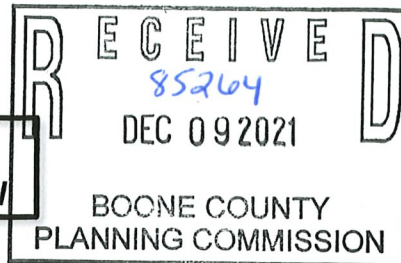


**BOARD OF ADJUSTMENT  
BOONE COUNTY PLANNING COMMISSION**



Five (5) scaled copies and one (1) 11 x 17 reduction of submitted drawings are required

Site Plan Review is not granted by the appropriate Board of Adjustment

An application consists of all fees paid in full, submitted drawings, and a completed application form

**SECTION A:** (To be completed by applicant)

1. Check One  Boone  Florence  Walton  Union
2. Check One  Conditional Use Permit  Variance  Appeal  
 Change in Non-Conforming Use
3. Applicant: Jack Kells  
Address: 442 Larkspur Ct.  
Edgewood Ky 41017  
City State Zip Code  
Phone Number: 859-468-9219 Fax Number: \_\_\_\_\_  
Email: jack08@fuse.net
4. Description of Request:  
reduction of curb cut spacing from 500 ft to 9 ft see attached letter
5. Name of Development: JACK KELLS STORAGE
6. Location of Development: 1920 American ave, lot 255 *1930 American Avenue*  
Erlanger Ky 41048  
City State Zip Code
7. Acreage Under Review: .8
8. Lot Number and Name of Subdivision (if part of a subdivision):  
Lot 255 Rolling Green Acres
9. Current Owner: Jack Kells  
Address: 442 Larkspur Ct  
Edgewood Ky 41017  
City State Zip Code  
Phone Number: 859-468-9219 Fax Number: \_\_\_\_\_  
Email: jack08@fuse.net

10. Proposed Use(s) on Site: storage
11. Total Square Footage of Existing and/or Proposed Buildings: 5220
12. Current Zoning: I-1
13. 1041 3 241 28 2022  
1035 104 28 2022  
Deed Book Page Group Number
14. Is the site subject to a zone change:  Yes  No  
If yes, date of approval: \_\_\_\_\_
15. Have you submitted a Site Plan with this request:  Yes  No
16. Have you submitted a list of adjoining property owners with this request:  Yes  No
17. I, or we, understand and agree that this application and drawing(s) are being filed in accordance with the Boone County Zoning Regulations.

**ORIGINAL Property Owner's Signature:** Jack Kelle  
(Faxed, Photocopied or Scanned Signatures will **NOT** be Accepted)

**ORIGINAL Applicant's Signature:** Jack Kelle  
(Faxed, Photocopied or Scanned Signatures will **NOT** be Accepted)

**SECTION B:** (To be completed by Planning Commission staff)

1. Date Received: 12/9/21 Fee Received: \$966 Receipt #: 85264

2. Is application complete: \_\_\_\_\_

3. Staff Reviewer: M. Schwartz

4. Scheduled Board Action Date: 1/12/2022

5. Board Action: 1/12/2022

- Approved
- Approved with Conditions (see #6)
- Denial (See #7)

6. Conditions of Approval: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

7. Reasons for Denial: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Boone County Planning Commission  
Boone County Administration Building  
2950 Washington Street, Room 317  
P.O. Box 958  
Burlington, Kentucky 41005  
Phone: 859-334-2196 Fax: 859-334-2264  
[plancom@boonecountyky.org](mailto:plancom@boonecountyky.org)  
[www.boonecountyky.org](http://www.boonecountyky.org)

## STAFF REPORT

#2

APPLICANT: Jack Kells

LOCATION: 1920 and 1930 American Avenue, Boone County, Kentucky

ZONING: Industrial One (I-1)

DATE: January 12, 2022

### PROPOSAL

- A. The applicant is requesting a Variance to reduce the minimum spacing of access points from five hundred (500) feet to nine (9) feet.

### SITE HISTORY

- 1954 Rolling Green Acres Subdivision was approved, creating Lots 255 through 258
- 2014 On May 28, 2014, a Major Site Plan was approved for: (1) an approximate 2,000 square foot structure and an approximate 1,500 square foot structure to be built on property located at 1940 American Avenue; and (2) a 5,040 square foot structure to be built on property located at 1930 American Avenue (a portion of the site in question)
- 2021 On August 11, 2021, the Boone Board of Adjustment approved Variances: (1) reducing the minimum required side yard setback from ten (10) feet to 3.3 feet; and (2) reducing the minimum required Buffer Yard A width from ten (10) feet to 3.3 feet (BCBOA-21-030).

### APPLICABLE REGULATIONS

- A. Section 250 of the Boone County Zoning Regulations states that one of the duties of the Board of Adjustment is to hear and decide on applications for variances.
- B. Section 250 of the Boone County Zoning Regulations defines a variance as a departure from dimensional terms of the zoning regulation pertaining to the height, width, or location of structures, and the size of yards and open spaces where such departure meets the requirements of KRS 100.241 to 100.247.
- C. The Board should evaluate the request as it relates to the criteria necessary for granting a Variance as stated in Section 251 of the Boone County Zoning Regulations.
1. Findings listed in Section 251:
    - a. Before any variance is granted, the Board must find that the granting of the variance will not adversely affect the public health, safety or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations. In making these findings, the board shall consider whether:

- (1) The requested variance arises from special circumstances which do not generally apply to land in the general vicinity, or in the same zone;
- (2) The strict application of the provisions of the regulations would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant;
- (3) The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.

- b. The Board shall deny any request for a variance arising from circumstances that are the result of willful violations of the zoning regulation by the applicant subsequent to the adoption of the zoning regulation from which relief is sought.

D. Section 1130 of the Boone County Zoning Regulations states that “the purpose of the Industrial One district is to allow different types of small to large scale light manufacturing, warehouse, distribution and related service uses, which require direct accessibility to a regional transportation system. Manufacturing operations in this district will generally not utilize unrefined raw materials, whose processing may potentially create undesirable noise, odors, dust, smoke, hazardous materials or waste or be delivered in large bulk transportation forms. Such districts are located in areas which provide employment opportunities for community and regional labor markets. Districts will be located on suitable lands accessible from expressways and/or arterials. In addition, this zoning district allows for integrated office campus and/or industrial/warehouse developments with a business park setting, characterized by landscaped entrances, boulevard streets, large amounts of green space and low building coverage ratio, multi-level buildings, constant architectural and signage theme, parking structures, and integrated pedestrian and recreation facilities. This district is also to provide for appropriate public facilities and/or services to the permitted uses identified in the district. This zoning classification can range from a compact multi-level office development on several acres to an extensive mixed office/warehouse/distribution development that is located on many acres. This zoning classification often includes some limited commercial wholesale and retail uses intended to serve the district and constructed to blend in visually with the character of the area.”

E. Section 3221.2 of the Boone County Zoning Regulations states that a proposed development is permitted one access point for each 500 feet of site frontage.

#### RELATIONSHIP TO THE COMPREHENSIVE PLAN

A. The Our Boone County Plan 2040 Future Land Use Plan designates the site in question for “Industrial” uses. This designation is defined as Manufacturing, wholesale,

warehousing, distribution, assembly, mining, and terminal uses.

- B. The following Our Boone County Plan 2040 Goals and Objectives apply to this application:

Land uses and zoning decisions shall strive to balance the rights of landowners with the rights of neighbors and the community (Overall Goal A, Objective 4).

