

**BOARD OF ADJUSTMENT
BOONE COUNTY PLANNING COMMISSION**

R E C E I V E D
93345
SEP 15 2025
BOONE COUNTY
PLANNING COMMISSION

One (1) scaled copy and one (1) 11 x 17 reduction of submitted drawings are required

022

Site Plan Review is not granted by the appropriate Board of Adjustment

An application consists of all fees paid in full, submitted drawings, and a completed application form

SECTION A: (To be completed by applicant)

- 1. Check One Boone Florence Walton Union
- 2. Check One Conditional Use Permit Variance Appeal
 Change in Non-Conforming Use
- 3. Applicant: Holly Forman
Address: 6299 Old Horsley Ferry Rd.
Petersburg KY 41080
City State Zip Code
Phone Number: (859) 638-9086 Fax Number: _____
Email: Hyforman528@gmail.com
- 4. Description of Request:
Place 28x56 Manufactured Home & Demo/Remove Existing 14x60
Manufactured Home post construction of new home.
- 5. Name of Development: _____
- 6. Location of Development: 6299 Old Horsley Ferry Rd.
Petersburg KY 41080
City State Zip Code
- 7. Acreage Under Review: 2.2 Acres.
- 8. Lot Number and Name of Subdivision (if part of a subdivision):
_____ N/A
- 9. Current Owner: Holly Forman
Address: 6299 Old Horsley Ferry Rd.
Petersburg KY 41080
City State Zip Code
Phone Number: (859) 638-9086 Fax Number: _____
Email: Hyforman528@gmail.com

10. Proposed Use(s) on Site: Residential
11. Total Square Footage of Existing and/or Proposed Buildings: Existing: 840 sq ft. / New: 1568 sq ft.
12. Current Zoning: I-3
13. D1180 895 - 898 2011
Deed Book Page Group Number
14. Is the site subject to a zone change: Yes No
If yes, date of approval: _____
15. Have you submitted a Site Plan with this request: Yes No
16. Have you submitted a list of adjoining property owners with this request: Yes No
17. I, or we, understand and agree that this application and drawing(s) are being filed in accordance with the Boone County Zoning Regulations.

Property Owner's Signature:

Holly Forman

Applicant's Signature:

Holly Forman

SECTION B: (To be completed by Planning Commission staff)

1. Date Received: 9/15/2025 Fee Received: \$966.00 Receipt #: 93345

2. Is application complete: _____

3. Staff Reviewer: M. Schwartz

4. Scheduled Board Action Date: 10/8/2025

5. Board Action: 10/8/2025

_____ Approved

Approved with Conditions (see #6)

_____ Denial (See #7)

6. Conditions of Approval: See Attached, Minutes, & CLUR

7. Reasons for Denial: _____

Boone County Planning Commission
Boone County Administration Building
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005
Phone: 859-334-2196
plancom@boonecountyky.org
www.boonecountyky.org

CONDITION OF APPROVAL

APPLICANT: Holly Forman

LOCATION: 6299 Old Horsley Ferry Road, Boone County, Kentucky

ZONING: Industrial Three Surface Mining (I-3)

DATE: October 8, 2025

1. The existing mobile home shall be removed within six (6) months from the date that the new mobile/manufactured home is placed on the property.

STAFF REPORT

#1

APPLICANT: Holly Forman

LOCATION: 6299 Old Horsley Ferry Road, Boone County, Kentucky

ZONING: Industrial Three Surface Mining (I-3)

DATE: October 8, 2025

PROPOSAL

The applicant is requesting a Change in Nonconforming Use that would replace an 840 sq. ft. manufactured home with a 1,568 sq. ft. manufactured home.

SITE HISTORY

- 1980 The site was zoned I-3 as part of the original zoning for the County.
- 1985 - 1990 Based on information contained in the Boone County GIS, the existing manufactured home was installed on the property.
- 1998 On November 24, 1998, the Boone County Planning Commission approved a Conveyance Plat creating the lot in question.

APPLICABLE REGULATIONS

- A. Section 202.C of the Boone County Zoning Regulations states that one of the duties of the Board of Adjustment is to grant changes in nonconforming uses as specified in this order.
- B. Section 206.C.2 of the Boone County Zoning Regulations states that the board of adjustment shall not allow the enlargement or extension of a nonconforming use beyond the scope and area of its operation at the time the regulation which makes its use nonconforming was adopted, nor shall the board permit a change from one (1) nonconforming use to another unless the new nonconforming use is in the same or a more restrictive classification.
- C. In permitting such change in nonconforming use, the Board may require appropriate conditions and safeguards in accord with other provisions of this order, such as the provision of landscaping and buffering, the improvement of parking areas, and restrictions on the hours of operation.
- D. Kentucky Revised Statute (KRS) 100.253 (2), reads as follows: "The board of adjustment shall not allow the enlargement or extension of a nonconforming use beyond the scope and area of its operation at the time the regulation which makes its use nonconforming was adopted, nor shall the board permit a change from one (1) nonconforming use to another unless the new nonconforming use is in the same or a more restrictive classification, provided, however, the board of adjustment may grant approval, effective to maintain nonconforming-use status, for enlargements or

extensions, made or to be made, of the facilities of a nonconforming use, where the use consists of the presenting of a major public attraction or attractions, such as a sports event or events, which has been presented at the same site over such period of years and has such attributes and public acceptance as to have attained international prestige and to have achieved the status of a public tradition, contributing substantially to the economy of the community and state, of which prestige and status the site is an essential element, and where the enlargement or extension was or is designed to maintain the prestige and status by meeting the increasing demands of participants and patrons.”

- E. Section 1104.A of the Boone County Zoning Regulations state that “the intent of this district is to regulate surface mining excavation, extraction, processing, storage, loading, hauling, and unloading of sand, gravel, rock, clay, shale, stone, coal, and similar natural resources and for treatment and processing of such products which may be produced from such raw materials.”
- F. Section 505.4 of the Boone County Zoning Regulations identifies mobile home as a prohibited use in the I-3 district.

RELATIONSHIP TO THE COMPREHENSIVE PLAN

- A. The Our Boone County Plan 2040 Future Land Use Plan designates the site in question for “Industrial” uses. This designation is defined as Manufacturing, wholesale, warehousing, distribution, assembly, mining, and terminal uses.
- B. Old Horsley Ferry Road is identified as a County maintained local street with an approximate twelve (12) foot pavement width. There are no sidewalks along the roadway.

SITE CHARACTERISTICS

- A. The approximate 2 acre property is located along the southeast side of Old Horsley Ferry Road, approximately 2,250 feet west of Belleview Road.
- B. The site is currently occupied by a single-wide mobile home.
- C. Access to the site is from an existing shared driveway onto Old Horsley Ferry Road.
- D. The location of the proposed manufactured home is to be immediately to the east of the existing mobile home.
- E. The site lies within the 500-year floodplain of the Ohio River.

SURROUNDING LAND USES AND ZONING

North: Single-family residential and agricultural (I-3 and A-2)
South: Northern Kentucky Aggregate (I-3)
East: Northern Kentucky Aggregate (I-3)
West: Single-family residential and agricultural (I-3)

PROPOSED DEVELOPMENT

- A. The applicant is proposing to install a double-wide manufactured home on the site and then remove the existing single-wide mobile home.

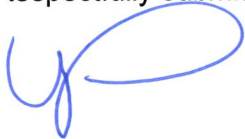
STAFF COMMENTS

- A. In reviewing the submitted application, the applicant should address, and the Board must find that the new nonconforming use is as equally or more compatible with permitted uses in the district in which it is located as the previous nonconforming use.
- B. The Board must find that the new nonconforming use is not an increase or enlargement over the previous nonconforming use and that the new nonconforming use is not occupying a greater land area than was occupied by the previous nonconforming use.
- C. Should the Board take action to approve the Change of Nonconforming Use, the following condition should be considered as part of that action:
1. The existing mobile home shall be removed within six (6) months from the date that the new mobile/manufactured home is placed on the property.

