

**BOARD OF ADJUSTMENT  
BOONE COUNTY PLANNING COMMISSION**

**R E C E I V E D**  
88177  
APR 18 2023  
BOONE COUNTY  
PLANNING COMMISSION

Five (5) scaled copies and one (1) 11 x 17 reduction of submitted drawings are required.

Site Plan Review is not granted by the appropriate Board of Adjustment

An application consists of all fees paid in full, submitted drawings, and a completed application form

**SECTION A: (To be completed by applicant)**

1. Check One  Boone  Florence  Walton  Union
2. Check One  Conditional Use Permit  Variance  Appeal  
 Change in Non-Conforming Use
3. Applicant: DAVID S Beckett For Ground Haven Hardscapes LLC  
Address: 6515 ANNHURST CT  
FLORENCE Ky 41042  
City State Zip Code  
Phone Number: (859) 991-5251 Fax Number: N/A  
Email: groundhaven@gmail.com
4. Description of Request:  
VARIANCE CHANGE BECAUSE NEW PATIO WILL BE WITHIN 30' FROM REAR PROPERTY LINE
5. Name of Development: Pleasant Valley Meadows - WoodCreek
6. Location of Development: 2318 SUMMERSET CIR  
FLORENCE Ky 41042  
City State Zip Code
7. Acreage Under Review: \_\_\_\_\_
8. Lot Number and Name of Subdivision (if part of a subdivision):  
WOODCREEK SUB DIVISION
9. Current Owner: VIRGINIA HAHN  
Address: 2318 SUMMERSET CIR  
FLORENCE Ky 41042  
City State Zip Code  
Phone Number: (859) 477-5135 Fax Number: N/A  
Email: virginiahahn@gmail.com

10. Proposed Use(s) on Site: COVERED PATIO
11. Total Square Footage of Existing and/or Proposed Buildings: 312 Sq Ft
12. Current Zoning: RESIDENTIAL
13. D1182 450-452 3068 20388  
Deed Book Page Group Number
14. Is the site subject to a zone change:  Yes  No  
If yes, date of approval: \_\_\_\_\_
15. Have you submitted a Site Plan with this request:  Yes  No
16. Have you submitted a list of adjoining property owners with this request:  Yes  No
17. I, or we, understand and agree that this application and drawing(s) are being filed in accordance with the Boone County Zoning Regulations.

Property Owner's Signature: Virginia Hahn

Applicant's Signature: David S Beshett

**SECTION B:** (To be completed by Planning Commission staff)

1. Date Received: 4/18/23 Fee Received: \$6666 Receipt #: 88177
2. Is application complete:
3. Staff Reviewer: M. Schwartz
4. Scheduled Board Action Date: 5/10/2023
5. Board Action: 5/10/2023  
 Approved  
 Approved with Conditions (see #6)  
 Denial (See #7)
6. Conditions of Approval: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
7. Reasons for Denial: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Boone County Planning Commission  
Boone County Administration Building  
2950 Washington Street, Room 317  
P.O. Box 958  
Burlington, Kentucky 41005  
Phone: 859-334-2196 Fax: 859-334-2264  
[plancom@boonecountyky.org](mailto:plancom@boonecountyky.org)  
[www.boonecountyky.org](http://www.boonecountyky.org)

## STAFF REPORT

#4

APPLICANT: Ground Haven Hardscapes LLC, per David S. Beckett, on behalf of Virginia Hahn

LOCATION: 2318 Summerset Circle, Boone County, Kentucky

ZONING: Suburban Residential One (SR-1)

DATE: May 10, 2023

### PROPOSAL

1. The applicant is requesting a Variance reducing the rear yard setback from thirty (30) feet to fifteen (15) feet to allow the construction of a building addition and deck.

### SITE HISTORY

1993 On September 8, 1993, the Boone County Planning Commission approved a Zoning Permit for a single-family residence.

### APPLICABLE REGULATIONS

- A. Section 202.C of the Boone County Zoning Regulations states that one of the duties of the Board of Adjustment is to hear and decide on applications for variances.
- B. Section 4000 of the Boone County Zoning Regulations defines a variance as a departure from dimensional terms of the zoning regulation pertaining to the height, width, or location of structures, and the size of yards and open spaces where such departure meets the requirements of KRS 100.241 to 100.247.
- C. The Board should evaluate the request as it relates to the criteria necessary for granting a Variance as stated in Section 204.D and 204.E of the Boone County Zoning Regulations.
  1. Findings listed in Section 204.D and 204.E:
    - a. Before any variance is granted, the Board must find that the granting of the variance will not adversely affect the public health, safety or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations. In making these findings, the board shall consider whether:
      - (1) The requested variance arises from special circumstances which do not generally apply to land in the general vicinity, or in the same zone;
      - (2) The strict application of the provisions of the regulations would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant;

- (3) The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.
  - b. The Board shall deny any request for a variance arising from circumstances that are the result of willful violations of the zoning regulation by the applicant subsequent to the adoption of the zoning regulation from which relief is sought.
- D. Section 3110 of the Boone County Zoning Regulations requires a minimum rear yard setback of thirty (30) feet within the SR-1 district.
- E. Section 930 of the Boone County Zoning Regulations states that the “purpose of the Suburban Residential One district is to provide a low density, residential environment, whose dwelling types and densities are typical of a suburban character. It is also to provide limited or passive and active recreational uses that are appropriate to the permitted uses in the district.”

RELATIONSHIP TO THE COMPREHENSIVE PLAN

- A. The Our Boone County Plan 2040 Future Land Use Plan designates the site in question as “Suburban Density Residential”, which is described as single family housing of up to four units per acre.
- B. The following Our Boone County Plan 2040 Goals and Objectives apply to this application:
- 1. Land uses and zoning decisions shall strive to balance the rights of landowners with the rights of neighbors and the community (Overall Goal A, Objective 4).
  - 2. Development policies shall not discriminate against any person (Demographics Goal A, Objective 1).
  - 3. Provide appropriate services, housing, employment, and shopping opportunities in order to meet the needs of the population in all geographic areas of the County (Demographics Goal A, Objective 4).
  - 4. A broad range of housing opportunities shall be provided to meet the needs and desires of all household types and shall be balanced with affordability, employment centers, commercial areas, and educational needs (Demographics Goal B, Objective 1).
  - 5. Home ownership shall be encouraged and incentivized as well as redevelopment and renovation of deteriorating housing stock (Demographics Goal B, Objective 3).

6. Residential developments shall be evaluated for impact on infrastructure, environment, health and safety considerations, buffering, and design with secondary consideration given to dwelling unit type and density (Demographics Goal B, Objective 4).
  7. Residential developments shall be encouraged to plan and build in a manner compatible with the general housing density and design planned for the area, with the existing conditions of the site, and significant site features (Demographics Goal B, Objective 8).
- C. Summerset Circle is identified as a County maintained local cul-de-sac street providing for two way traffic within an approximate twenty-five (25) foot pavement width. A sidewalk is provided along the northwest of the roadway, and around the cul-de-sac.

#### SURROUNDING LAND USES AND ZONING

- North: Single family residential (SR-1)
- South: Single family residential (SR-1)
- East: Single family residential (SR-1)
- West: Single family residential (SR-1)

#### SITE CHARACTERISTICS

- A. The approximate 0.31 acre property is located at the terminus of Summerset Circle, approximately 300 feet southwest of Forest Lawn Drive.
- B. The site is currently occupied by a one-story, detached single-family residential dwelling, with a rear lower level walk-out.
- C. Access to the site is from Summerset Circle.
- D. The site slopes downward, front to back, at an average grade of 3%.
- E. The proposed addition will be set back no less that fifteen (15) feet from the rear property line.

#### STAFF COMMENTS

- A. The properties to the rear of the site in question have rear yard setbacks of sixty-eight (68) feet to seventy-nine (79) feet.
- B. A fence separates the site in question from the properties to the rear of the site.
- C. The property located at 8332 Woodcreek Drive, which would have the most visual impact of the proposed building addition, has five (5) mature evergreen trees along its

rear property line.