Development policies shall not discriminate against any person (Demographics Goal A, Objective 1).

Industries shall be promoted in suitable locations to make the county a vital part of a strong regional economy (Economy Goal A, Objective 2).

Local agriculture, business products, and services shall be encouraged and supported (Economy Goal A, Objective 4).

Boone County shall seek a combination of land uses that balances revenues generated from those uses with the expenditures required to support them (Economy Goal A, Objective 8).

The establishment of small business and incubator business assistance shall be encouraged (Economy Goal A, Objective 9).

Compact, efficient development patterns shall be encouraged for industrial, commercial, and office uses with appropriately sized and well maintained buffer spaces between the business use and other land uses (Economy Goal B, Objective 1).

Mixing of commercial and non-commercial uses shall occur in areas where consideration has been given to assure compatibility with surrounding land uses and natural systems (Economy Goal B, Objective 2).

Industrial development shall be encouraged to locate near railroad lines, highways, the Ohio River, the Airport, and where infrastructure exists or is planned (Economy Goal B, Objective 5).

- C. American Avenue is identified as a county maintained local street. There are no sidewalks along the roadway.

#### SITE CHARACTERISTICS

- A. The approximate 0.8 acre area is located along the east side of American Avenue, approximately 250 feet south of Peninsular Court.
- B. The site is currently occupied by a four-bay warehouse building, off-street parking areas, and a fifty (50) foot wide curb cut onto American Avenue.
- C. The site has approximately 171 feet of frontage along American Avenue.

- D. The site slopes downward from south to north at an average grade of 2%.
- E. The site is located within the 60 day/night noise level of the Cincinnati/Northern Kentucky International Airport.

SURROUNDING LAND USES AND ZONING

North: Industrial/warehouse (I-1)

South: Vacant (I-1)

East: Vacant (I-1)

West: American RV Storage/warehouse (I-1)

PROPOSED DEVELOPMENT

- A. The applicant is proposing a second curb cut to the development site.

STAFF COMMENTS

- A. Of the 221 lots within the Rolling Green Acres Subdivision, 171 lots are owned by the Kenton County Airport Board and the remaining 50 lots are owned by private entities. Of the 50 lots that are owned by private entities, 30 lots are currently vacant and 20 lots have been developed.
- B. The lot located to the east of the site is owned by the Kenton County Airport Board.
- C. One of the lots to the south of the site is owned by the Kenton County Airport Board and the other is owned by McAdams, Inc.
- D. The Board has approved three (3) variance requests within the Rolling Green Acres Subdivision. Two of the requests were variances reducing the front yard setback and one of the requests was a variance reducing the spacing between curb cuts.
- E. The previous Board submittal included a concept plan which showed the use of the existing curb cut, rather than a second curb cut as currently proposed.
- F. The applicant has submitted an email from Daniel Rice, Boone County Public Works, stating that there will be no problem in issuing an encroachment permit for the proposed second curb cut (see attached).

CONCLUSION

- A. KRS 100.241 and Section 220 of the Boone County Zoning Regulations give the Boone County Board of Adjustment and Zoning Appeals the authority to act on the request.

- B. Section 251 of the Boone County Zoning Regulations identifies criteria necessary for granting a Variance. The applicant needs to provide information as to how their application meets this criteria.

Respectfully submitted,



Michael D. Schwartz  
Director, Zoning Services

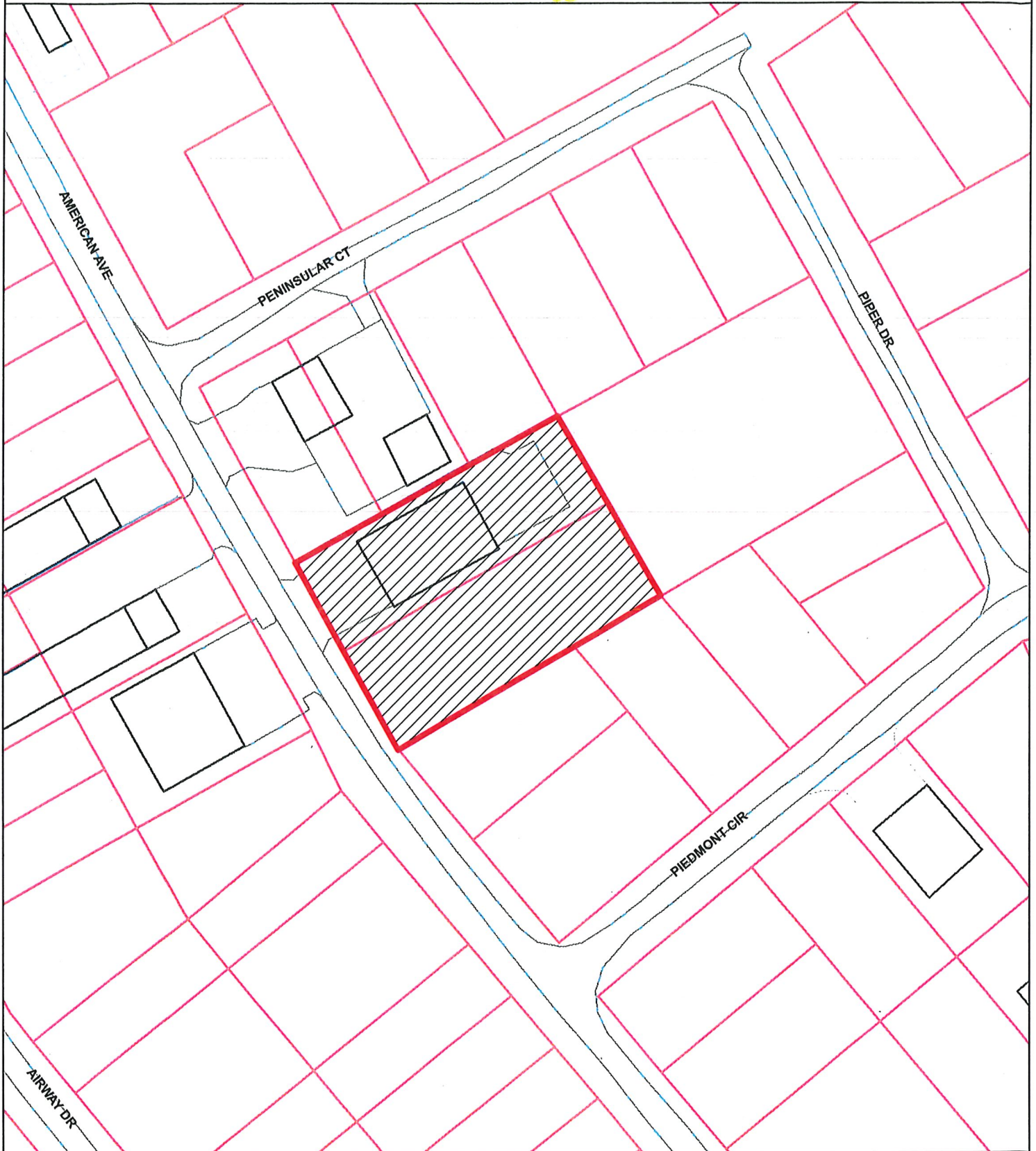
MDS/ss

Attachments

- \*Vicinity Map
- \*Aerial Map
- \*Topographical Map
- \*Zoning Map
- \*2040 Future Land Use Map
- \*Noise Contour Map
- \*Application
- \*Project Narrative
- \*Development Plan
- \* Email from Daniel Rice, Boone County Public Works, dated 11/30/2021