CONCLUSION

KRS 100.253 and Section 202 of the Boone County Zoning Regulations gives the Boone Board of Adjustment the authority to act on the request.

Respectfully submitted,



Michael D. Schwartz
Director, Zoning Services

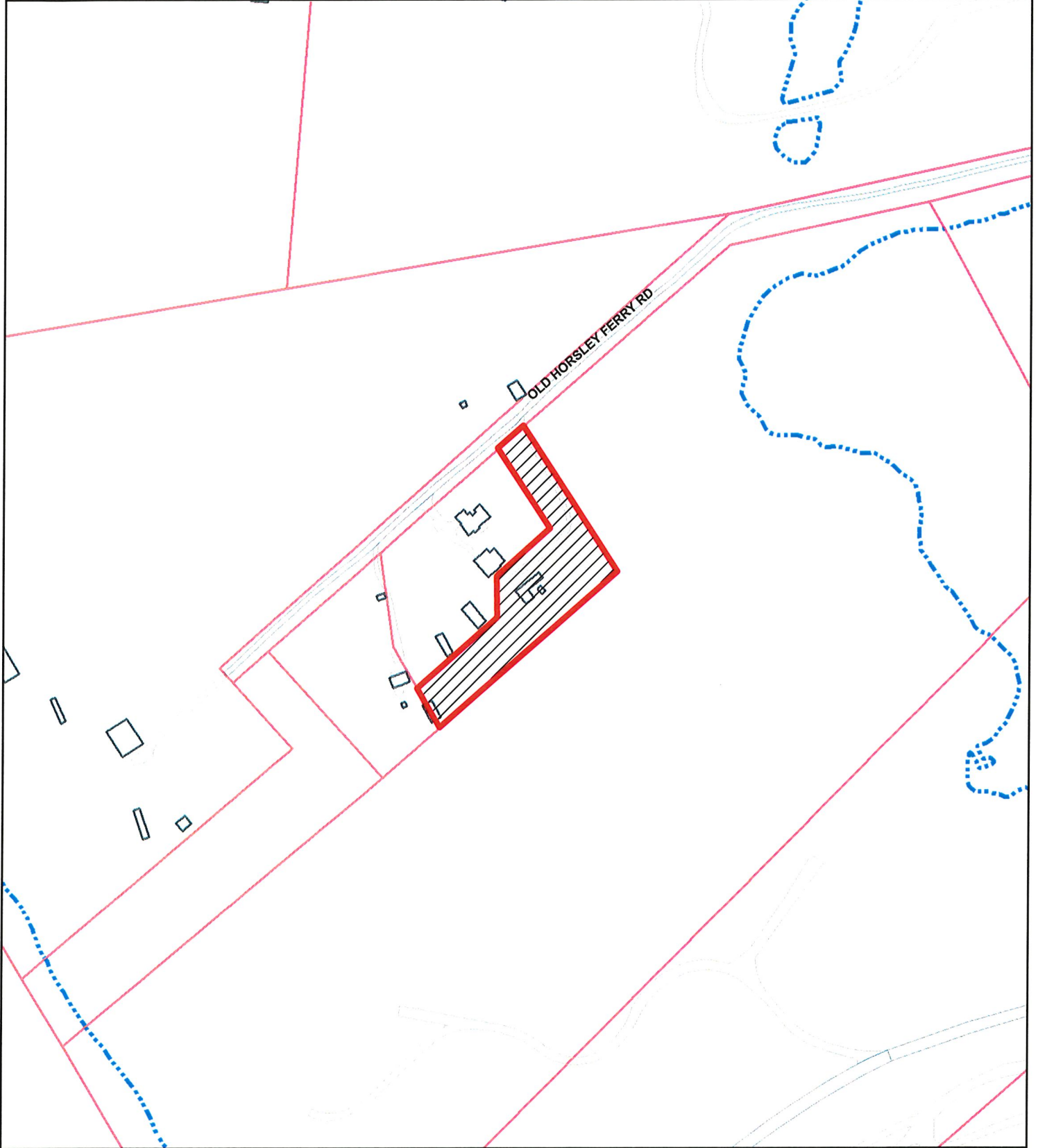
MDS/ss

Attachments

- *Vicinity Map
- *Topographic and Floodplain Map
- *Zoning Map
- *2040 Future Land Use Map
- *Application
- *Concept Development Plan

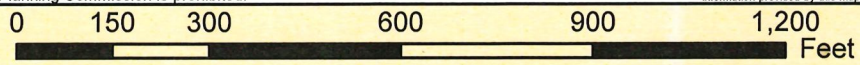
Vicinity Map

www.boonecountygis.com

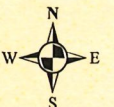


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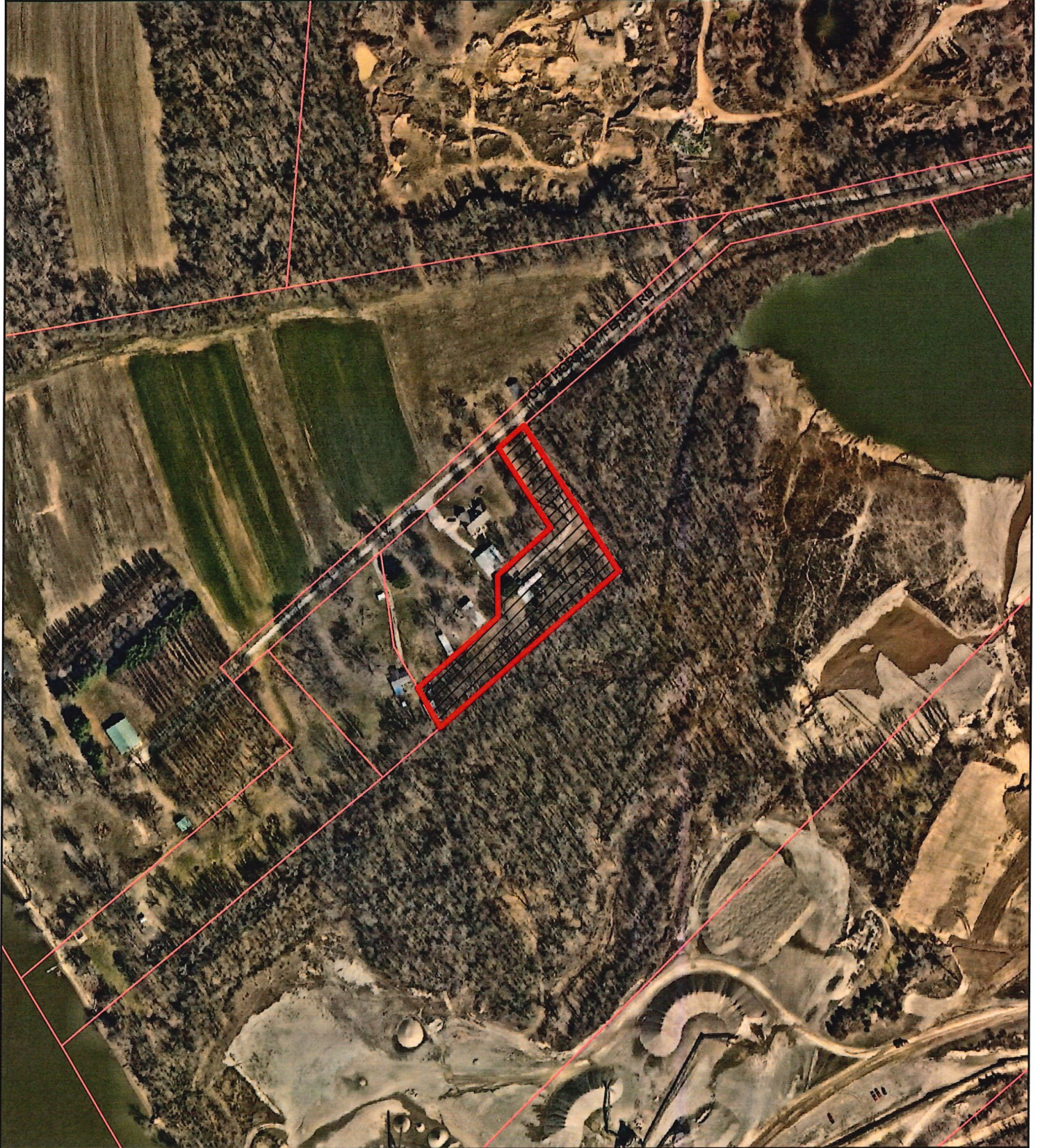
Boone County GIS - Putting Northern Kentucky on the Map



