in the southern half of the tract. The topography of the site is rolling, with the high point being in the southwest corner of the site at approximately el 876, and the two low points at approximately el 820 in the south/central part of the site and in the northeast corner near the KY 18 frontage.

Surrounding Land Uses and Zoning

The land uses and zoning adjacent to the site include the following.

- A. A combination of agricultural land and single family residences on frontages lots are located along KY 18 to the north, east, and west (A-2 and RS). The subject site's KY 18 frontage wraps around an approximate ½ acre lot that contains a single family residence (A-2).

- B. A combination of wooded areas and agricultural land with low density single family residences are located to the south and west (A-2).
- C. A developing, suburban density subdivision for detached, single family residences is located to the east (Hunters Ridge Subdivision, SR-1).

Staff Comments

Staff has no specific objections to the proposal as presented, especially since much of the neighboring area is agricultural or wooded, and the same basic functions have already been occurring on the site apparently without substantive adverse impacts. However, the Applicant should clearly outline how the proposed activities will operate for the Board's consideration. Pertinent details include the maximum number of patrons on the site at any given time, frequency of customer turnover, and hours of operation.

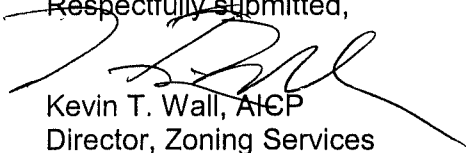
The issues of number of patrons and customer turnover relate to the provision of adequate parking and vehicular improvements. There is an existing gravel lot on the site which can accommodate approximately twenty vehicles based on GIS measurements, assuming there is no parking in the driveway area. If the Board concludes that a more substantive vehicular surface is warranted based on the site's activity level, options for improvement include tar and chip surfacing, grass pavers, and/or a hard surfacing (and perhaps other options). A specific material could be opted for a particular part of the vehicular area, such as just the driving lanes or the "apron" areas that intersect with KY 18.

The issue of operating hours pertains to whether lighting is necessary to support any of the activities, and whether the level of activity and noise could be construed as unreasonable impacts for the residential neighbors. To avoid impacts onto the developing Hunters Ridge Subdivision to the east, Staff suggests that the Board consider a setback line from the common boundary for the tourism/entertainment activities (the non-agricultural production functions), such as 200 feet. For the Board's information, a letter from Lieutenant Kevin Vogelpohl of the Burlington Fire Protection District regarding fire code requirements for corn mazes is attached.

Conclusion

KRS 100.237 and Section 220 of the Boone County Zoning Regulations gives the Boone County Board of Adjustment and Zoning Appeals the authority to grant the Applicant's request for a Conditional Use Permit.