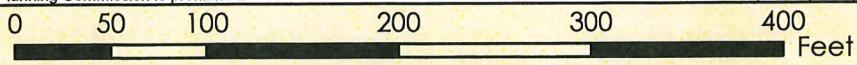
# Vicinity Map

[www.boonecountygis.com](http://www.boonecountygis.com)



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1 inch = 100 feet



**Boone County GIS - Putting Northern Kentucky on the Map**



Map Created: 01/01/2018

Boone County GIS  
ArcMap Document: \*.mxd

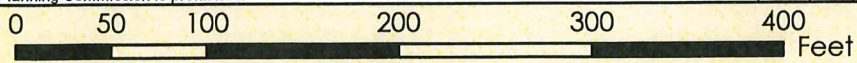
# Aerial Map

[www.boonecountygis.com](http://www.boonecountygis.com)



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1 inch = 100 feet



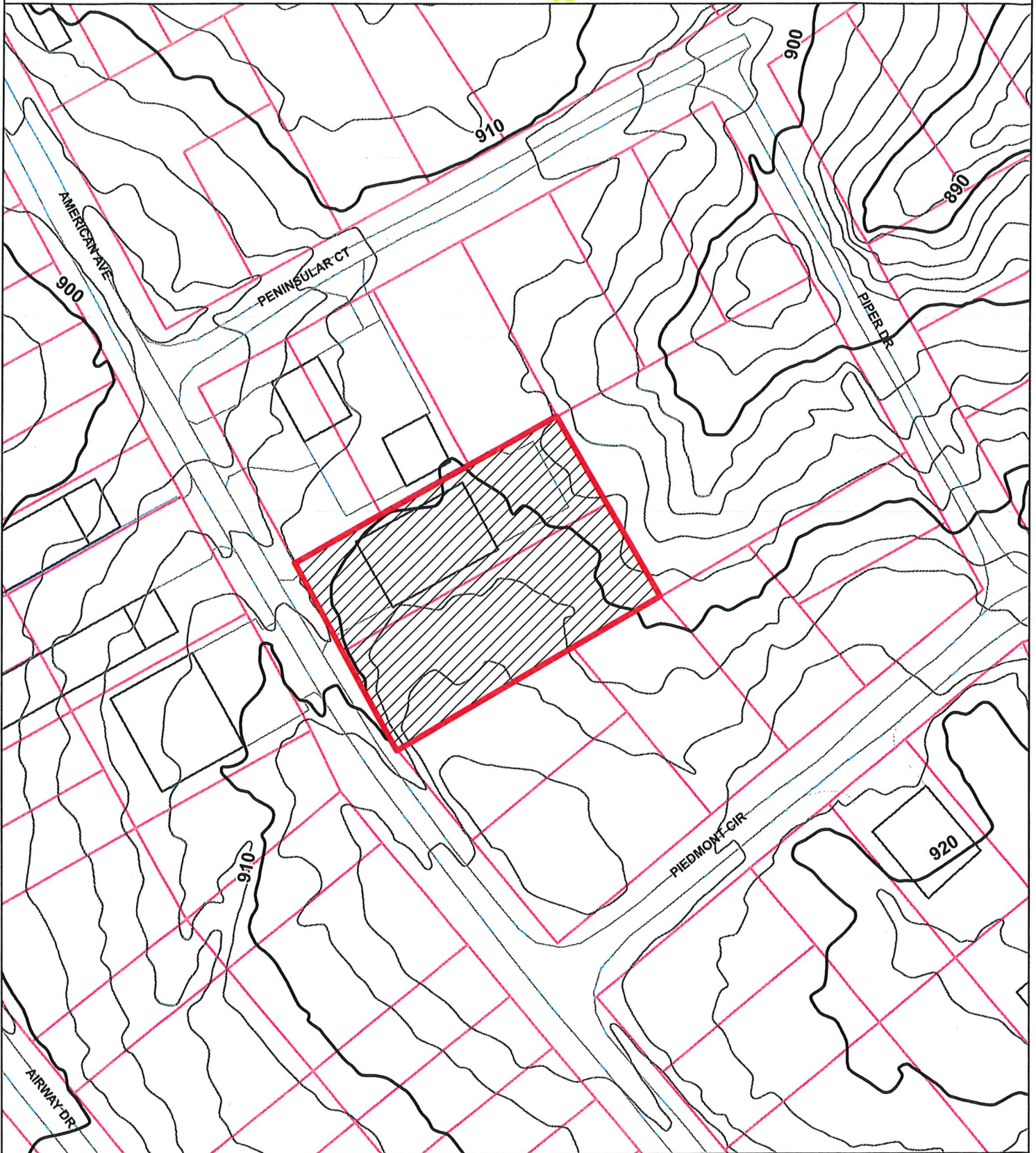
**Boone County GIS - Putting Northern Kentucky on the Map**

Map Created: 01/01/2018

With File & Folder by North 2013 1101  
ArcMap Document: \*.mxd

# Topographical Map

[www.boonecountygis.com](http://www.boonecountygis.com)