Boone County GIS
ArcMap Document: *.mxd

Aerial Map

www.boonecountygis.com



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0 150 300 600 900 1,200 Feet

1 inch = 300 feet



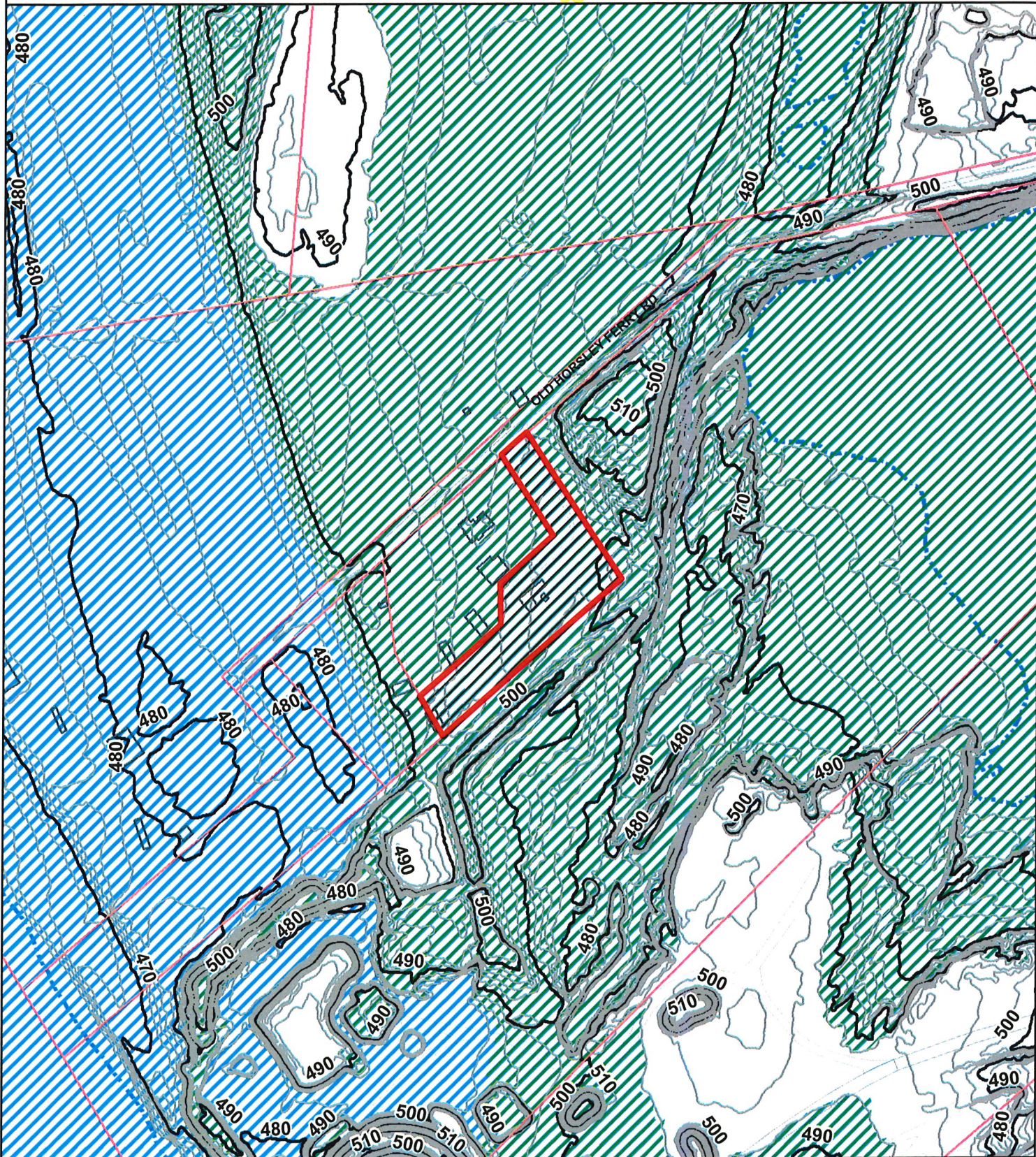
Boone County GIS - Putting Northern Kentucky on the Map



Map File: K:\Projects\2024\2413.mxd
ArcMap Document (*.mxd)

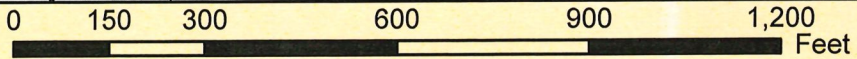
Topographic and Floodplain Map

www.boonecountygis.com



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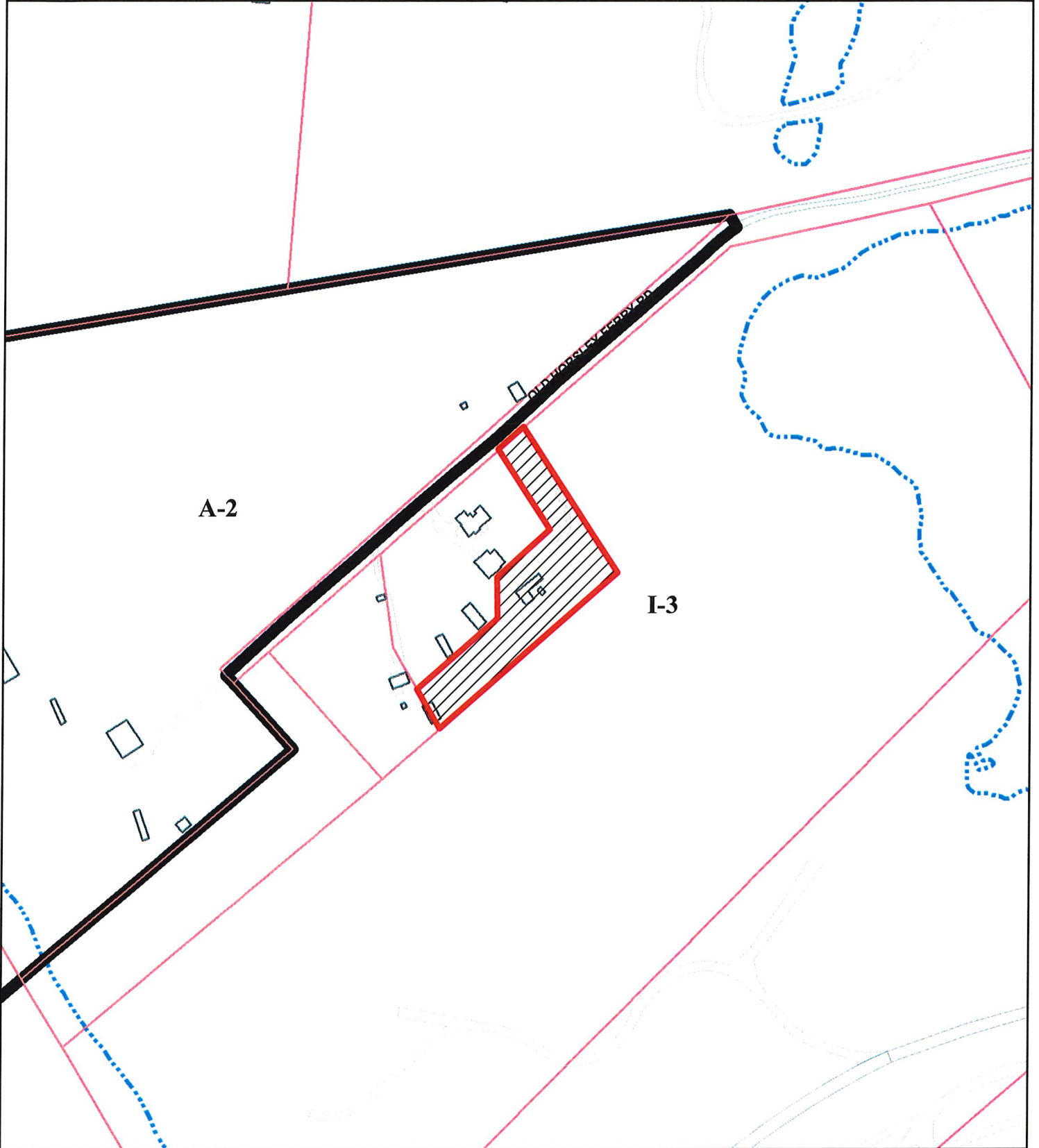
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ArcMap Document: *.mxd