CONCLUSION

- A. KRS 100.241 and Section 220 of the Boone County Zoning Regulations give the Boone County Board of Adjustment and Zoning Appeals the authority to act on the request.
- B. Sections 204.D and 204.E of the Boone County Zoning Regulations identifies criteria necessary for granting a Variance. The applicant needs to provide information as to how their application meets this criteria.

Respectfully submitted,



Michael D. Schwartz  
Director, Zoning Services

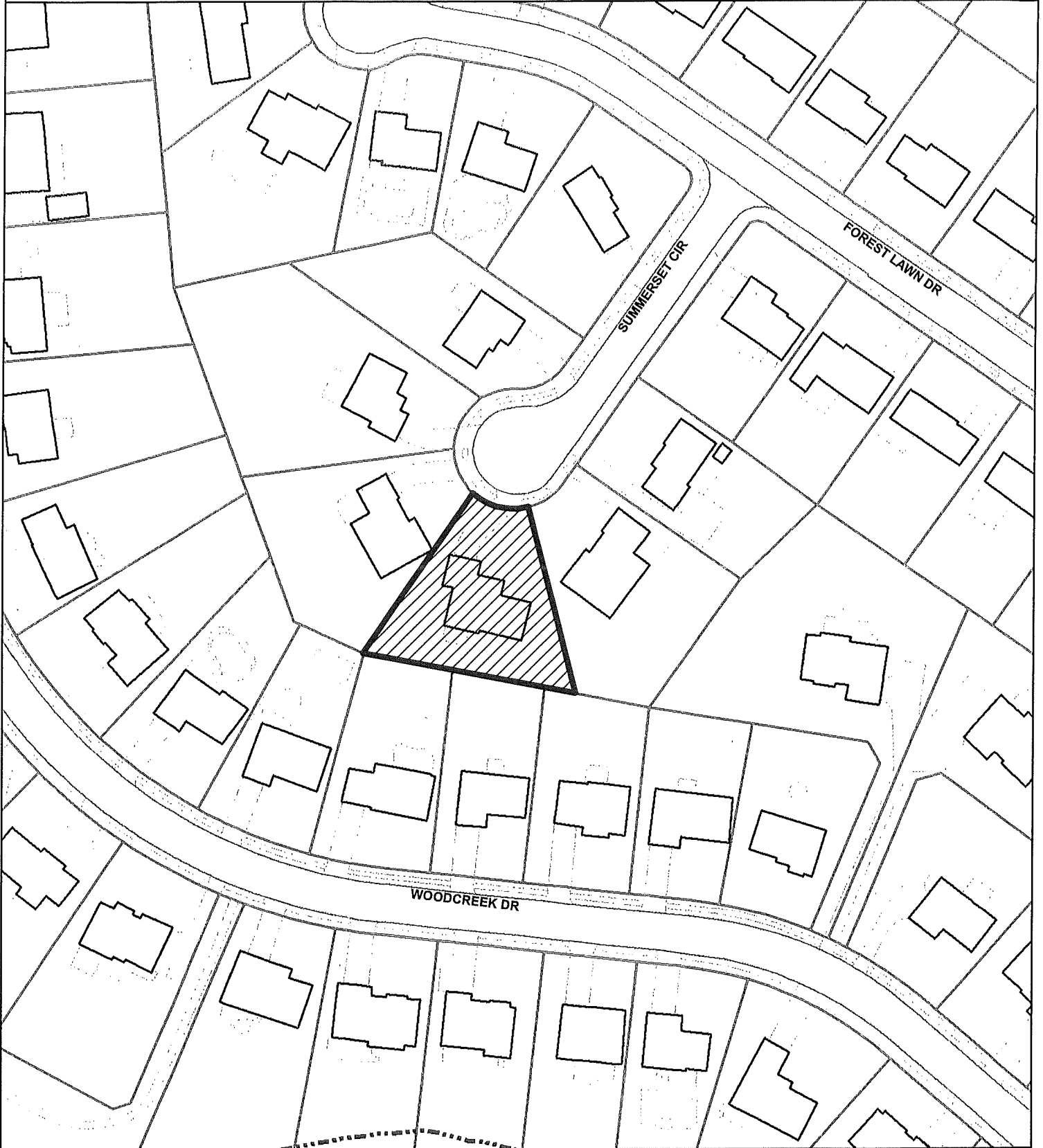
MDS/ss

Attachments

- \*Vicinity Map
- \*Aerial Map
- \*Topographical Map
- \*Zoning Map
- \*2040 Future Land Use Map
- \*Application
- \*Development Plan

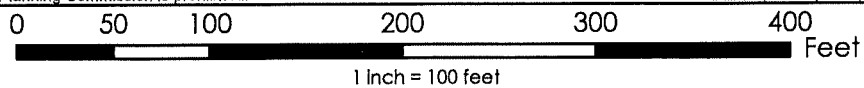
# Vicinity Map

www.boonecountygis.com



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**Boone County GIS - Putting Northern Kentucky on the Map**

Map Created: xx/xx/2022

Map File: E:\data\ky\North 2022.mxd  
ArcMap Document: \*.mxd

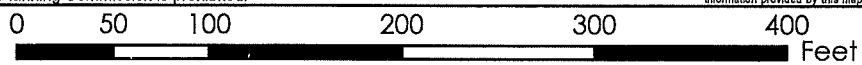
# Aerial Map

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1 inch = 100 feet



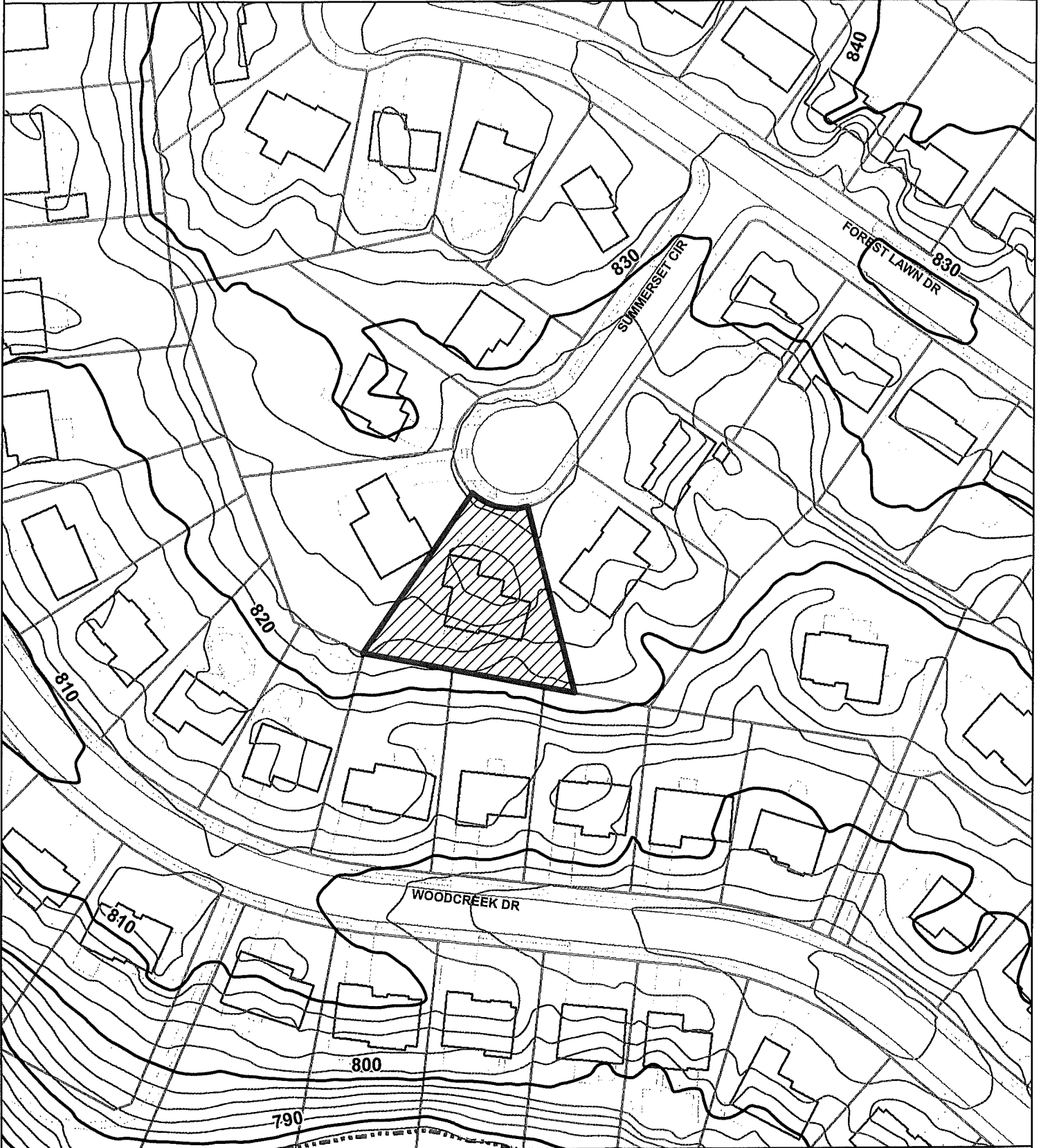
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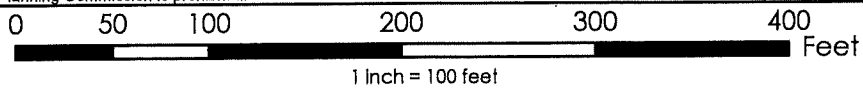
# Topographic Map