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0 50 100 200 300 400 Feet

1 inch = 100 feet



**Boone County GIS - Putting Northern Kentucky on the Map**

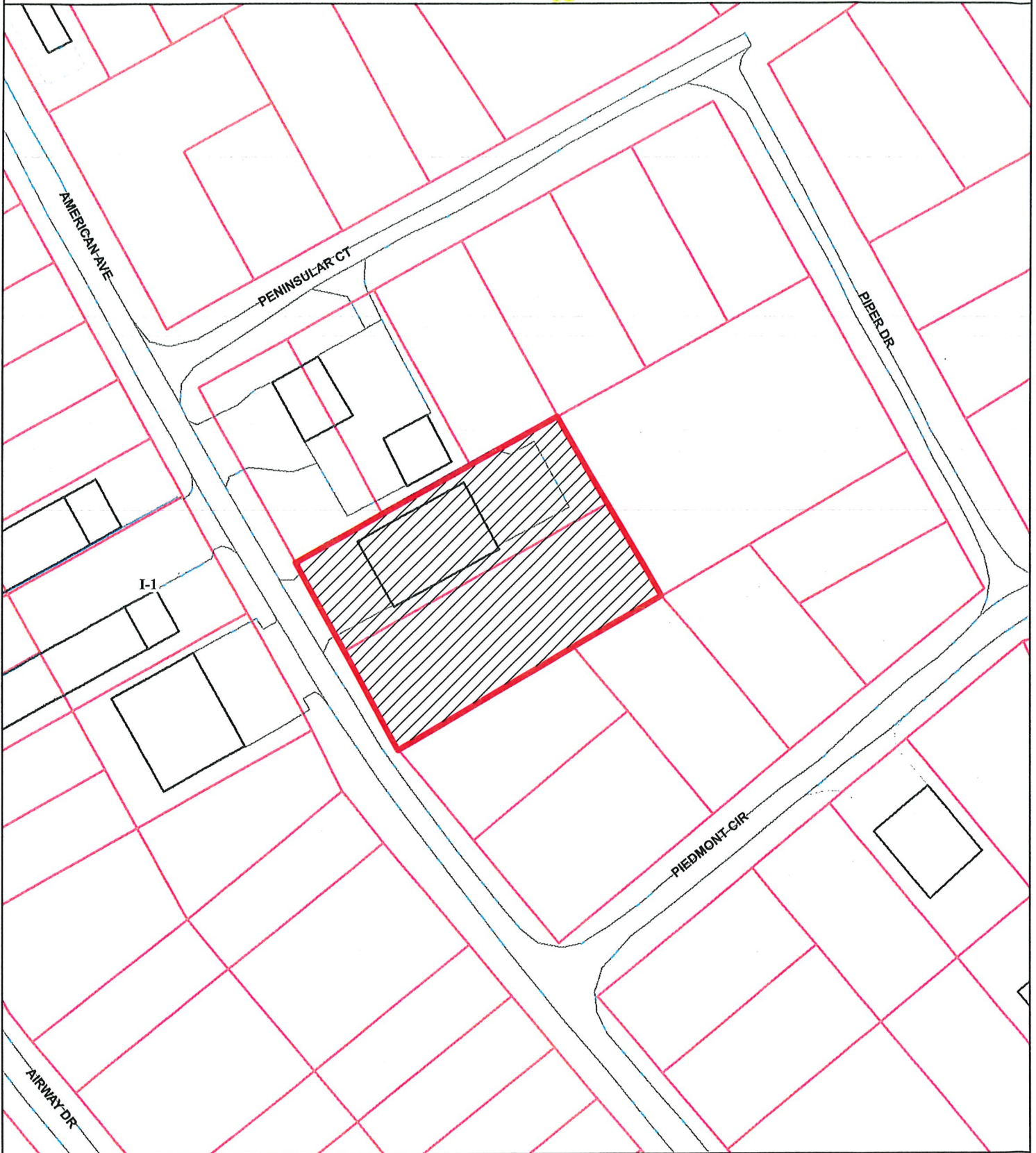


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ArcMap Document: \*.mxd

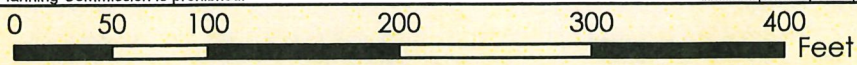
# Zoning Map

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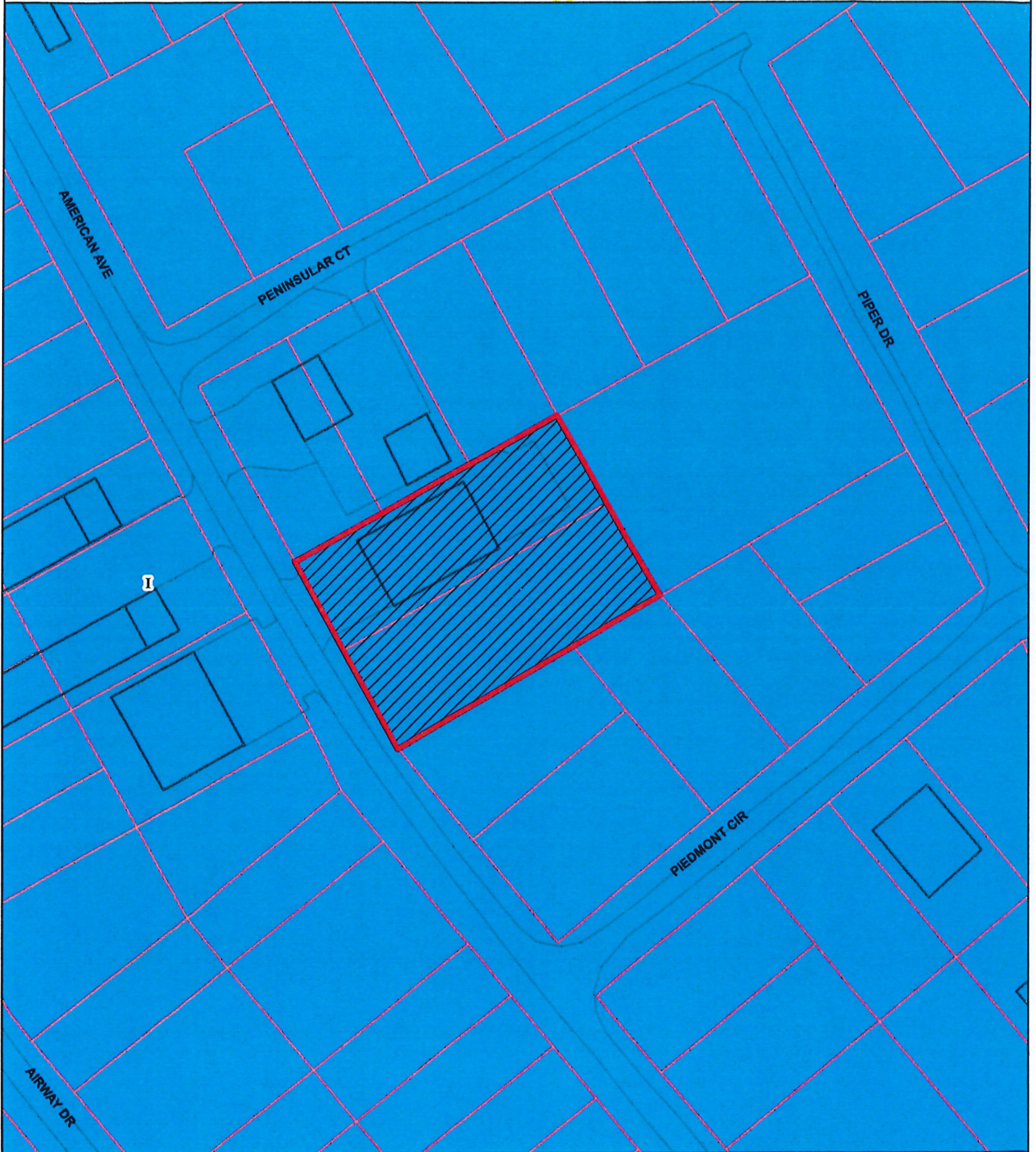


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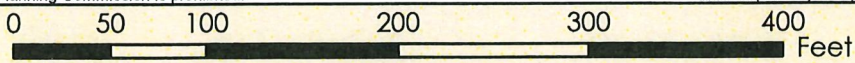
# 2040 Future Land Use Map

[www.boonecountygis.com](http://www.boonecountygis.com)