Respectfully submitted,



Kevin T. Wall, AICP
Director, Zoning Services

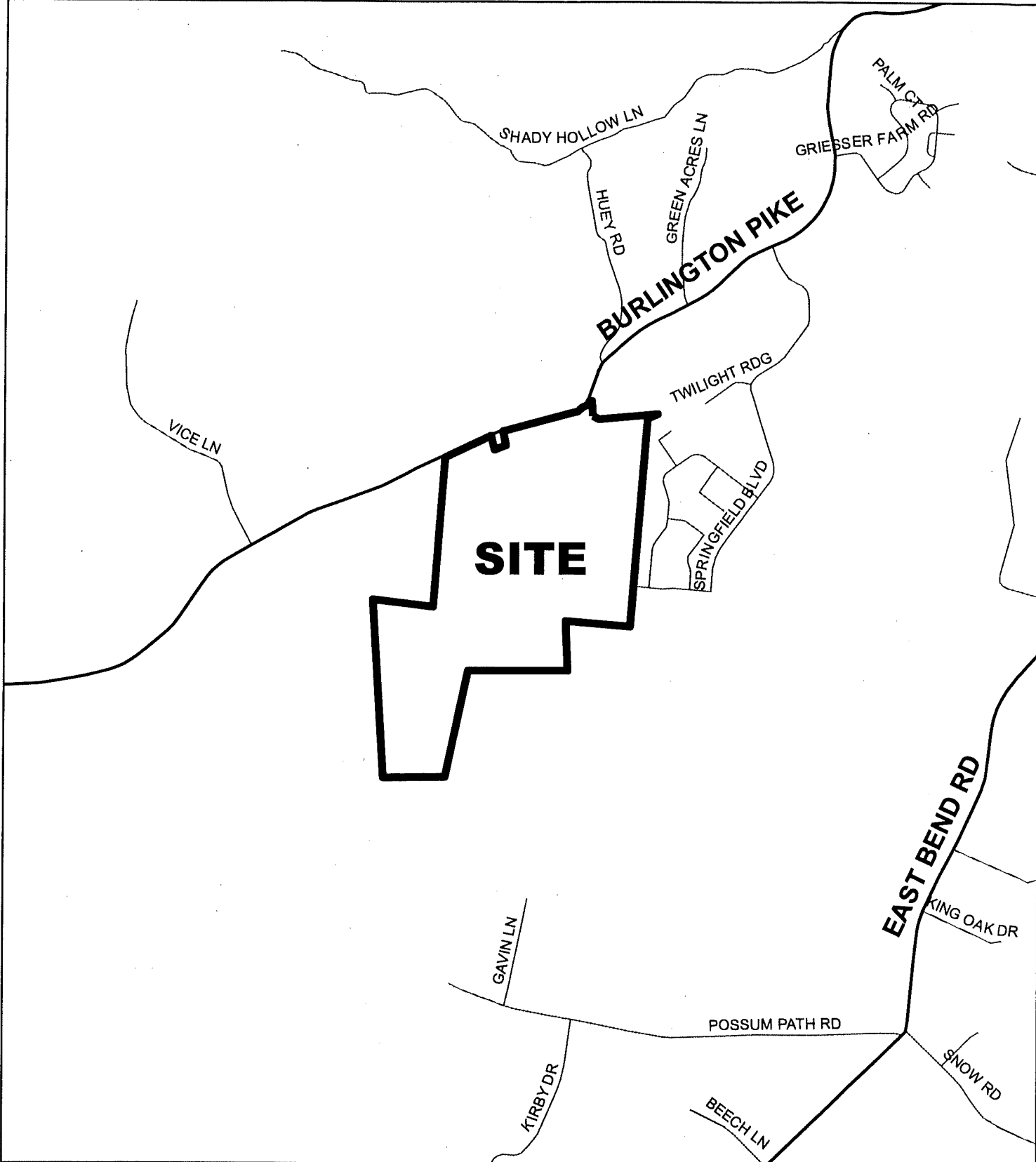
KTW/pr

attachments:

- * location map
- * aerial photograph w/ zoning info
- * Future Land Use Map excerpt
- * application materials including Concept Development Plan
- * 10/1/07 letter from Lieutenant Kevin Vogelpohl, Burlington Fire Protection District

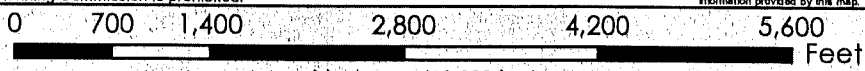
Location

www.boonecountygis.com

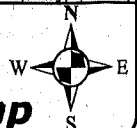


Copyright 2007 Boone County GIS. Reproduction by any means without the express permission of the Boone County Planning Commission is prohibited.

Data used to create this map were compiled from sources that comply with National Map Accuracy Standards. Boone County GIS extends no warranty with respect to the accuracy or content of the information provided by this map. This map should be used for general planning purposes only.