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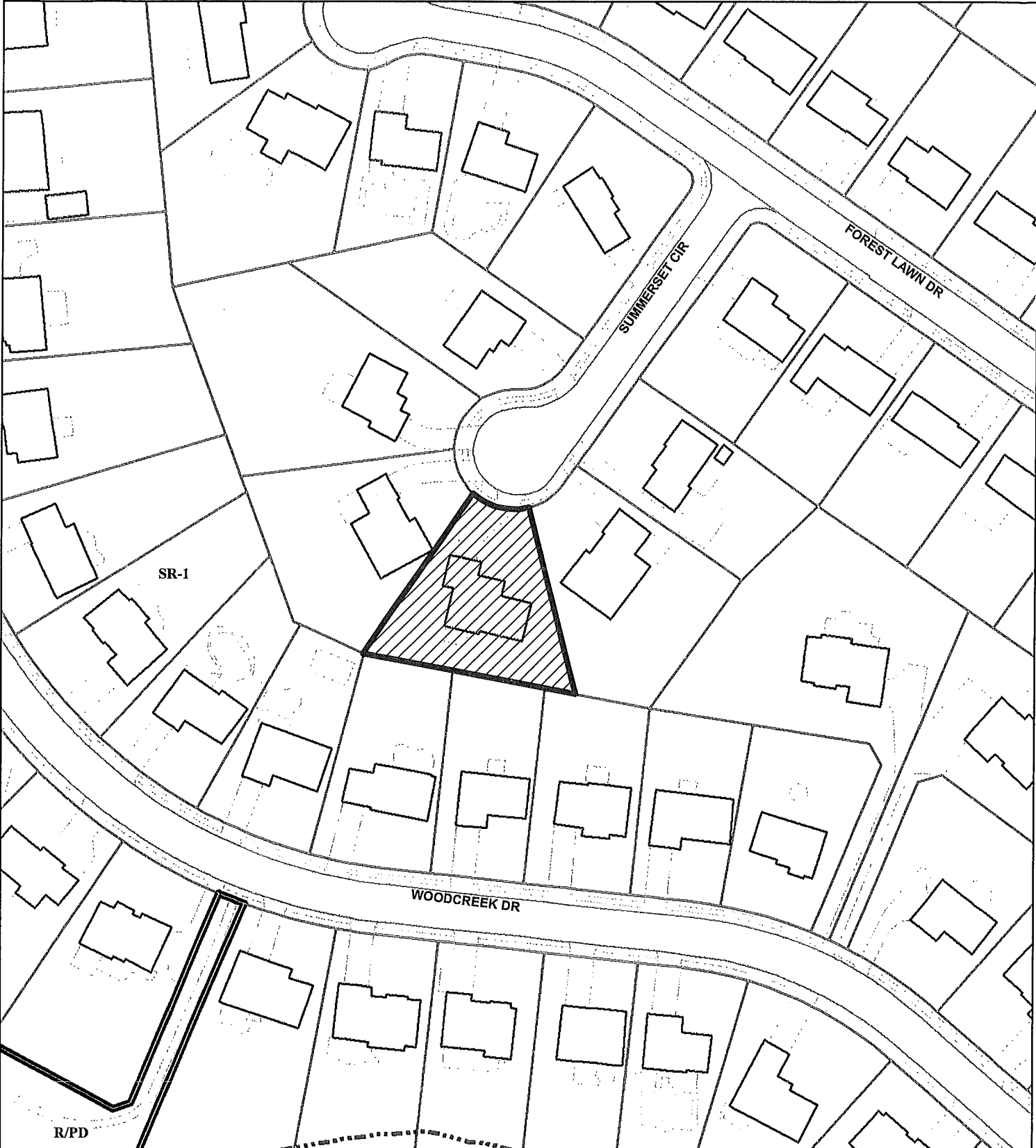


**Boo**



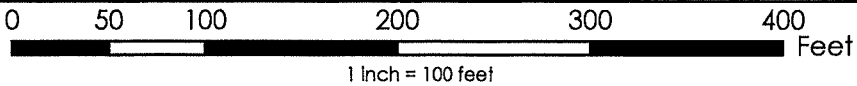
# Zoning Map

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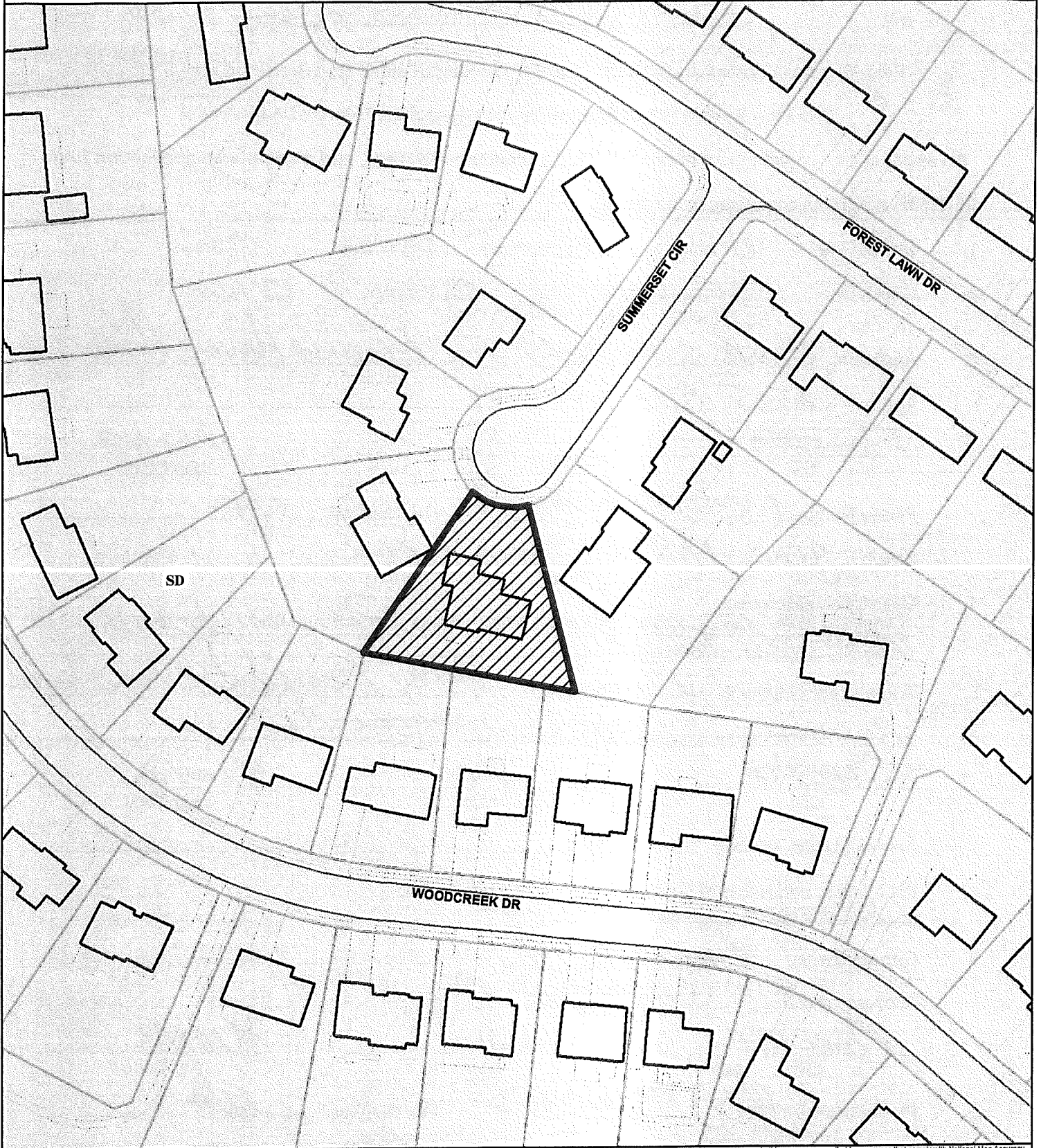
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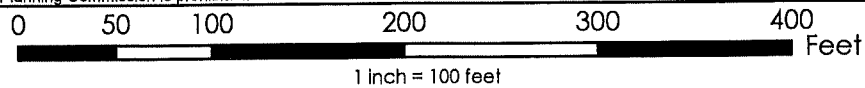
# 2040 Future Land Use Map