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1 inch = 100 feet



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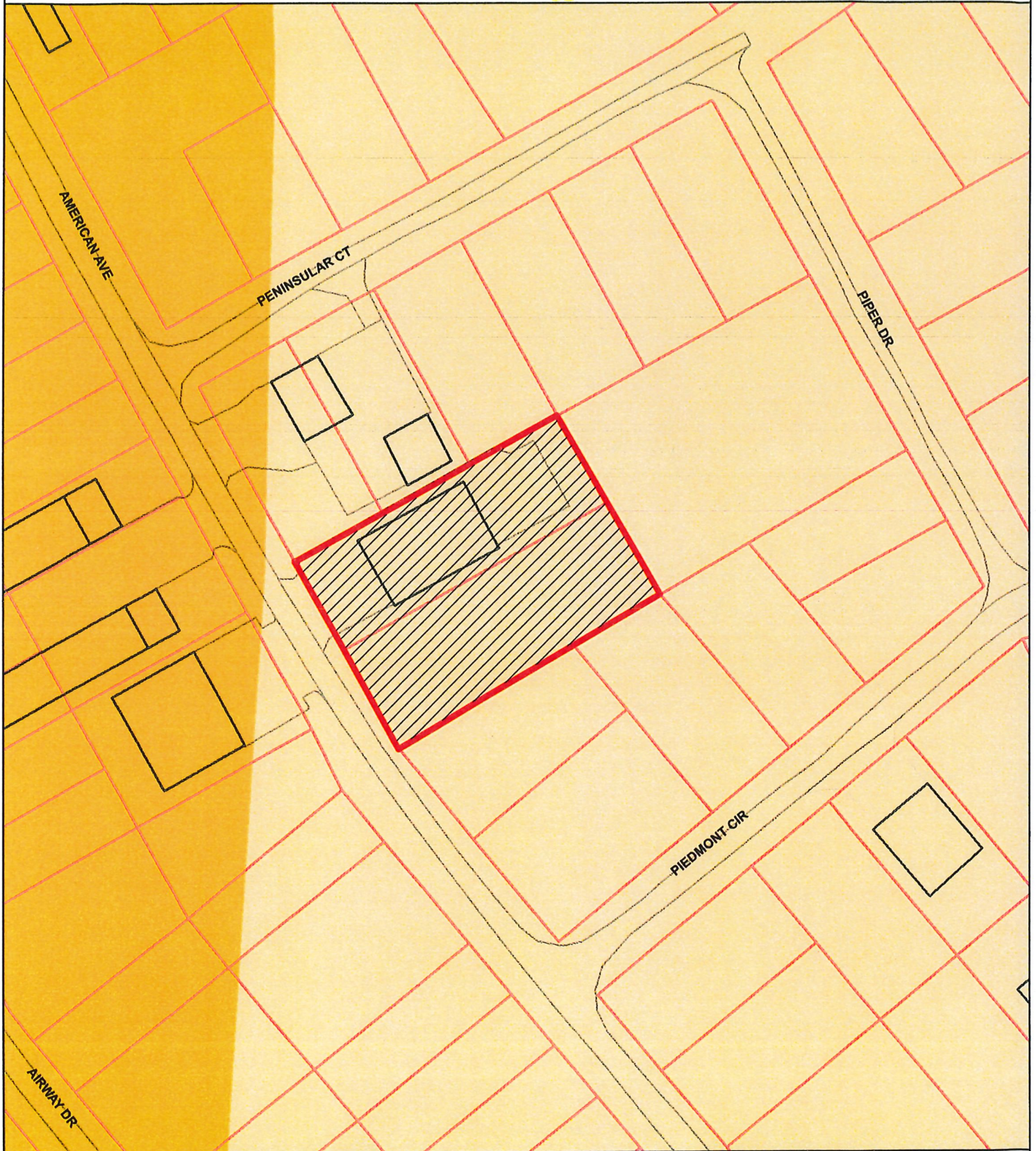


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Boone County GIS  
ArcMap Document: \*.mxd

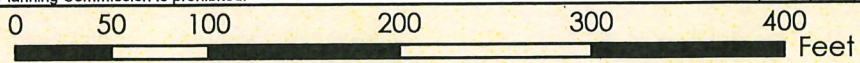
# Noise Contour Map

[www.boonecountygis.com](http://www.boonecountygis.com)



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1 inch = 100 feet



**Boone County GIS - Putting Northern Kentucky on the Map**



**BOARD OF ADJUSTMENT  
BOONE COUNTY PLANNING COMMISSION**

**RECEIVED**  
85264  
DEC 09 2021  
BOONE COUNTY  
PLANNING COMMISSION

Five (5) scaled copies and one (1) 11 x 17 reduction of submitted drawings are required

Site Plan Review is not granted by the appropriate Board of Adjustment

An application consists of all fees paid in full, submitted drawings, and a completed application form

**SECTION A: (To be completed by applicant)**

- 1. Check One  Boone  Florence  Walton  Union
- 2. Check One  Conditional Use Permit  Variance  Appeal  
 Change in Non-Conforming Use

3. Applicant: Jack Kells  
Address: 442 Larkspur Ct.  
Edgewood Ky 41017  
City State Zip Code

Phone Number: 859-468-9219 Fax Number: \_\_\_\_\_  
Email: jack08@fuse.net

4. Description of Request: reduction of curb cut spacing from 500 ft to 9 ft see attached letter

5. Name of Development: JACK KELLS STORAGE

6. Location of Development: 1920 American ave, lot 255 & 1930 American Avenue  
Erlanger Ky 41048  
City State Zip Code

7. Acreage Under Review: .8

8. Lot Number and Name of Subdivision (if part of a subdivision):  
Lot 255 Rolling Green Acres

9. Current Owner: Jack Kells  
Address: 442 Larkspur Ct  
Edgewood Ky 41017  
City State Zip Code

Phone Number: 859-468-9219 Fax Number: \_\_\_\_\_  
Email: jack08@fuse.net

10. Proposed Use(s) on Site: storage
11. Total Square Footage of Existing and/or Proposed Buildings: 5220
12. Current Zoning: I-1
13. 1041 3 241 28 2022  
1035 104 104 28 2022  
Deed Book Page Group Number
14. Is the site subject to a zone change:  Yes  No  
If yes, date of approval: \_\_\_\_\_
15. Have you submitted a Site Plan with this request:  Yes  No
16. Have you submitted a list of adjoining property owners with this request:  Yes  No
17. I, or we, understand and agree that this application and drawing(s) are being filed in accordance with the Boone County Zoning Regulations.

ORIGINAL Property Owner's Signature: Jack Kelle  
(Faxed, Photocopied or Scanned Signatures will NOT be Accepted)

ORIGINAL Applicant's Signature: Jack Kelle  
(Faxed, Photocopied or Scanned Signatures will NOT be Accepted)

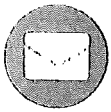
## BOARD OF ADJUSTMENTS

I APPLIED FOR A VARIANCE ON  
THE PROPERTY AT 1920  
AMERICAN AVE. TO CHANGE  
THE SIDE SETBACK FROM  
10 FT TO 3' 3" WHICH WAS  
APPROVED. I TURNED IN  
THE PLANS WITH THE DRIVEWAY  
GOING ON TO MY PROPERTY  
AT 1930 AMERICAN. IT WAS  
THE WRONG SET. THE NEW  
SET HAS THE DRIVEWAY  
GOING TO THE STREET. THE  
BUILDING PLACEMENT OR GRADE  
DOES NOT CHANGE

THANK YOU







---

**1920 American Ave.**

1 message

---

**Daniel Rice** <Drice@boonecountyky.org>  
To: jack08@fuse.net

Tue, Nov 30, 2021 at 9:07 AM

Jack,

Per our phone conversation about a new entrance for 1920 American Ave, there will be no problem with issuing an encroachment permit for 1920 American Ave. (Lot #255).

**Thanks,**

**Daniel Rice**

**Engineering Services Supervisor**

**Boone County Public Works**

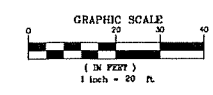
Office: 859-334-4809

Cell: 859-743-1395

drice@boonecountyky.org | <http://www.boonecountyky.org>

LEGEND	
—O—	OVERHEAD ELECTRIC
—U—	UNDERGROUND ELECTRIC
□	ELECTRIC BOX
○	ELECTRIC MANHOLE
⊙	ANCHOR POLE
⊙	LIGHT POLE
⊙	UTILITY POLE
⊙	GROUND LIGHT
—O—	OVERHEAD TELEPHONE
—U—	UNDERGROUND TELEPHONE
□	TELEPHONE BOX
○	TELEPHONE MANHOLE
●	BOLLARDS
—	SIGN
—	MAIL BOX
—	WATER LINE
—	WATER VALVE
—	FIRE HYDRANT
—	WATER METER
—	WATER VALVE BOX
—	WATER VALVE MANHOLE
—	POST INDICATOR VALVE
—	GAS LINE
—	GAS METER
—	GAS VALVE
—	GAS VALVE BOX
—	UTILITY MANHOLE
—	SEWER MANHOLE
—	STORM MANHOLE
—	DITCH OR CREEK
—	GUARDRAIL
—	FENCE LINE
—	R/W FENCE LINE

**R E C E I V E D**  
 DEC 09 2021  
 BOONE COUNTY  
 PLANNING COMMISSION



BEARINGS ARE BASED ON THE KENTUCKY  
 STATE PLANE COORDINATE SYSTEM,  
 NORTH ZONE (NAD 83).