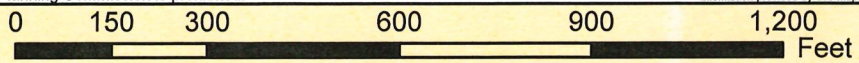
Zoning Map

www.boonecountygis.com



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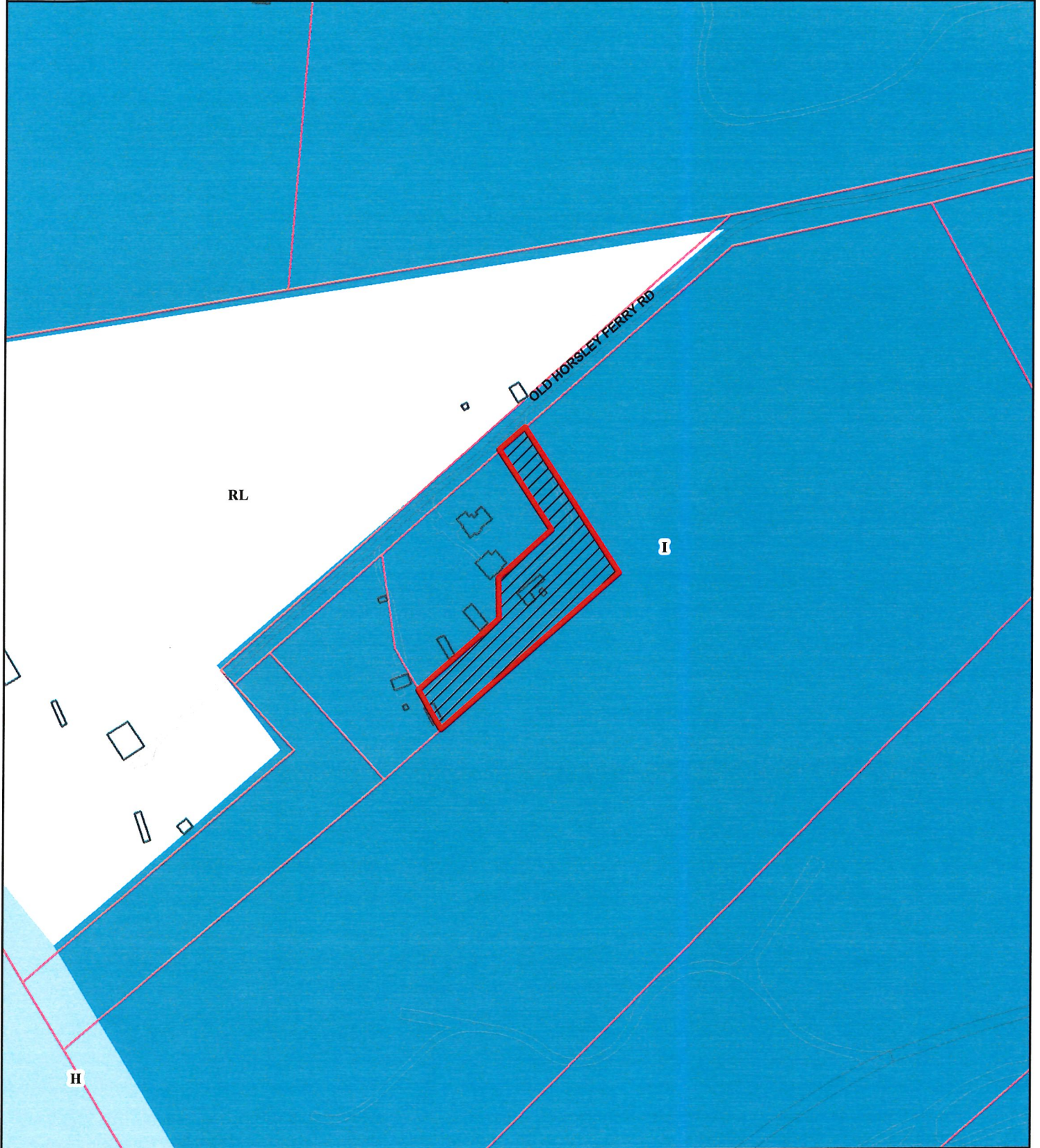
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Boone County GIS
ArcMap Document *.mxd

2040 Future Land Use Map

www.boonecountygis.com



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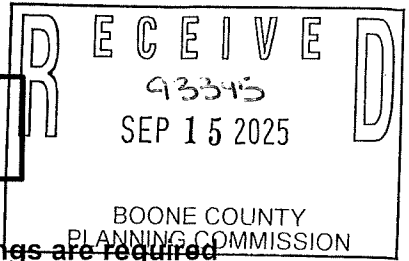


Boone County GIS - Putting Northern Kentucky on the Map



With Data Provided by BOONE GIS UNIT
ArcMap Document: *.mxd

**BOARD OF ADJUSTMENT
BOONE COUNTY PLANNING COMMISSION**



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Holly Forman

Applicant's Signature:

Holly Forman

SECTION B: (To be completed by Planning Commission staff)

1. Date Received: 9/15/2025 Fee Received: \$900.00 Receipt #: 93345

2. Is application complete: _____

3. Staff Reviewer: _____

4. Scheduled Board Action Date: _____

5. Board Action: _____

_____ Approved

_____ Approved with Conditions (see #6)

_____ Denial (See #7)

6. Conditions of Approval: _____

7. Reasons for Denial: _____

Boone County Planning Commission
Boone County Administration Building
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005
Phone: 859-334-2196
plancom@boonecountyky.org
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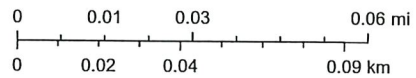
Boone County, Kentucky