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Deed Book Page Group Number
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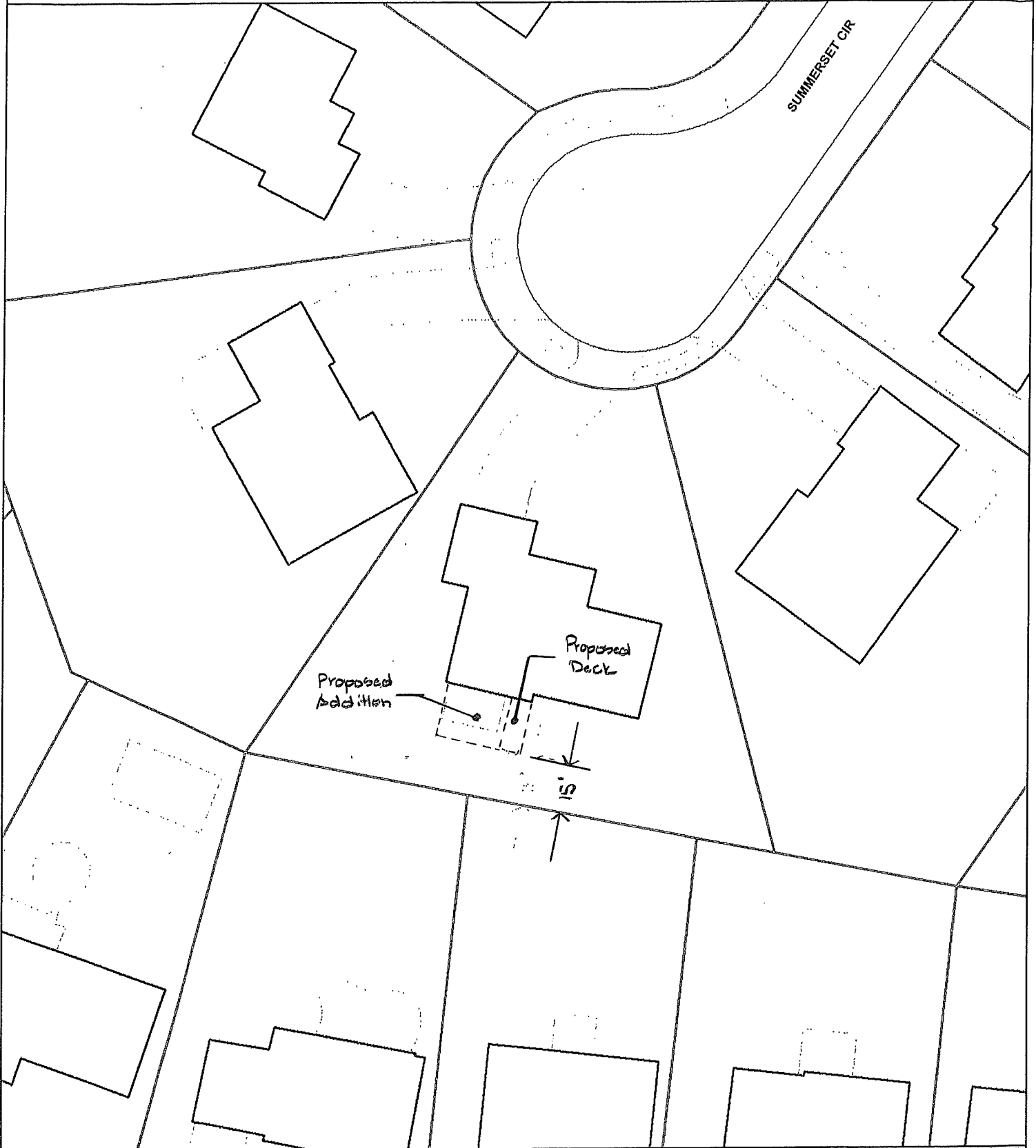
**SECTION B:** (To be completed by Planning Commission staff)

1. Date Received: 4/18/23 Fee Received: \$666 Receipt #: 88177
2. Is application complete:
3. Staff Reviewer: \_\_\_\_\_
4. Scheduled Board Action Date: \_\_\_\_\_
5. Board Action: \_\_\_\_\_  
\_\_\_\_\_ Approved  
\_\_\_\_\_ Approved with Conditions (see #6)  
\_\_\_\_\_ Denial (See #7)
6. Conditions of Approval: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
7. Reasons for Denial: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Boone County Planning Commission  
Boone County Administration Building  
2950 Washington Street, Room 317  
P.O. Box 958  
Burlington, Kentucky 41005  
Phone: 859-334-2196 Fax: 859-334-2264  
[plancom@boonecountyky.org](mailto:plancom@boonecountyky.org)  
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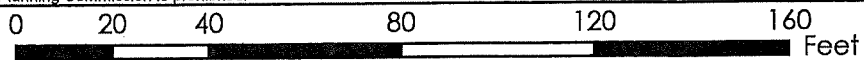
# Boone County GIS Map