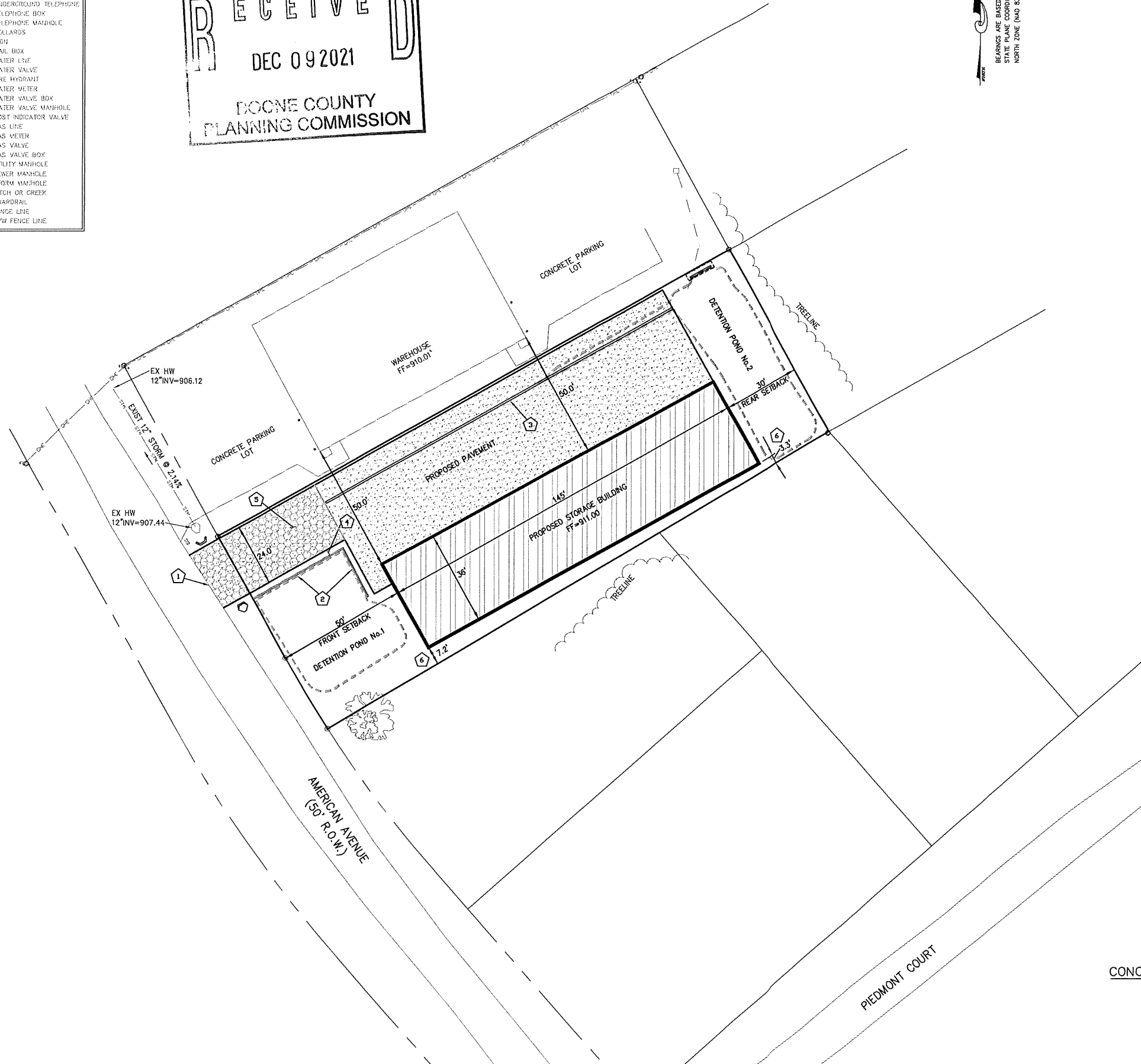
### SETBACK SUMMARY

ZONE:	I-1 (INDUSTRIAL ONE)
MINIMUM FRONT YARD DEPTH:	50 FEET
MINIMUM SIDE YARD WIDTH:	10 FEET
MINIMUM REAR YARD DEPTH:	30 FEET
MAXIMUM BUILDING HEIGHT:	50 FEET

REVISIONS	DATE	#	ITEM

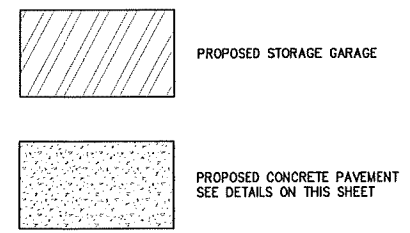
**CARDINAL**  
 ENGINEERING  
 LAND SURVEYING  
 ONE MOOCK ROAD  
 WILDER, KENTUCKY 41071  
 PHONE: (859) 581-9600  
 FAX: (859) 581-9636

WEBSITE: <http://www.cardinalengineering.net>

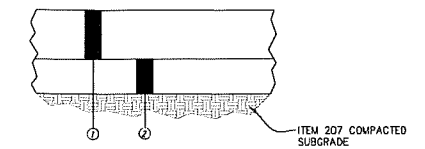


#### KEY NOTES:

1. PROPOSED CONNECTION TO EXISTING PAVEMENT.
2. PROPOSED RETAINING WALL.
3. PROPOSED TRENCH DRAIN LOCATION. REFER TO GRADING & UTILITY PLAN.
4. 2' WIDE DRIVEWAY SHOULDER.
5. CONSTRUCTION ENTRANCE. REFER TO DETAIL ON SHEET C-200.
6. SIDE YARD SETBACK APPROVED THROUGH BOARD OF ADJUSTMENTS.



ITEM NUMBERS REFER TO LATEST EDITION OF THE KENTUCKY TRANSPORTATION CABINET CONSTRUCTION MATERIALS & SPECIFICATIONS



- ① Item 500 7" PCC (Portland Cement Concrete) Pavement
- ② Item 302 4" Aggregate Base

CONCRETE PAVEMENT SECTION (DUMPSTER/APRON AREAS)  
N.T.S.