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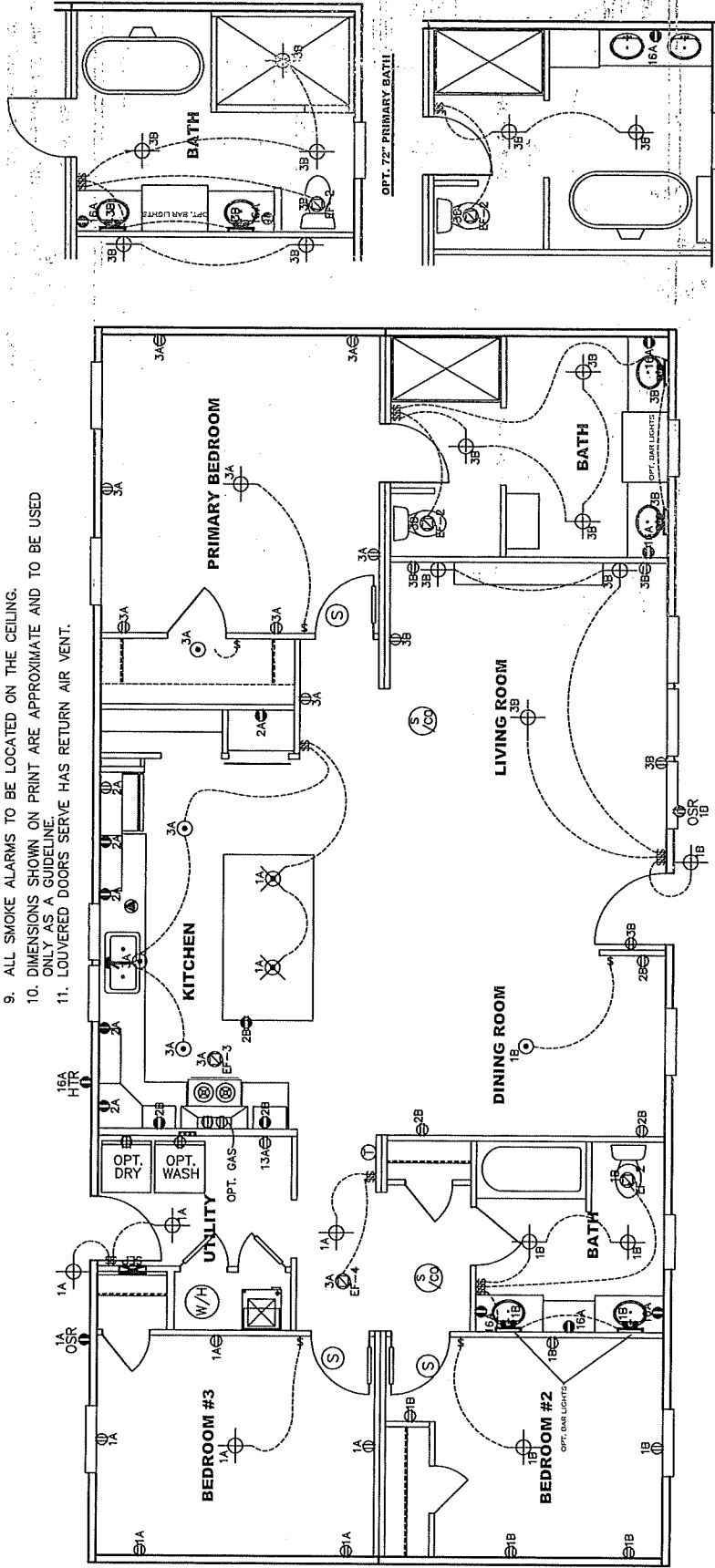
- | | |
|--|---|
|  Buildings |  Tax Parcels |
|  Building Footprints |  Exterior Features |
|  Street Centerlines |  Deck |
|  Local Street |  Patio |
|  Roadways |  Driveway |
|  Roadway |  Waterbodies (large scale) |
|  Lot Lines | |

1:2,257



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, GIS Services Division, Boone County Planning Commission

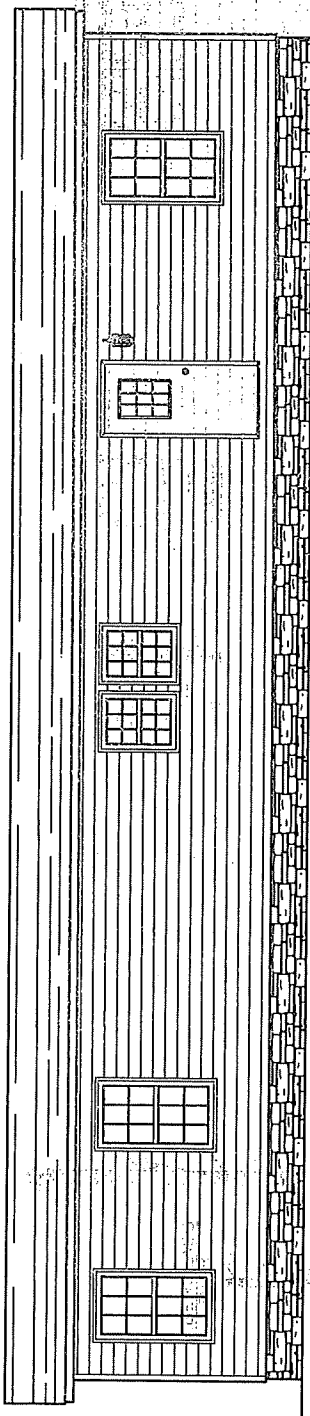
- ALL CIRCUITS SHOWN ARE FOR REFERENCE AND MAY BE CHANGED BASED ON OPTIONAL COMPONENTS INSTALLED IN THE HOME.
- REFER TO EL SECTION OF THE DAPIA FOR SYMBOL CHART.
- EITHER LIGHT OR RECEPTACLE MUST CONNECT TO SWITCH.
- EF-1= 50 CFM EXHAUST FAN REQUIRED FOR THERMAL ZONE III THERMAL ZONES I & II MAY USE FAN OR WINDOW W/1.5 SQ. FT. OPENABLE GLASS.
- EF-2= 50 CFM EXHAUST FAN REQUIRED THERMAL ZONE I, II, AND III.
- EF-3= 100 CFM RANGE EXHAUST FAN, SWITCH AT HOOD.
- EF-4= WHOLE HOUSE VENTILATION PER REQUIREMENTS IN S-HV-10 & 10A OR M-HV-11 & 11A OF DAPIA.
- REFER TO EL SECTION OF THE DAPIA OR THE MFG. INSTALLATION INSTRUCTIONS FOR PROPER WIRE SIZE AND BREAKER SIZE FOR SPECIFIC APPLIANCE AND MODEL BEING INSTALLED.
- ALL SMOKE ALARMS TO BE LOCATED ON THE CEILING.
- DIMENSIONS SHOWN ON PRINT ARE APPROXIMATE AND TO BE USED ONLY AS A GUIDELINE.
- LOUVERED DOORS SERVE AS RETURN AIR VENT.