Boone County GIS - Putting Northern Kentucky on the Map



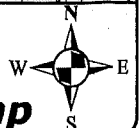
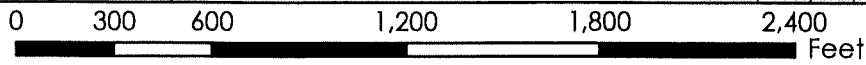
Zoning

www.boonecountygis.com



Copyright 2007 Boone County GIS. Reproduction by any means without the express permission of the Boone County Planning Commission is prohibited.

Data used to create this map were compiled from sources that comply with National Map Accuracy Standards. Boone County GIS extends no warranty with respect to the accuracy or content of the information provided by this map. This map should be used for general planning purposes only.



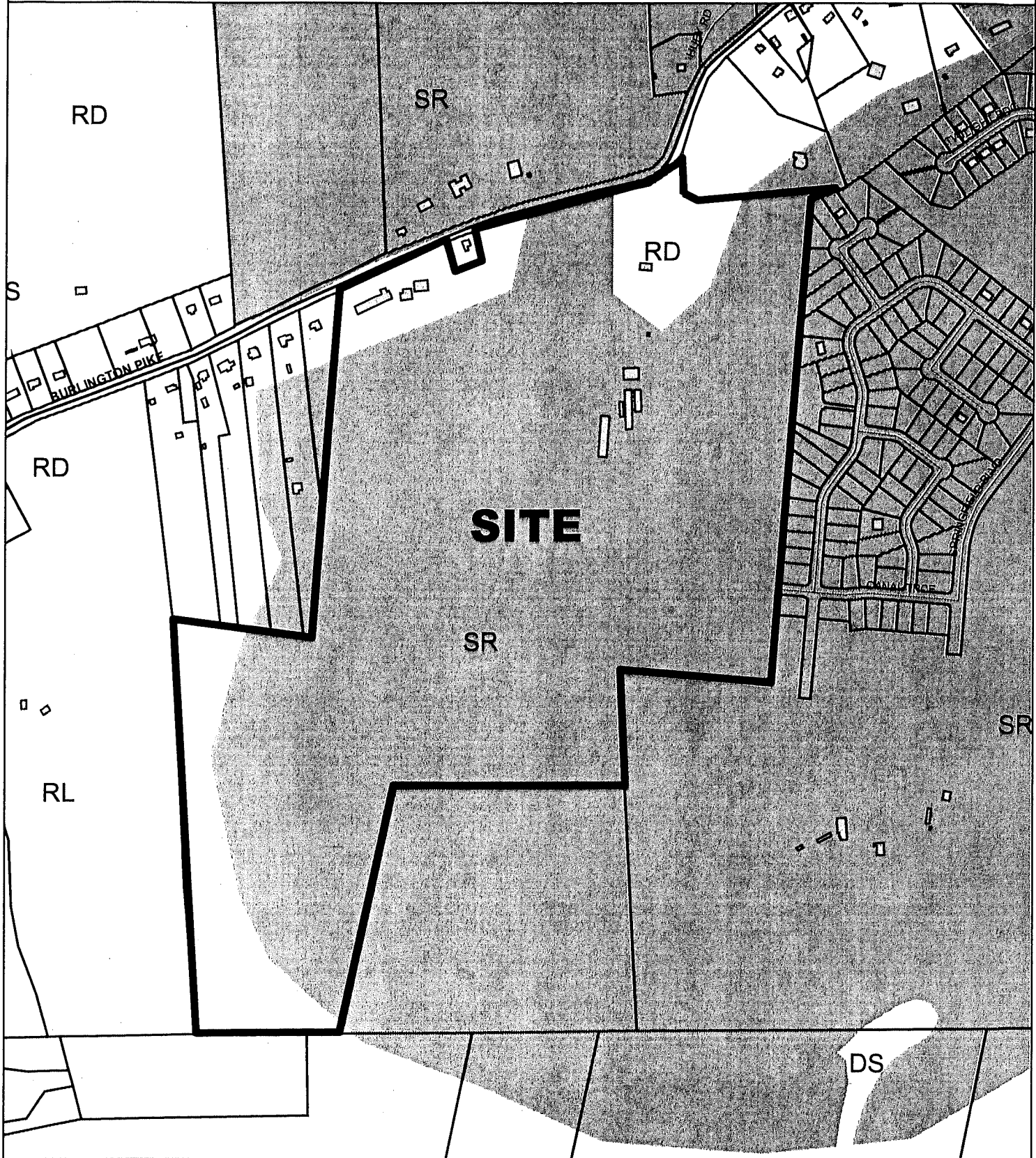
Boone County GIS - Putting Northern Kentucky on the Map