PROJECT: SITE LAYOUT PLAN  
 255 AMERICAN AVE  
 BOONE COUNTY, KENTUCKY  
 CLIENT: JACK KELLS  
 442 LARKSPUR COURT  
 EDGEWOOD, KENTUCKY 41017

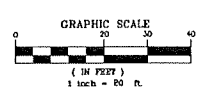
DRAWN BY	SEAL
MMR	
CHECKED BY	
DES	
PROJECT MANAGER	
DES	

PROJECT NO. 21-100  
 SCALE 1" = 20'  
 DATE 10/26/2021

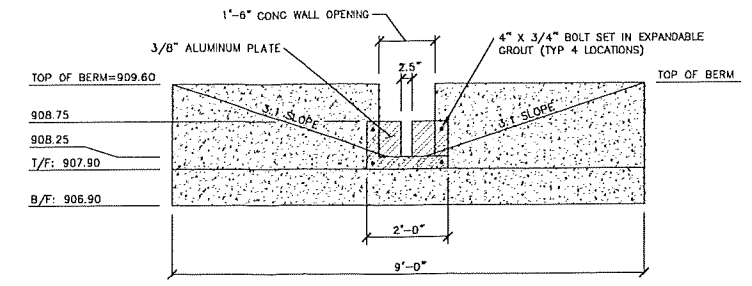
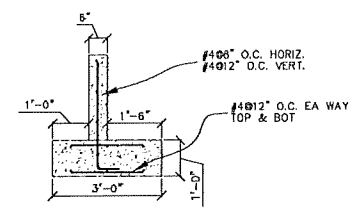
SITE LAYOUT PLAN  
 SHEET **C-400**

LEGEND	
—○—	OVERHEAD ELECTRIC
—□—	UNDERGROUND ELECTRIC
□	ELECTRIC BOX
⊕	ELECTRIC MANHOLE
⊙	ANCHOR POLE
⊙	LIGHT POLE
⊙	UTILITY POLE
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—○—	OVERHEAD TELEPHONE
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⊕	TELEPHONE MANHOLE
●	BOLLARDS
—	SIGN
—	MAIL BOX
—	WATER LINE
—	WATER VALVE
—	FIRE HYDRANT
—	WATER METER
—	WATER VALVE BOX
—	WATER VALVE MANHOLE
—	POST INDICATOR VALVE
—	GAS LINE
—	GAS METER
—	GAS VALVE
—	GAS VALVE BOX
—	UTILITY MANHOLE
—	SEWER MANHOLE
—	STORM MANHOLE
—	DITCH OR CREEK
—	CUADRIL
—	FENCE LINE
—	R/W FENCE LINE

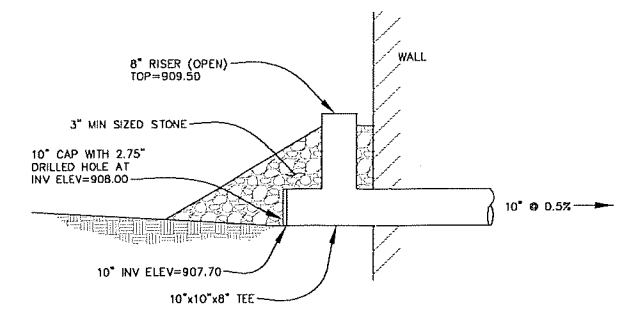
BEARINGS ARE BASED ON THE KENTUCKY STATE PLANE COORDINATE SYSTEM, NORTH ZONE (NAD 83).



AN ENCROACHMENT PERMIT IS REQUIRED FOR WORK WITHIN THE PUBLIC RIGHT-OF-WAY



NOTE: WEIR WALL TO BE CAST-IN-PLACE CONCRETE  
DETENTION BASIN No.2 OVERFLOW WEIR  
NTS



DETENTION BASIN No.1 OUTLET & ORIFICE DETAIL  
NTS

**MATERIALS AND INSTALLATION REQUIREMENTS**

- STORM SEWER PIPING: CORRUGATED METAL ALUMINIZED STEEL PIPE, TYPE 2 (ULTRA-FLOW) AASHTO M-274, ASTM A 929, 16 GA.; PVC, ASTM D 3034, SDR 35, FOR GASKETED JOINTS. HDPE (FOR 12" TO 24" PIPES).
- CONCRETE FOR CURBS, WALKS, PAVEMENT AND DRAINAGE STRUCTURES: 4000 PS @ 28 DAYS, 5% TO 8% ENTRAINED AIR, 4" MAXIMUM SLUMP.

**KEY NOTES:**

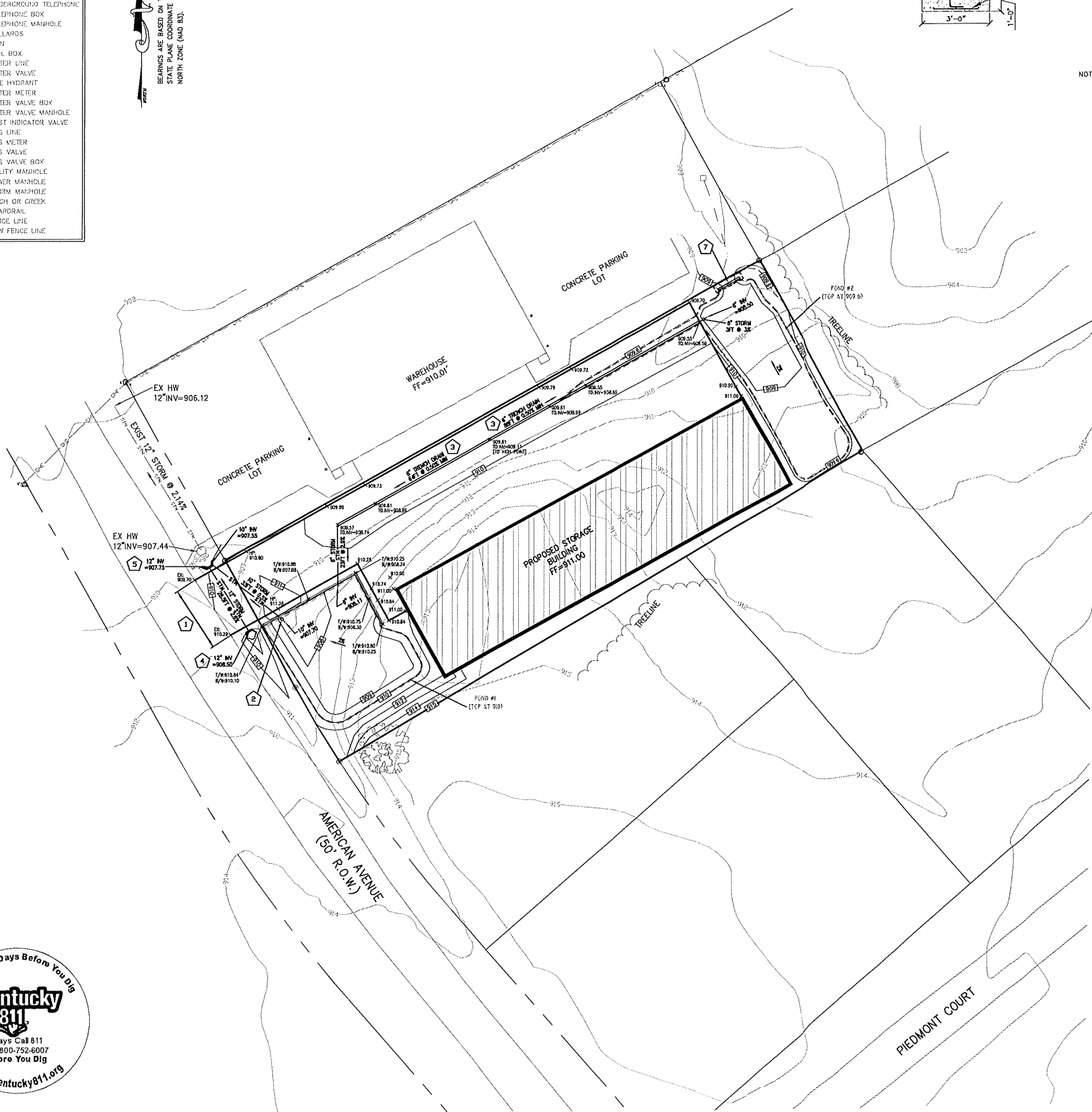
- CONNECT PROPOSED PAVEMENT FLUSH TO EXIST EDGE OF PAVEMENT THROUGH WIDTH OF PROPOSED DRIVE.
- FOR DETENTION BASIN #1 OUTLET AND ORIFICE, SEE DETAIL ON THIS SHEET.
- 6 INCH TRENCH DRAIN WITH 0.5% SLOPED BOTTOM AS MANUFACTURED BY "ECONODRAIN" OR APPROVED EQUAL. TRENCH DRAIN GRATE TO BE ABLE TO WITHSTAND H-20 LOADING.
- LOW PROFILE HEADWALL, SEE DETAIL ON SHEET C-200.
- HEADWALL, SEE DETAIL ON SHEET C-200.
- FOR DETENTION BASIN #2 OVERFLOW WEIR, SEE DETAIL ON THIS SHEET.