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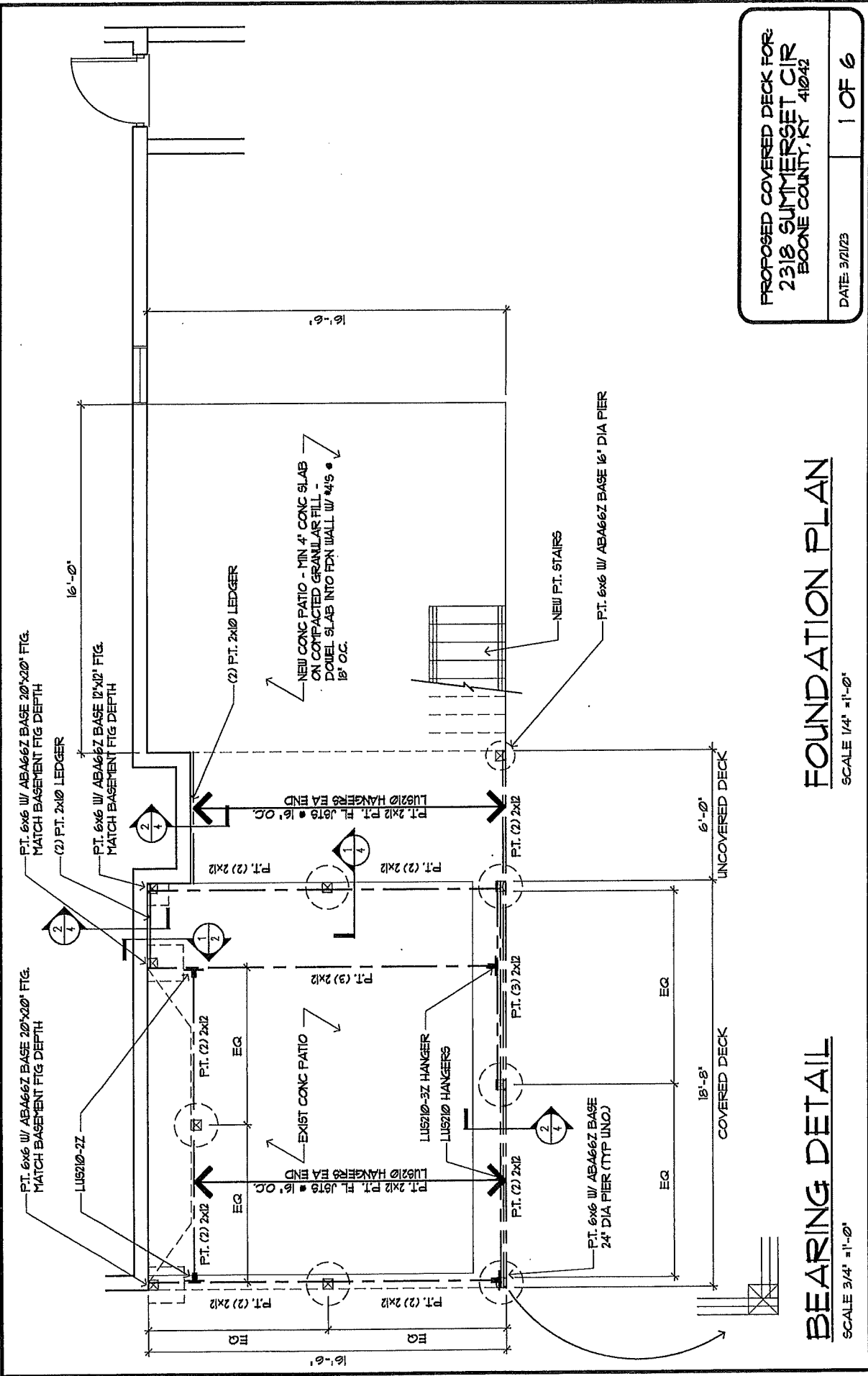
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1 inch = 40 feet



**Boone County GIS - Putting Northern Kentucky on the Map**



PROPOSED COVERED DECK FOR:  
 2318 SUMMERSET CIR  
 BOONE COUNTY, KY 41042

DATE: 3/21/23

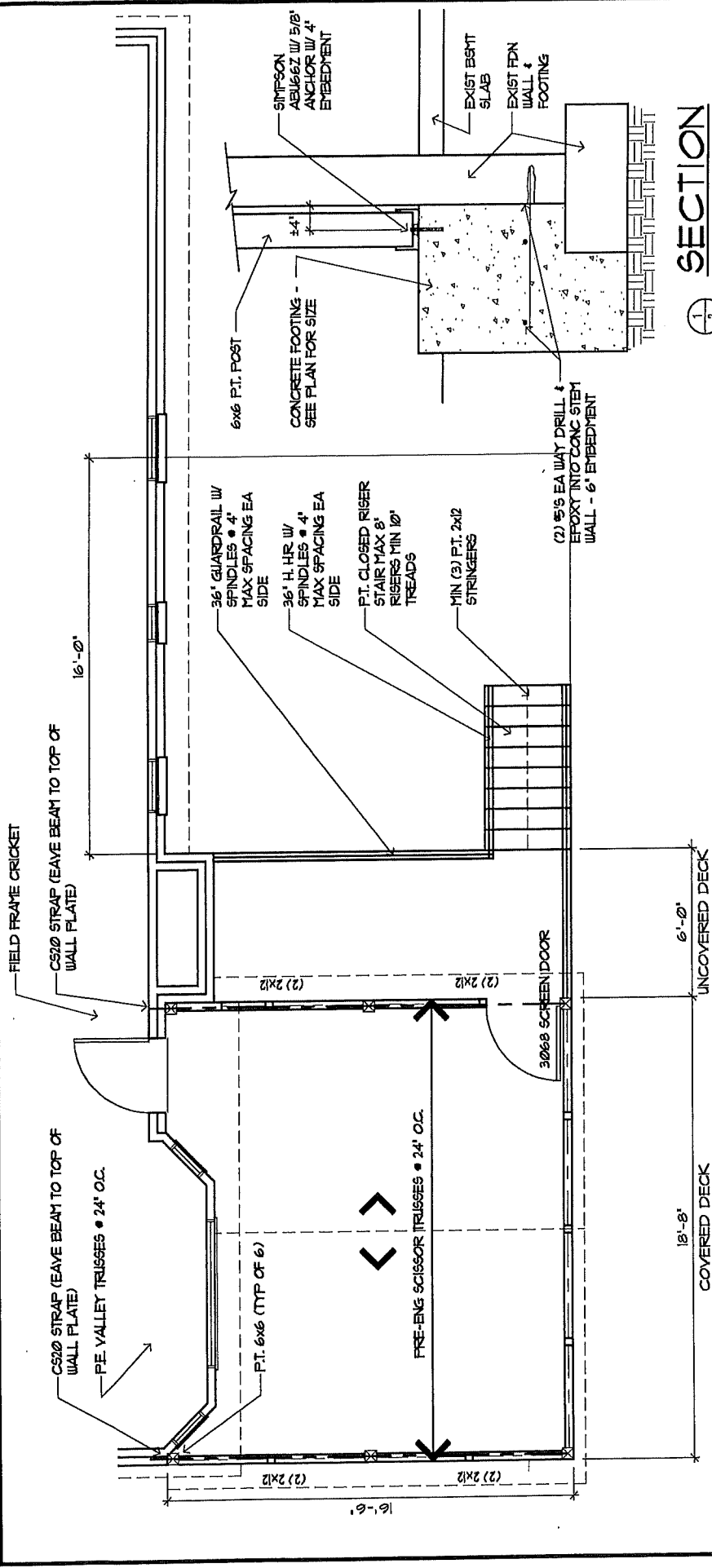
1 OF 6

FOUNDATION PLAN

SCALE 1/4" = 1'-0"

BEARING DETAIL

SCALE 3/4" = 1'-0"