Map Created at 08:34:05 on 08/25/2007

Map Document: Untitled

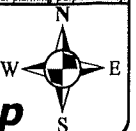
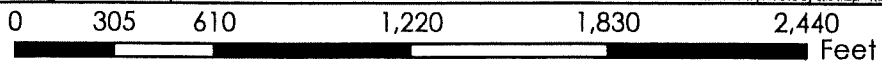
Future Land Use

www.boonecountygis.com



Copyright 2007 Boone County GIS. Reproduction by any means without the express permission of the Boone County Planning Commission is prohibited.

Data used to create this map were compiled from sources that comply with National Map Accuracy Standards. Boone County GIS extends no warranty with respect to the accuracy or content of the information provided by this map. This map should be used for general planning purposes only.



Boone County GIS - Putting Northern Kentucky on the Map

APPLICATION FORM

BOARD OF ADJUSTMENT
AND
ZONING APPEALS ACTION
BOONE COUNTY PLANNING COMMISSION

SEP 18 2006

See Boone County Zoning Regulations

SECTION A (To be completed by applicant)

(Check One)

1. Boone _____ Florence _____ Walton _____ Union _____

(Check One)

2. Conditional Use Permit _____ Variance _____ Appeal _____
_____ Change in Non-Conforming Use _____

3. Applicant's Name Kinman Farms "Aaron Anderson"
Phone Number 859-679-2682 Fax No. _____
Applicant's Address 4175 Burlington Pike
Burlington KY 41005
City State Zip

4. Description of Request: corn maze, hay ride, pony ride

Farm Tours, Educational tours, recreation, walking trails
5. Name of Development _____

6. Location of Development 4175 Burlington Pike
Burlington Ky 41005

7. Acreage Under Review 134.55

8. Lot Number and Name of Subdivision (if part of a subdivision) _____

9. Owner of Property Kinman Farms

Address of Property Owner 4065 Burlington Pike Phone No. 859 586 8272
Burlington KY 41005
City State Zip

11. Proposed Use(s) on Site _____

12. Total Square Footage of Existing and/or Proposed Buildings _____

13. Current Zoning on Property A-2

14. Deed Book 597 Page No. 142 Group No. 2028 & 2029

15. Is the site subject to a zone change? NO

If yes, give date of approval _____

16. Have you submitted a Site Plan with this request? yes

17. Have you submitted a list of adjoining property owners with this request? yes

18. I, or we, understand and agree that this application and drawing(s) are being filed in accordance with the Boone County Zoning Regulations.

Applicant's Signature: Aaron Anderson

Property Owner's Signature: Glenrose Kinman

**BOARD OF ADJUSTMENT AND
ZONING APPEALS ACTION
APPLICATION
PAGE 2**

SECTION B (To be completed by the Boone County Planning Commission Staff)

1. Date Received 9-18-07 Fee Received \$571⁰⁰ R# 54672
2. Is application complete? Yes No
3. Staff Reviewer: KEVIN WALL
4. Scheduled Board Action Date 10/10/07
5. Board Action:
 Approved
 Approved with Conditions (See #6)
 Denial (See #7)
6. Conditions of Approval: _____