CIRCUIT	CIRCUIT #	WIRE	BREAKER	CIRCUIT #	WIRE	BREAKER
LIGHT/RECP	1A, 1B, 3A, 3B, 14A	14-2	15-SP	BATHROOM	16A	20-SP
KITCHEN/DINING	2A, 2B	12-2	20-SP	OPT. G/DISP	9B	SEE NOTE #8
WASHER	12A	12-2	20-SP	OPT. S/W/AC	11A, B	SEE NOTE #8
DRYER	5A, 7B	SEE NOTE #8		FREEZER	13A	SEE NOTE #8

SHEET: EL ELECTRICAL PLAN

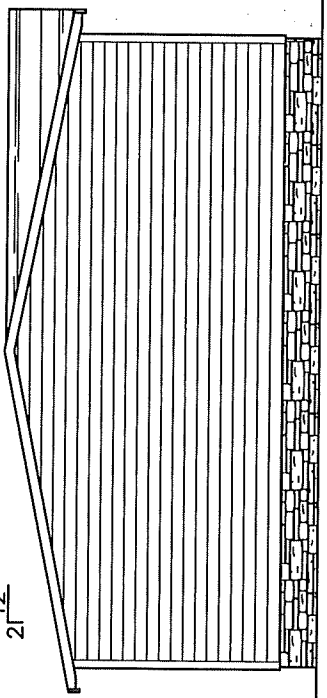
DRAWING # 34M220-EL
 MODEL # THE ISLAND BREEZE 561
 HILBORN, WERNER, CARTER, AND ASSOCIATES, INC.
 1827 SOUTH MTRILE AVE.
 CLEARWATER, FL 33756
 DATE: 5/11/2023 SCALE: N.T.C.
 PRODUCT DESIGNER: TAMIYU C. SUGIYAMA
 REV. BY: THE M.V.P.
 STD PLAN - CONDITIONED - 1,475 FT.
 REV. DATE:



REAR ELEVATION

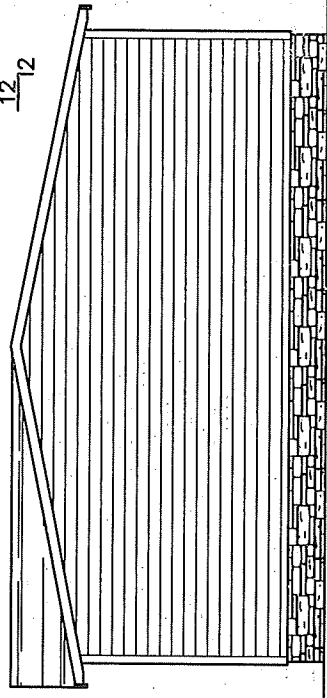
56'-0"

12
21



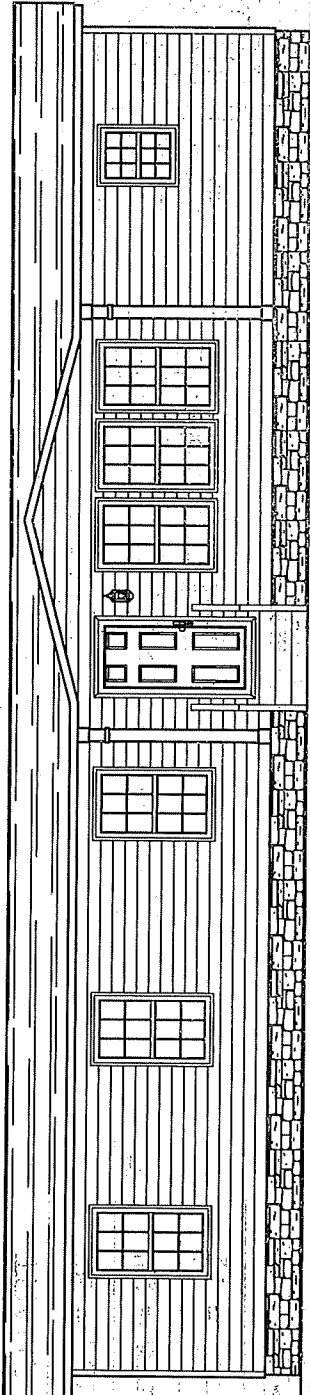
LEFT SIDE ELEVATION

26'-4"



RIGHT SIDE ELEVATION

26'-4"



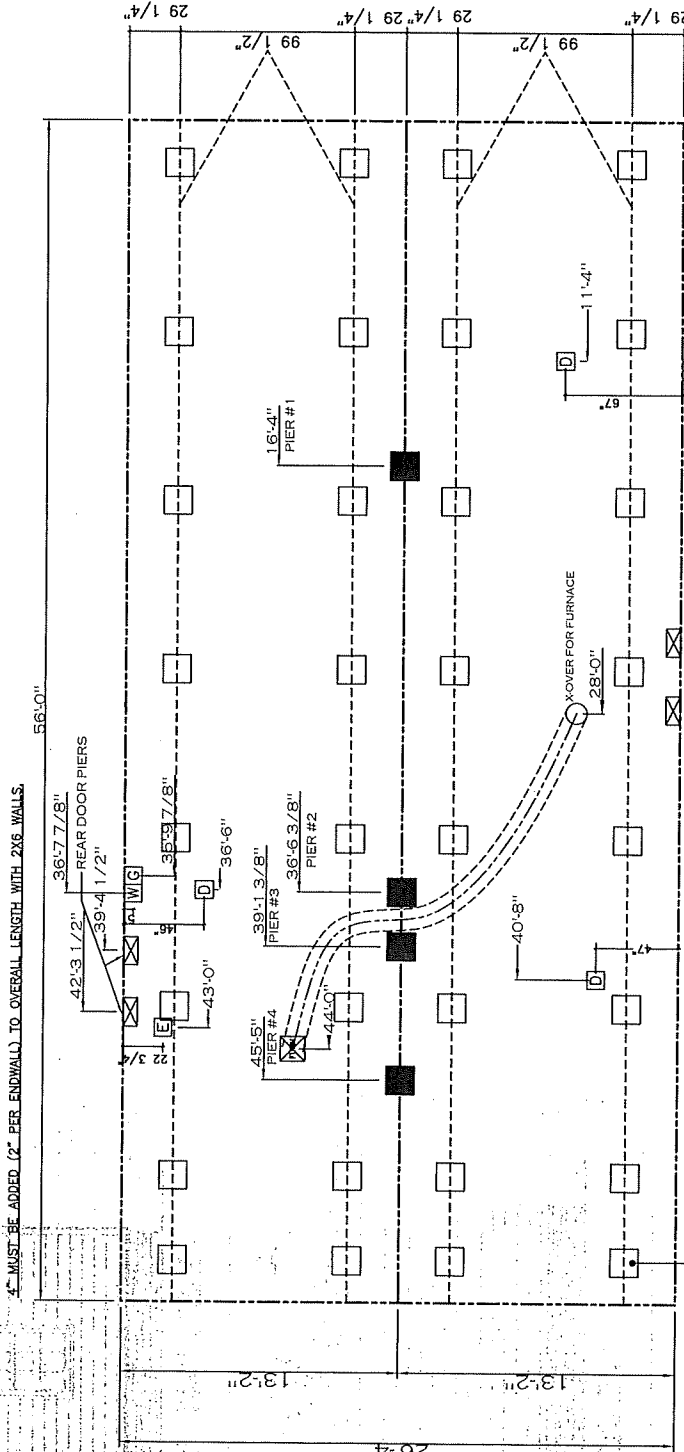
FRONT ELEVATION

56'-0"

SHEET NO. 1 ELEV 1	ELEVATION	Clayton 1420 Hummin Rd., Andersonville, TN 37705 P.O. Box 1000, Andersonville, TN 37705	HILBORN, WERNER, CARTER, AND ASSOCIATES, INC. 1627 SOUTH MYRTLE AVE. MEMPHIS, TN 38119	DRAWING # 34M220 MODEL # MVP28563A DATE 5/1/2002 SCALE 1/8"=1'-0"	PRODUCT DESIGNER: DEBBIAN V. BICECV	MODEL: THE ISLAND BREEZE 561	STD PLAN "CONDITIONED": 1,475. FT ²
						SERIES: THE M.V.P.	REV. BY:

MULTIPLY BY FACTOR OF 1.17						
REQUIRED PIER LOAD (LBS)						
20 lb ROOF LOAD	3	4	5	6	8	10
SIDEWALL OPENING PIER LOAD	1175	1330	1485	1640	1950	2260
28' BOX WIDTH						

*FOR 30 lb & 40 lb ROOF LOAD REFER TO TABLES 7b & 7c IN THE INSTALLATION MANUAL.



*MUST BE ADDED (2" PER ENDWALL) TO OVERALL LENGTH WITH 2X6 WALLS.

*MUST BE ADDED (2" PER SIDEWALL) TO OVERALL WIDTH WITH 2X6 WALLS.