**SECTION**  
SCALE 3/4" = 1'-0"



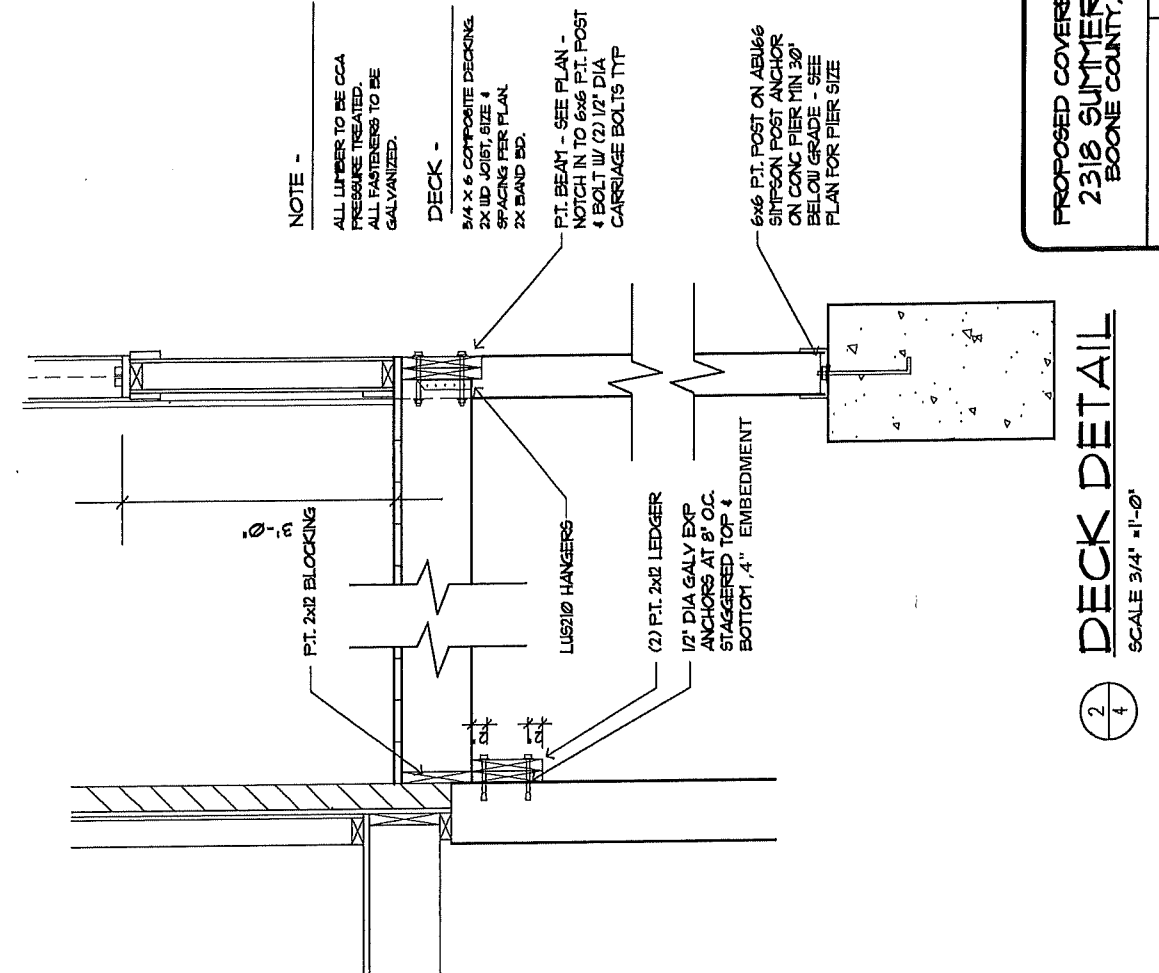
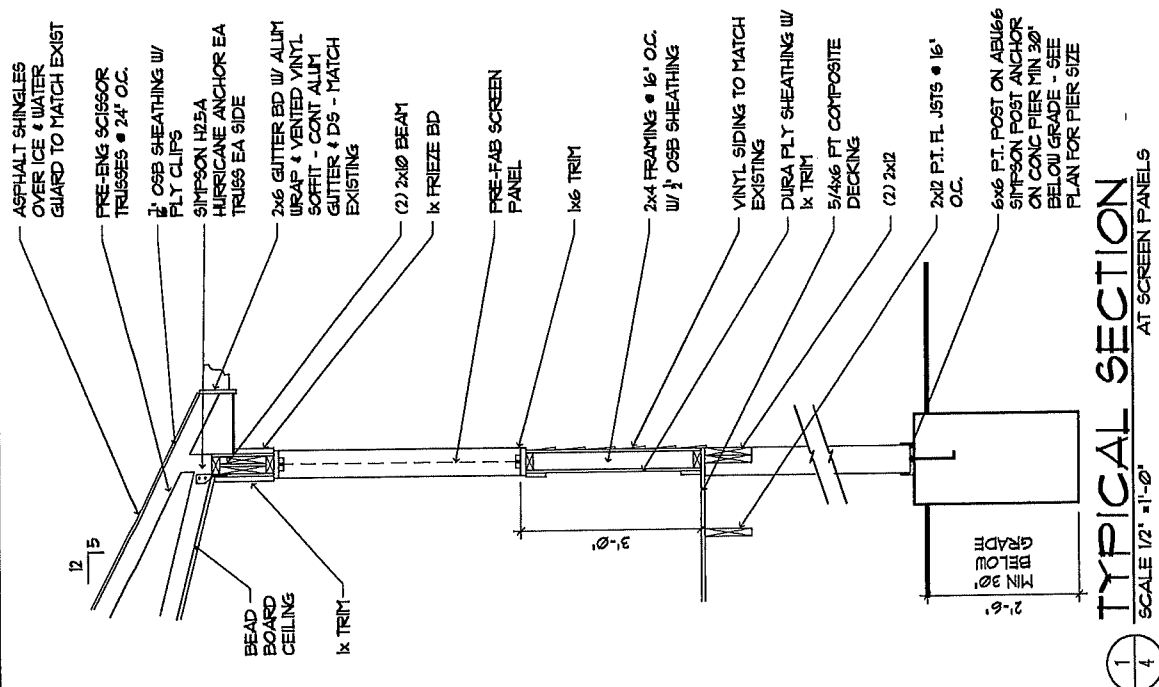
**FLOOR PLAN**  
SCALE 1/4" = 1'-0"

PROPOSED COVERED DECK FOR  
2318 SUMMERSET CIR  
BOONE COUNTY, KY 41042

DATE: 3/2/23

2 OF 6





NOTE -  
 ALL LUMBER TO BE CCA  
 PRESURE TREATED.  
 ALL FASTENERS TO BE  
 GALVANIZED.

DECK -  
 5/4 X 6 COMPOSITE DECKING,  
 2X10 JOIST, SIZE &  
 SPACING PER PLAN  
 2X BAND BD.

P.T. BEAM - SEE PLAN -  
 NOTCH IN TO 6x6 P.T. POST  
 & BOLT W/ (2) 1/2\"/>

6x6 P.T. POST ON ABU66  
 SIMPSON POST ANCHOR  
 ON CONC PIER MIN 30\"/>
 BELOW GRADE - SEE  
 PLAN FOR PIER SIZE

2  
4

DECK DETAIL

SCALE 3/4" = 1'-0"

PROPOSED COVERED DECK FOR  
 2318 SUMMERSET CIR  
 BOONE COUNTY, KY 41042

DATE: 3/2/23

4 OF 6

TYPICAL SECTION

AT SCREEN PANELS

SCALE 1/2" = 1'-0"

1  
4

**STRUCTURAL NOTES**

**GOVERNING CODE**  
2018 KENTUCKY RESIDENTIAL CODE

**DESIGN REQUIREMENTS**

1. DESIGN LOADS
  - A. FLOOR  
40 PSF LIVE + 10 PSF DEAD
  - B. ROOF  
20 PSF LIVE + 15 PSF DEAD
  - C. GUARDRAILS AND HANDRAILS  
LTPD RAIL: 200 POUND CONCENTRATED LOAD AT ANY POINT IN ANY DIRECTION.  
ii. INFILL COMPONENTS, BALUSTERS, AND PANEL FILLERS: HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FT.
  - D. WIND SPEED, VASD (BASED ON 3-SECOND GUST) 90 MPH
2. DESIGN MAXIMUM ALLOWABLE LIVE LOAD DEFLECTIONS (BASED ON TABLE R601.7). WIND LOADS ARE TAKEN AS 0.7 TIMES COMPONENT AND CLADDING LOADS FOR PURPOSE OF DETERMINING DEFLECTION LIMITS.

- A. FLOORS  
L260
- B. ALL OTHER STRUCTURAL MEMBERS  
L240

**CONSTRUCTION AND SAFETY**

1. CONTRACTOR SHALL BRACE ENTIRE STRUCTURE AS REQUIRED TO MAINTAIN STABILITY UNTIL COMPLETE AND FUNCTIONING AS THE DESIGNED UNIT.
2. ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY CONTRACTOR.
3. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK.
4. CONTRACTOR AND HIS AGENT(S) SHALL VERIFY ALL INFORMATION AND DIMENSIONS CONTAINED WITHIN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, INCLUDING BUILDINGS, SITE CONDITIONS, AND ALLOWABLE SOIL BEARING PRESSURE. ALL ERRORS, OMISSIONS, AND INCONSISTENCIES ARE TO BE REPORTED TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL RELEASE THE ARCHITECT/ENGINEER OF ALL RESPONSIBILITY. ANY CHANGES FROM THESE DOCUMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR. THESE DRAWINGS ARE NOT TO BE SCALED. IF INSUFFICIENT INFORMATION EXISTS, CONTACT THE ARCHITECT/ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

**FOUNDATIONS**

1. THE FOUNDATION DESIGN AND GENERAL FOUNDATION NOTES ARE BASED ON THE ASSUMPTION OF FAVORABLE SOIL CONDITIONS. THE CONTRACTOR SHALL VERIFY DESIGN ASSUMPTIONS PRIOR TO FOUNDATION INSTALLATION.
  - A. ALL FOOTINGS SHALL BEAR ON LEVEL (WITHIN 1" IN 12) UNDISTURBED SOIL OR APPROVED ENGINEERED FILL. FOUNDATIONS HAVE BEEN DESIGNED FOR A MAXIMUM SOIL BEARING PRESSURE OF 1500 PSF.
2. FOUNDATION ELEVATIONS SHOWN ARE FOR BIDDING PURPOSES AND MAY VARY TO SUIT SUB-SURFACE SOIL CONDITION. ELEVATION AND BEARING STRATA SHALL BE APPROVED PRIOR TO PLACING FILL AND FOUNDATION CONCRETE.
3. CONTRACTOR SHALL CONTACT UTILITY COMPANIES FOR LOCATING UNDERGROUND SERVICES AND IS RESPONSIBLE FOR THEIR PROTECTION AND SUPPORT.