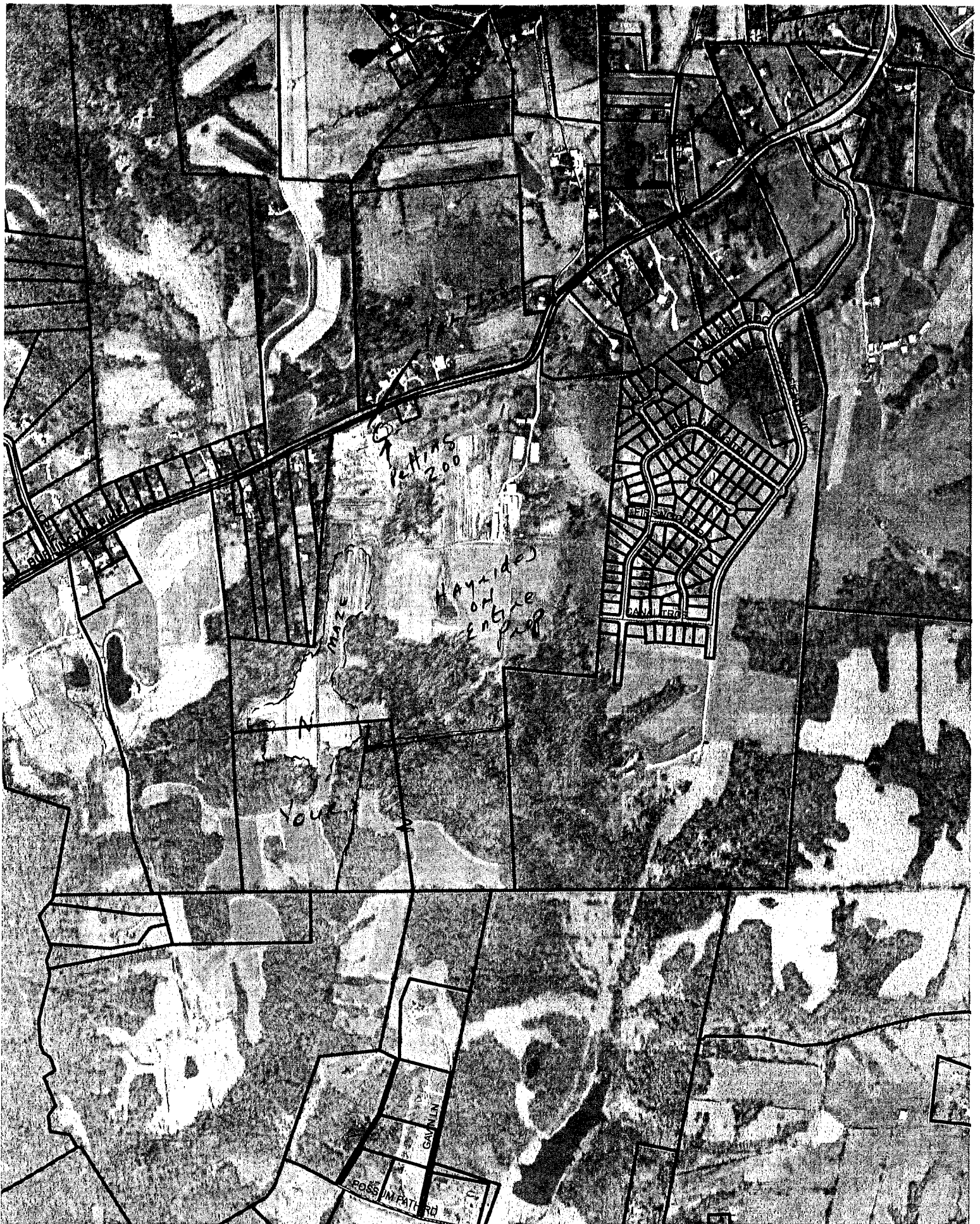
7. Reasons for Denial: _____

**Boone County Planning Commission
Boone County Administration Building
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005
(859) 334-2196 - Phone
(859) 334-2264 - Fax
plancom@boonecountyky.org - E-mail
www.boonecountyky.org - Web Page**

NOTE: See Boone County Planning Commission Fee Schedule for Board of Adjustment Fees.