**EARTHWORK, GRADING AND DRAINAGE NOTES**

- STRIP AND REMOVE VEGETATION, TOPSOIL AND EXISTING IMPROVEMENTS TO THE EXTENTS ENCOUNTERED IN CUT AND FILL AREAS.
- PROOFROLL AREAS TO RECEIVE FILL AND ALL BUILDING/PAVEMENT SUBGRADE AREAS. RECOMPACT, OR UNDERCUT AND REPLACE ANY SOFT OR YIELDING AREAS PRIOR TO PLACING FILL OR SUBSEQUENT IMPROVEMENTS.
- DO NOT PLACE FILL OR CONSTRUCT IMPROVEMENTS ON SUBGRADES THAT ARE MUDDY, FROZEN OR REQUIRING ADDITIONAL COMPACTION.
- COORDINATE GRADING WITH EXISTING AND PROPOSED UTILITIES.

**GENERAL NOTES**

- NOTIFY, AND SECURE APPROVAL FROM GOVERNING AUTHORITIES PRIOR TO PERFORMING ANY WORK IN THE PUBLIC RIGHT OF WAY.
- PERFORM ALL WORK PER APPLICABLE REQUIREMENTS OF BUILDING CODE, OSHA, LOCAL CODES AND ORDINANCES. COMPLY WITH ALL REQUIREMENTS FOR PERMITS, LICENSES, FEES AND TAXES AND PAY ALL ASSOCIATED COSTS.
- BUILDING LAYOUT AS SHOWN IS FOR SITE LAYOUT AND GENERAL INFORMATION ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR COMPLETE BUILDING DIMENSIONING.
- BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THE PLANS ARE MINIMUM. THE CONTRACTOR SHALL REVISE AND PROVIDE ADDITIONAL BMP'S AS DEEMED NECESSARY PER SD-1 STORM WATER REGULATIONS.
- ALL PROPOSED SURFACE OR OTHER DRAINAGE FACILITIES OUTSIDE OF PUBLIC RIGHT OF WAY ARE TO BE PRIVATE AND MAINTAINED BY THE OWNER.
- CONTRACTORS TO VISIT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS AND COMMENCING CONSTRUCTION.
- AT LEAST (2) DAYS PRIOR TO THE START OF CONSTRUCTION OR ANY EARTHWORK OPERATION NOTIFY KENTUCKY UNDERGROUND PROTECTION INC. AND ALL OTHER ENTITIES NOT COVERED BY UTILITY PROTECTION SERVICE.
- ALL SPOT GRADES ARE AT PAVEMENT GRADE UNLESS OTHERWISE NOTED.
- ANY EXISTING UTILITY METERS AND/OR VALVES WITHIN REWORKED AREAS, THAT ARE TO REMAIN, SHALL BE ADJUSTED TO FINISHED GRADE.
- ALL PROPOSED PAVEMENT, WALKS AND CURBS THAT MEET EXISTING SHALL MEET FLUSH.
- BMP'S SHALL BE CHECKED EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A 0.5 INCH RAIN.
- DISTURBED AREA = 0.428 ACRES.



REVISIONS	DATE	#	ITEM

**CARDINAL**  
ENGINEERING  
LAND SURVEYING  
ONE INDEPENDENT ROAD  
WILDER, KENTUCKY 41071  
PHONE: (859) 581-9600  
FAX: (859) 581-9636

WEBSITE: <http://www.cardinalengineering.net>

PROJECT: GRADING & UTILITY PLAN  
255 AMERICAN AVE  
BOONE COUNTY, KENTUCKY

CLIENT: JACK KELLS  
442 LARKSPUR COURT  
EDGEWOOD, KENTUCKY 41017

DRAWN BY: MMR  
CHECKED BY: DES  
PROJECT MANAGER: DES

PROJECT NO. 21-100  
SCALE: 1" = 20'  
DATE: 10/26/2021

GRADING & UTILITY PLAN  
SHEET **C-500**



CERTIFICATE OF LAND USE RESTRICTION

1. NAME AND ADDRESS OF PROPERTY OWNER(S)  
Jack Kells  
442 Larkspur Ct  
Edgewood, KY 41017
2. ADDRESS OF PROPERTY  
1920 & 1930 American Ave  
Hebron, KY 41048
3. NAME OF SUBDIVISION OR DEVELOPMENT (if applicable)  
Jack Kells Storage
4. DEED BOOK 1041                      PAGE NO. 241                      GROUP NO. 2022  
DEED BOOK 1035                      PAGE NO. 104                      GROUP NO. 2022
5. TYPE OF RESTRICTION(S) (Check all that apply)
- \_\_\_ Zoning Map Amendment:                      \_\_\_ Conditional Use Permit  
    From \_\_\_ To \_\_\_
- \_\_\_ Development Plan                                      \_\_\_ Conditional Zoning
- \_\_\_ Subdivision Plat                                      \_\_\_ Other:  
    (Not Recorded)
- X   Variance
6. NAME AND ADDRESS OF PLANNING COMMISSION, BOARD OF ADJUSTMENT, LEGISLATIVE BODY OR FISCAL COURT WHICH MAINTAINS THE ORIGINAL RECORDS CONTAINING THE RESTRICTION

BOONE COUNTY PLANNING COMMISSION  
2950 WASHINGTON STREET, ROOM 317  
P.O. BOX 958  
BURLINGTON, KENTUCKY 41005

  
\_\_\_\_\_  
SIGNATURE OF COMPLETING OFFICIAL

Michael D. Schwartz, Director, Zoning Services  
Name and Title of Completing Official

COMMONWEALTH OF KENTUCKY

COUNTY OF BOONE

Subscribed, sworn to, and acknowledged before me by Michael D. Schwartz on behalf of the  
Boone County Planning Commission this 14<sup>th</sup> day of January, 2022.

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Treva L. Beagle  
Notary ID KYNP37603  
NOTARY PUBLIC, State at Large

My commission Expires:  
November 12, 2025

This instrument was prepared for recording purposes only by:

Nicole Dierna  
Nicole Dierna  
Boone County Planning Commission  
2950 Washington Street, Room 317  
P.O. Box 958  
Burlington, Kentucky 41005

NO TITLE EXAMINATION

(Legal Description and source of Title and Group Number furnished by the applicant.)