**CONCRETE**

1. CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-10, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW, AND THE REQUIREMENTS FOR RESIDENTIAL CONCRETE CONSTRUCTION ACI 332-08.
2. MATERIALS:
  - A. CONCRETE FOR EXTERIOR FLAT WORK, WALKS, GARAGE SLABS, ETC.  
f<sub>c</sub> = 3500 PSI
  - ii. MAXIMUM WATER/CEMENTITIOUS RATIO = 0.45
  - iii. NORMAL WEIGHT AGGREGATE
  - iv. 5% TO 7% ENTRAINED AIR
  - v. LIMIT POZZOLAN CONTENT PER ACI 301-10 TABLE 4.2.2.9.
- B. CONCRETE FOR FOOTINGS:  
f<sub>c</sub> = 3000 PSI
- ii. NORMAL WEIGHT AGGREGATE
- C. REINFORCING STEEL: ASTM A615 60 KSI YIELD DEFORMED BARS AND ASTM A185 WELDED WIRE REINFORCEMENT (SHEETS ONLY).
- D. ADMIXTURES: ADMIXTURES CONTAINING CHLORIDE ARE NOT PERMITTED IN REINFORCED CONCRETE OR CONCRETE CONTAINING METALS.

3. WHEN THE AIR TEMPERATURE IS LESS THAN 40° F, THE TEMPERATURE OF THE CONCRETE SHALL BE MAINTAINED BETWEEN 50° AND 70° F FOR 7 DAYS.
4. DURING HOT WEATHER, WHEN NECESSARY, PROVIDE FOR PROTECTIVE MEASURES IN ADVANCE OF PLACEMENT.
5. STEEL TROWEL FINISH FLOOR SLAB AND CURE USING "CURE AND SEAL" TYPE CURING COMPOUND MEETING FEDERAL SPECIFICATION TT-C-08000 VOC COMPLIANT, 30% MINIMUM SOLIDS CONTENT. FOR EXTERIOR FLAT WORK APPLICATIONS EXPOSED TO SUNLIGHT USE LIGHT BROOM FINISH AND ACRYLIC BASED CURING COMPOUND. PRIOR TO APPLICATION CONTRACTOR SHALL VERIFY COMPATIBILITY OF CURING COMPOUND WITH FINAL FLOOR FINISHES.

1. CONTRACTION JOINTS IN SLABS-ON-GRADE SHALL BE HAND TROWELED OR SAW CUT WITHIN 6 HOURS OF PLACING CONCRETE OR WHEN CONCRETE IS STRONG ENOUGH TO WITHSTAND CUTTING WITHOUT FAVELING AT THE EDGES.

**POST-INSTALLED ANCHORS**

1. INSTALLATION: INSTALL ANCHORS PER EVALUATION REPORT AND MANUFACTURERS PRINTED INSTALLATION INSTRUCTIONS (MPI).
2. EXPANSION ANCHORS:
  - A. ANCHORAGE TO CONCRETE: SIMPSON STRONG-TIE "STRONG-BOLT" 2" CARBON STEEL ZINC PLATED (EVALUATION REPORT: ICC-ES ESR-3037).
3. SCREW ANCHORS
  - A. ANCHORAGE TO CONCRETE: SIMPSON STRONG-TIE "TITEN HD" (EVALUATION REPORT: ICC-ES ESR-2713)

**WOOD**

1. MATERIALS:
    - A. FRAMING LUMBER:
      - i. L2 x 8 AND LARGER: NO. 1 GRADE OR BETTER SOUTHERN PINE (KILN DRIED).
      - ii. 2 x 4 AND 2 x 6: STUD GRADE OR BETTER SPRUCE PINE FIR KILN DRIED.
      - iii. 4 x 4: NO. 1 GRADE OR BETTER PRESSURE TREATED SOUTHERN PINE.
      - iv. 6 x 6: NO. 2 GRADE OR BETTER PRESSURE TREATED SOUTHERN PINE.
      - v. 2 x 4 AND LARGER PRESSURE TREATED LUMBER: NO. 1 GRADE OR BETTER SOUTHERN PINE.
    - B. SHEATHING & SUBFLOORING:
      - i. MATERIALS:
        - a) ROOF SHEATHING: 1982Z APA SPAN RATING 40/20 ROOF SHEATHING EXPOSURE 1. INSTALL PANEL CLIP THAT CREATES AN 1/8" SPACE BETWEEN PANELS AT MIDSPAN OF EACH TRUSS/AFTER SPACE ALONG UNSUPPORTED SHEATHING
        - b) WALL SHEATHING: 7/16" APA SPAN RATING 24/16 WALL SHEATHING EXPOSURE 1.
        - c) DECK BOARDS: PT SOUTHERN PINE 5/4 X 6 DECK BOARDS WITH (2) #2 X 2 1/2" WOOD SCREWS AT EACH JOIST. BOARDS SHALL SPAN OVER A MINIMUM OF THREE SUPPORTS. BUTT ENDS OF ADJACENT PIECES SHALL BE STAGGERED.
      - ii. CONNECTIONS:
        - a) ALL SHEATHING SHALL BE NAILED TO WOOD FRAMING WITH 8d NAILS AT 6" ON CENTER AT PANEL EDGES, 12" ON CENTER AT INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE.
    - C. WOOD TRUSSES:
      - i. ALL WORK TO CONFORM TO THE NATIONAL DESIGN STANDARDS FOR METAL-PLATE CONNECTED WOOD TRUSS CONSTRUCTION" (ANSI/TPI 1-2007) BY THE TRUSS PLATE INSTITUTE, INC.
      - ii. UNLESS NOTED OTHERWISE, ALL TRUSSES SHALL BE DESIGNED FOR THE LOADS AS SHOWN IN THE DESIGN LOAD SECTION OF THESE NOTES. TRUSS DESIGN LOAD COMBINATIONS SHALL BE PER THE KENTUCKY RESIDENTIAL CODE.
- ROOF TRUSSES: IN ADDITION TO THE LOADS SHOWN IN THE DESIGN SECTION, DESIGN ROOF TRUSSES FOR NET UPLIFT DUE TO WIND LOAD OF 10 PSF. SNOW LOADS SHALL BE CONSIDERED UNBALANCED PER ASCE 7 SECTION 7.6.1. MAXIMUM