Site Plan Review is not granted by the appropriate Board of Adjustment.

An application consists of all fees paid in full, submitted drawings and a completed application form.



PETHAS 200

Hayrides on entire prop

Yours

ROSSIM FATH RD

GAVAN LN





Burlington Fire Protection District

6050 Firehouse Drive

P.O. Box 479

Burlington, Kentucky 41005-0479

Phone: (859) 586-6161

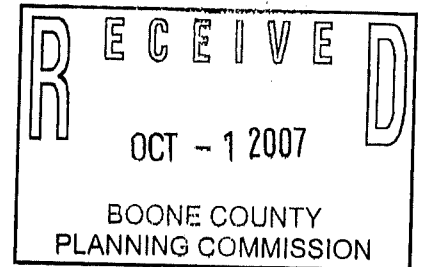
Fax: (859) 586-6178

David E. Biddle, Fire Chief

Website: www.burlingtonkyfire.org

October 1, 2007

Kinman Farms
Attn: Aaron Anderson
4175 Burlington Pike
Burlington, KY 41005



Mr. Anderson,

This letter is in regards to the Corn Maze located at the property of 4175 Burlington Pike. The most recent edition of the enforced fire code in Kentucky, NFPA 1, Uniform Fire Code 2006Ed. addresses life and fire safety issues at crop mazes. Due to the complexity of the mazes and the very dry conditions we are being affected with, below is a list of items that need to be addressed in regards to the use of the maze. The codes are located in section 10.15.11 Crop Maze of the 2006 NFPA 1 Uniform Fire Code 2006Ed.

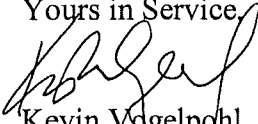
1. Each employee shall be provided a copy of the fire code in reference to crop mazes so they are aware of the life and fire safety issues. I have provided a copy of the code. (10.15.11.2)
2. Patrons of the crop maze shall be provided with safety instructions for the maze, including emergency aid, if needed. These may be posted or provided in a handout. (10.15.11.3)
3. At least 2 employees shall be on duty at all times the maze is in operation; one of those shall be on an elevated platform of at least 10ft so that they may observe patrons for safety. (10.15.11.4)
4. No open flame devices or equipment, including burn barrels, are permitted within the maze. Smoking is not permitted within the maze and signs should be posted informing patrons that smoking is not permitted. (10.15.11.6, 10.15.11.7)
5. No more than 200 persons per acre are permitted in the maze at any time. (10.15.11.8)
6. The vehicle parking area shall be at least 75ft from any part of the maze. (10.15.11.9)
7. A fuel break of at least 20ft in width shall be provided between the maze and any vehicle or vegetation area around the maze. (10.15.11.10)

8. A bull horn or address system shall be available to employees to notify patrons of any information or emergencies that may arise. (10.15.11.11)
9. The entrance and exit of the maze shall not be blocked at any time. (10.15.11.12)

A representative of the Burlington Fire Protection District will visit the maze to ensure compliance with the applicable codes and to perform a survey and pre-fire plan of the maze. If you have a drawing or plan of the maze available, please provide the fire department with a copy.

The code referred to in this letter is new and this is the first year we have the responsibility to enforce it. We are willing to work with you to remedy any questions or issues so that in the future, the items listed above are routine. If you should have any questions, please let us know. You can speak to Asst. Chief Shaun Klaserner or myself at (859)586-6161.