PIER LEGEND	
□	= SUPPORT UNDER MATING OPENING
■	= SUPPORT AT MATING COLUMN
⊗	= SUPPORT UNDER MATING WALL
■	= PIER PORCH/ACCESSED ENTRY
□	= PIER MAIN BEAM
▣	= PIER PERIMETER
●	= TIE-DOWN SUPPORT (QTY PER TRAILER, SEE DETAIL D-5 IN FOUND. PNG)

SERVICE DROP LEGEND	
E	= ELECTRICAL DROP
W	= WATER INLET
D	= DWV PLUMBING DROP
G	= GAS INLET
○	= CROSSOVER FOR FURNACE

- GENERAL NOTES:
- PIER LOADS SHOWN ARE TO BE USED TO SIZE THE FOOTINGS BELOW THE MARRIAGEWALL FOR COLUMN SUPPORT PIERS. REFER TO TABLES 6b AND 6c IN THE INSTALLATION MANUAL FOR LOAD ON FRAME PIER FOOTINGS FOR HOMES THAT DO NOT REQUIRE PERIMETER BLOCKING. REFER TO TABLES 7b AND 7c IN THE INSTALLATION MANUAL FOR LOAD ON FRAME PIER FOOTINGS THAT REQUIRE PERIMETER BLOCKING. REFER TO TABLES 10 AND 10g TO DETERMINE FOOTING SIZE FOR ALL PIERS.
 - REFER TO TABLE 9 FOR PIER CONFIGURATION AND MAXIMUM ALLOWABLE HEIGHTS. CROSS REFERENCE THE PIER HEIGHT WITH THE MAXIMUM ALLOWABLE FLOOR HEIGHT LISTED IN THE FRAME TIEDOWN CHARTS (TABLE 18, 19, AND 20). FLOOR WIDTH SHOWN IS FOR STANDARD PRODUCT ONLY. CONTACT THE MFG PLANT FOR SPECIFICATIONS OF OPTIONS ORDERED.
 - SERVICE DROP LOCATIONS IDENTIFIED ARE APPROXIMATE. THE MAXIMUM SPACING FOR FRAME SUPPORT PIERS FOR 8" I-BEAMS IS 8 FEET, 10" & 12" I-BEAMS ARE 10 FEET.

20 psf Roof Live Load		
Column Pier #	Distance from E/Rch (ft)	Pier Load (lbs)
1	16.33	4301
3	39.667	1536
4	45.417	1536

SHEET: MP

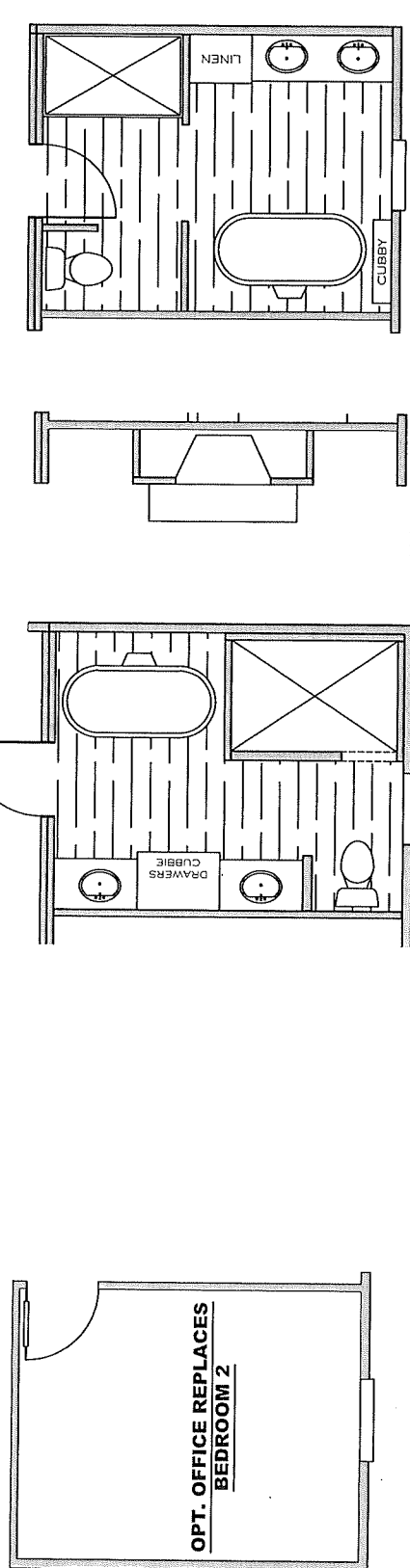
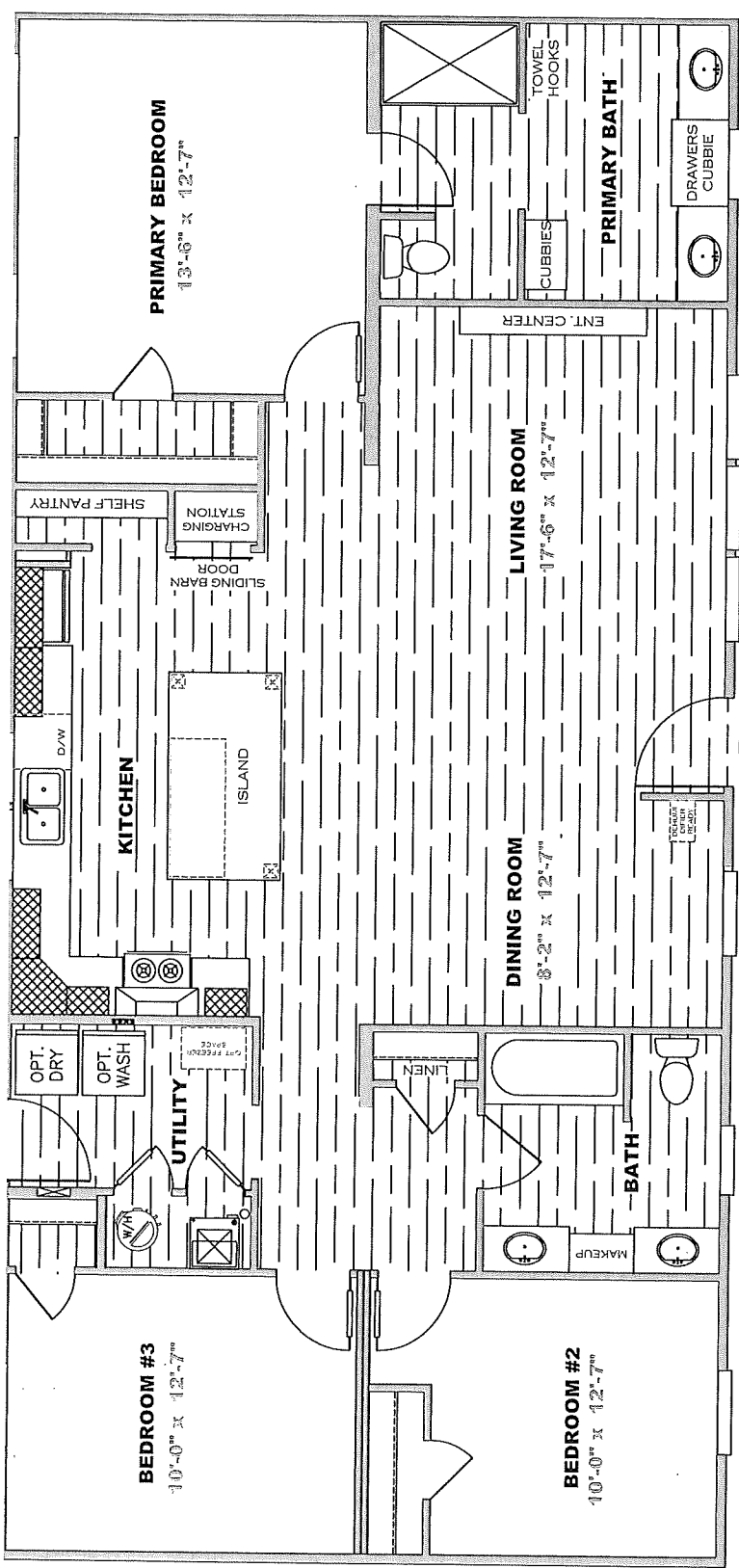
PIER SET

Clayton
1620 Mountain Rd., Andersonville, TN 37005
916-916-2000 • 800-828-7222 • FAX 916-916-2002

HILBORN, WERNER, CARTER, AND ASSOCIATES, INC.
1627 SOUTH MYRTLE AVE.
FARMINGTON, TN 37630

DRAWING # 34M220
MODEL # MVP28563A
SERIES: THE M.V.P.
PRODUCT DESIGNER: HILBORN, WERNER, CARTER AND ASSOCIATES, INC.