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- I. TOTAL LOAD DEFLECTION NOT TO EXCEED L/240 AND MAXIMUM LIVESNOW LOAD DEFLECTION NOT TO EXCEED L/960.
- II. SHOP DRAWINGS ARE REQUIRED AND SHALL BEAR THE DESIGNER'S ENGINEERING SEAL FROM THE STATE THE PROJECT OCCURS. PER IRC 802.10, SHOP DRAWINGS SHALL INCLUDE ALL DESIGN AND FABRICATION DATA, TEMPORARY AND PERMANENT BRACING REQUIREMENTS (CLEARLY SHOWING PERMANENT BRACING REQUIREMENTS FOR WEB COMPRESSION AND BOTTOM CHORD MEMBERS), HANDLING AND ERECTION INSTRUCTIONS, ALL FIELD-CONNECTION REQUIREMENTS AND AN ERECTION PLAN LOCATING ALL TRUSSES. WOOD TRUSSES SHALL NOT BE FABRICATED UNTIL SHOP DRAWINGS ARE APPROVED BY ARCHITECT/ENGINEER.
- III. LAP SPLICE PERMANENT TRUSS BRACING A MINIMUM OF ONE TRUSS SPACE.
- IV. ALL TRUSSES UNDER 60' LONG SHALL BE BRACED DURING ERECTION PER COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES, SC5141 SUMMARY SHEET BY THE TRUSS MANUFACTURER, UNLESS MORE STRICT BRACING IS REQUIRED BY THE TRUSS MANUFACTURER.
- V. EXTERIOR GABLE ENDS:
- PROVIDE 2 X 4 X 10' LONG HORIZONTAL BRACES PERPENDICULAR TO GABLE END WALL AT 4' ON CENTER, NAIL BRACES TO GABLE END AND TO TOP OF THE BOTTOM CHORDS OF EACH TRUSS WITH (2)-10d NAILS.
  - TOENAIL GABLE END TRUSS TO TOP PLATE OF STUD WALL WITH 10d TOENAILS AT 16" ON CENTER.
  - BRACE WALLING STUDS IN GABLE END TRUSS PER MANUFACTURER'S DRAWINGS.

B. FASTENERS:

I. BOLTS:

- ANCHOR BOLTS FOR ALL PRESSURE TREATED LUMBER SILLS (WITH THE EXCEPTION OF BORATE TREATED): HOT DIP GALVANIZED ANCHOR BOLTS PER ASTM A123; ASTM A38, ASTM A307, OR ASTM F1554 GRADE 36.
  - OTHER BOLTS: ASTM A307, SAE J429.
  - PROVIDE STANDARD CUT WASHER BETWEEN BOTH HEAD AND NUT TO WOOD CONNECTION.
- II. NAILS (CONTRACTOR SHALL CONFIRM NAIL SIZES INDICATED ON DRAWINGS AND NOTES MEET THE FOLLOWING DIAMETER AND LENGTH REQUIREMENTS):
- 8d = 0.131" DIA, 2.97" LG.
  - 10d = 0.148" DIA, 3" LG.
  - 16d = 0.182" DIA, 3 1/2" LG.

PNEUMATIC GUN NAILS SHALL MEET THE DIAMETER AND LENGTH AS SHOWN ABOVE REGARDLESS OF THE NAIL SIZE INDICATED BY THE MANUFACTURER.

- UNLESS NOTED OTHERWISE, CONNECTIONS SHALL BE MADE PER TABLE RB02.2(1) "FASTENING SCHEDULE", IN REFERENCED BUILDING CODE. STAPLES NOT PERMITTED FOR FASTENING APA RATED SHEATHING AND SUBFLOORING.
- AT BOLT 2x4 LEDGERS, PROVIDE NO LESS THAN 2" CLR. FROM CENTER OF BOLT TO TOP AND BOTTOM OF LEDGER.
- ALL CONNECTION HARDWARE SPECIFIED ON THE STRUCTURAL DRAWINGS SHALL BE MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, SHALL BE FASTENED AS SPECIFIED IN THE SIMPSON PRODUCT AND INSTRUCTION MANUAL, AND ARE BASED ON THEIR CATALOG PUBLISHED CAPACITIES. ALL CONNECTORS SHALL BE INSTALLED USING THE MAXIMUM NAILING SPECIFIED AND PROPER NAIL SIZE UNLESS NOTED OTHERWISE.
- SIMPSON CONNECTORS USED IN ALL APPLICATIONS WITH ACC-C, ACC-Q, CBA-A, OR CA-B TREATED LUMBER SHALL BE ZMAX (G165) OR HOT DIPPED GALVANIZED.

- FOR WOOD ROOF RAFTERS AND TRUSSES, INSTALL ONE SIMPSON H2.5A HURRICANE TIE AT EACH MEMBER AT EACH BEARING LOCATION IN ADDITION TO THE TYPICAL NAILING REQUIREMENT IN THE "FASTENING SCHEDULE".

- NOTCHES IN EXTERIOR WALL OR INTERIOR BEARING WALL STUDS ARE NOT TO EXCEED ONE-FOURTH OF THE STUD WIDTH, AND NO HOLES ARE TO BE BORED GREATER THAN 40% OF THE STUD WIDTH OR WITHIN 6" OF STUD EDGE.

- NOTCHES IN FLOOR JOISTS AND ROOF RAFTERS SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. DEPTH OF NOTCHES IN THE TOP OR BOTTOM OF THE MEMBER ARE NOT TO EXCEED ONE-SIXTH OF THE MEMBER DEPTH, AND LENGTH SHALL NOT EXCEED ONE-THIRD OF MEMBER DEPTH. HOLES SHALL NOT BE BORED LARGER THAN ONE-THIRD OF THE MEMBER DEPTH, OR WITHIN TWO INCHES OF THE TOP OR BOTTOM OF THE MEMBER, OR WITHIN TWO FEET OF BEARING. NO HOLES OR NOTCHES ARE ALLOWED IN BEAMS UNLESS APPROVED BY ARCHITECT/ENGINEER.

- ALL MULTIPLE HEADERS AND BEAMS WITH DEPTH LESS THAN 14 INCHES SHALL BE FASTENED TOGETHER WITH MINIMUM (3) ROWS OF 10d COMMON NAILS AT 12" O.C., STAGGERED ON OPPOSITE SIDES. Verify capacity of typical fasteners for side loaded members.

- ALL NAILS AND FASTENERS WITH EXTERIOR EXPOSURE OR IN CONTACT WITH TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL. DO NOT MIX GALVANIZED AND STAINLESS STEEL PRODUCTS.

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CERTIFICATE OF LAND USE RESTRICTION

1. NAME AND ADDRESS OF PROPERTY OWNER(S)  
Virginia Hahn  
2318 Summerset Cir  
Florence, KY 41042
2. ADDRESS OF PROPERTY  
2318 Summerset Cir  
Florence, KY 41042
3. NAME OF SUBDIVISION OR DEVELOPMENT (if applicable)  
Woodcreek Porch Variance
4. DEED BOOK 1182                      PAGE NO. 450                      GROUP NO. 2038B
5. TYPE OF RESTRICTION(S) (Check all that apply)
- \_\_\_ Zoning Map Amendment:                      \_\_\_ Conditional Use Permit  
From \_\_\_ To \_\_\_
- \_\_\_ Development Plan                                      \_\_\_ Conditional Zoning
- \_\_\_ Subdivision Plat                                      \_\_\_ Other:  
(Not Recorded)
- X Variance
6. NAME AND ADDRESS OF PLANNING COMMISSION, BOARD OF ADJUSTMENT, LEGISLATIVE BODY OR FISCAL COURT WHICH MAINTAINS THE ORIGINAL RECORDS CONTAINING THE RESTRICTION

BOONE COUNTY PLANNING COMMISSION  
2950 WASHINGTON STREET, ROOM 317  
P.O. BOX 958  
BURLINGTON, KENTUCKY 41005

  
\_\_\_\_\_  
SIGNATURE OF COMPLETING OFFICIAL

Michael D. Schwartz, Director, Zoning Services  
Name and Title of Completing Official

COMMONWEALTH OF KENTUCKY

COUNTY OF BOONE


Subscribed, sworn to, and acknowledged before me by Michael D. Schwartz on behalf of the Boone County Planning Commission this 11<sup>th</sup> day of May, 2023.

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Treva L. Beagle  
Notary ID KYNP37603  
NOTARY PUBLIC, State at Large

My commission Expires:  
November 12, 2025

This instrument was prepared for recording purposes only by:

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Nicole Dierna  
Boone County Planning Commission  
2950 Washington Street, Room 317  
P.O. Box 958  
Burlington, Kentucky 41005

NO TITLE EXAMINATION

(Legal Description and source of Title and Group Number furnished by the applicant.)