Yours in Service,



Kevin Vogel
Lieutenant

Cc: Kevin Wall, BCPC
A/C Shaun Klaserner

10.15.4 Standby Fire Personnel. Where required by the AHJ, standby fire personnel shall be provided and comply with 1.7.15.

10.15.5 Portable Fire Extinguishers. A minimum of one portable fire extinguisher shall be provided for each concession stand where required by the AHJ in accordance with Section 13.6.

10.15.6 Smoke Alarms. A minimum of one single station smoke alarm shall be located in all stock or equipment trailers when they are used for sleeping purposes.

10.15.7 Electrical Equipment. Electrical equipment and installations shall comply with Section 11.1.

10.15.8 Cooking. Concession stands utilized for cooking shall have a minimum of 10 ft (3 m) of clearance on two sides and shall not be located within 10 ft (3 m) of amusement rides or devices.

10.15.9 Communications. Where required by the AHJ, a method of notifying the fire department in the event of an emergency shall be provided.

10.15.9.1 Methods of notifying the fire department shall consist of a telephone, an alarm system connected to the fire department or other approved agency, or other approved means.

10.15.9.2 Methods of notifying the fire department shall be readily available to the public.

10.15.10 Internal Combustion Power Sources.

10.15.10.1 Fueling. Fuel tanks shall be of adequate capacity to permit uninterrupted operation during normal operating hours.

10.15.10.2 Refueling. Refueling shall be conducted only when not in use.

10.15.10.3 Protection. Internal combustion power sources shall be isolated from contact with the public by either physical guards, fencing, or an enclosure.

10.15.10.4 Fire Extinguishers. A minimum of one portable fire extinguisher with a rating of not less than 2-A:10-B:C shall be provided.

10.15.11 Crop Maze.

10.15.11.1 Permits. Permits, where required, shall comply with Section 1.12.

10.15.11.2 The owner or operator of a crop maze amusement attraction shall advise all employees of the fire and life safety regulations established in this subsection prior to the employees assuming their respective duties.

10.15.11.3 The owner or operator of a crop maze or their employees shall provide safety instructions to the visitors and patrons of a crop maze prior to their entrance to the maze.

10.15.11.4 A minimum of two employees shall be on duty to monitor a crop maze during hours of operation. A minimum of one of the employees shall be located on an elevated platform a minimum of 10 ft (3 m) above the maze.

10.15.11.5 The owner or operator of a crop maze shall contact the local fire department and provide the fire department with the opportunity to prepare a pre-plan of the crop maze amusement attraction prior to the start of seasonal operations.

10.15.11.6* No open flame-producing devices or equipment shall be permitted within the confines of the crop maze.

10.15.11.7 No smoking shall be permitted within the confines of the crop maze.

10.15.11.8 No more than 200 person per acre, including adults and children, shall occupy the crop maze at any one time.

10.15.11.9 Motorized vehicles shall not be parked within 75 ft (23 m) of a crop maze.

10.15.11.10 A fuel break of a minimum of 20 ft (6 m) wide shall be cleared between a crop maze and any vehicles or vegetation outside the maze.

10.15.11.11 A public address system shall be readily available to employees at a crop maze to assist them in making announcements to the visitors or patrons of a crop maze in the event of an emergency. A bull horn or loud speaker shall suffice as a public address system.

10.15.11.12 The entrance and exit from a crop maze shall not be blocked or obstructed at any time the maze is open for business and occupied by the public.

10.15.11.13 Fireworks.

10.15.11.13.1 Fireworks shall not be discharged within a minimum of 300 ft (91 m) of any crop maze at any time.

10.15.11.13.2 The use of display fireworks shall comply with Chapter 65 in addition to the requirements of 10.15.11.13.

10.16* Outside Storage.

10.16.1 Outside storage of combustible materials shall not be located within 10 ft (3 m) of a property line.

10.16.2 The separation distance shall be allowed to be reduced to 3 ft (0.9 m) for storage not exceeding 6 ft (1.8 m) in height.

10.16.3 The separation distance shall be allowed to be reduced where the AHJ determines that no hazard to the adjoining property exists.

10.16.4 Combustible material shall not be stored beneath a building or structure unless specifically constructed or protected for this purpose.

10.16.5 Combustible storage in the open shall not exceed 20 ft (6.1 m) in height.

10.17 Parade Floats.

10.17.1 Permits. Permits, where required, shall comply with Section 1.12.

10.17.2 Decorative Material. Decorative material on parade floats shall be noncombustible or flame retardant.

10.17.3 Fire Protection. Motorized parade floats and towing apparatus shall be provided with a minimum 2-A:10-B:C-rated portable fire extinguisher readily accessible to the operator.

10.18 Powered Industrial Trucks. Powered industrial trucks shall be operated and maintained in accordance with NFPA 505, *Fire Safety Standard for Powered Industrial Trucks Including Type Designations, Areas of Use, Conversions, Maintenance, and Operations.*

COPY

CLUR #07-BCBOA-015-A

CERTIFICATE OF LAND USE RESTRICTION

1. NAME AND ADDRESS OF PROPERTY OWNER(S)
Kinman Farms
4065 Burlington Pike
Burlington, KY 41005
2. ADDRESS OF PROPERTY
4175 Burlington Pike
Burlington, KY 41005
3. NAME OF SUBDIVISION OR DEVELOPMENT (if applicable)
Kinman Farms
4. DEED BOOK 597 PAGE NO. 142 GROUP NO. 2028 & 2029
5. TYPE OF RESTRICTION(S) (Check all that apply)
- Zoning Map Amendment:
From _____ To _____
- Conditional Use Permit
- Development Plan Conditional Zoning
- Subdivision Plat
(Not Recorded) Other:
- Variance
6. NAME AND ADDRESS OF PLANNING COMMISSION, BOARD OF ADJUSTMENT, LEGISLATIVE BODY OR FISCAL COURT WHICH MAINTAINS THE ORIGINAL RECORDS CONTAINING THE RESTRICTION

BOONE COUNTY PLANNING COMMISSION
2950 WASHINGTON STREET, ROOM 317
P.O. BOX 958
BURLINGTON, KENTUCKY 41005

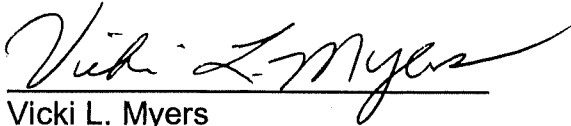

SIGNATURE OF COMPLETING OFFICIAL

Kevin T. Wall, Director, Zoning Services
Name and Title of Completing Official

COMMONWEALTH OF KENTUCKY

COUNTY OF BOONE

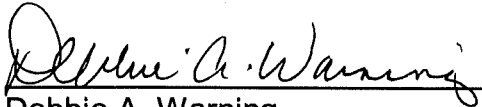
Subscribed, sworn to, and acknowledged before me by Kevin T. Wall on behalf of the
Boone County Planning Commission this 11 day of October, 2007.



Vicki L. Myers
NOTARY PUBLIC, State at Large

My commission Expires:
April 17, 2011

This instrument was prepared for recording purposes only by:



Debbie A. Warning
Boone County Planning Commission
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005

NO TITLE EXAMINATION

(Legal Description and source of Title and Group Number furnished by the applicant.)

CONDITIONS OF APPROVAL

The following Conditions of Approval apply to the Conditional Use Permit approved by the Boone Board of Adjustments and in accordance with the current zoning in effect as of October 10, 2007 Certificate of Land Use Restriction (#07-BCBOA-015-A), for Kinman Farms, Property Owner(s).

The following conditions will apply:

No conditions.

The approved Conditional Use Permit as well as the preceding conditions apply to the property described in:

DEED BOOK 597

PAGE NO. 142

GROUP NO. 2028 & 2029