STD PLAN "CONDITIONED" 1,475 FT²
REV. BY:
REV. DATE:



SHEET:	SL.1	SALES LITERATURE	Clayton - 934 1420 Mountain Rd., Andersonville, TN 37705 Div. Inc. and. Path 183 P. Box, And. 1024	DRAWING # 34M278 MODEL # MYP28563A DATE: 08/05/2014	MODEL: THE ISLAND BREEZE 561 SERIES: THE M.Y.P. PRODUCT DESIGNER: HILBORN W. CARTER	STD PLAN CONDITIONED: 1,475 FT ² REV. BY: RIFFEYB (REV. DATE: 8/05/14)

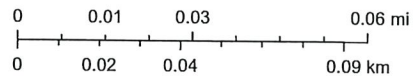
Boone County, Kentucky



10/3/2024, 1:56:21 PM

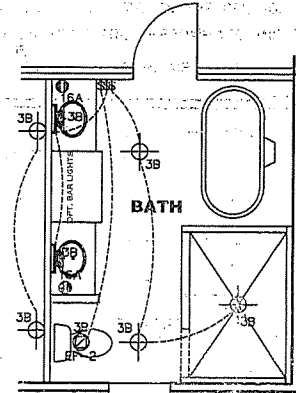
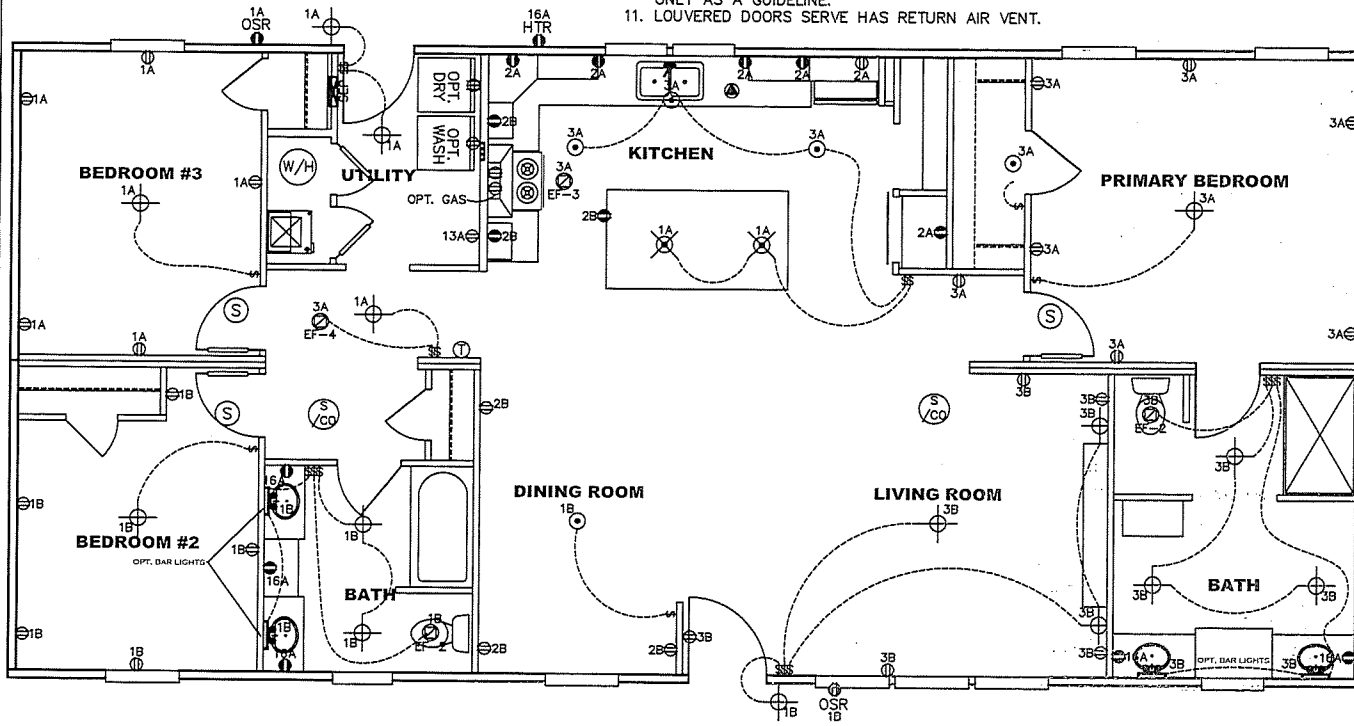
- | | |
|--|---|
|  Buildings |  Tax Parcels |
|  Building Footprints | Exterior Features |
| Street Centerlines |  Deck |
|  Local Street |  Patio |
| Roadways |  Driveway |
|  Roadway |  Waterbodies (large scale) |
|  Lot Lines | |

1:2,257

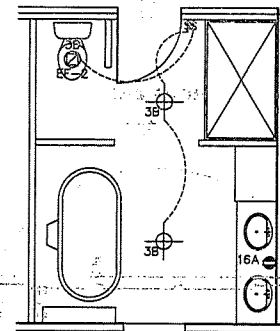


Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, GIS Services Division, Boone County Planning Commission

1. ALL CIRCUITS SHOWN ARE FOR REFERENCE AND MAY BE CHANGED BASED ON OPTIONAL COMPONENTS INSTALLED IN THE HOME.
2. REFER TO EL SECTION OF THE DAPIA FOR SYMBOL CHART.
3. EITHER LIGHT OR RECEPTACLE MUST CONNECT TO SWITCH.
4. EF-1= 50 CFM EXHAUST FAN REQUIRED FOR THERMAL ZONE III THERMAL ZONES I & II MAY USE FAN OR WINDOW W/1.5 SQ. FT. OPENABLE GLASS.
5. EF-2= 50 CFM EXHAUST FAN REQUIRED THERMAL ZONE I, II, AND III.
6. EF-3= 100 CFM RANGE EXHAUST FAN, SWITCH AT HOOD.
7. EF-4= WHOLE HOUSE VENTILATION PER REQUIREMENTS IN S-HV-10 & 10A OR M-HV-11 & 11A OF DAPIA.
8. REFER TO EL SECTION OF THE DAPIA OR THE MFG. INSTALLATION INSTRUCTIONS FOR PROPER WIRE SIZE AND BREAKER SIZE FOR SPECIFIC APPLIANCE AND MODEL BEING INSTALLED.
9. ALL SMOKE ALARMS TO BE LOCATED ON THE CEILING.
10. DIMENSIONS SHOWN ON PRINT ARE APPROXIMATE AND TO BE USED ONLY AS A GUIDELINE.
11. LOUVERED DOORS SERVE HAS RETURN AIR VENT.



OPT. 72" PRIMARY BATH



OPT. BATH

CIRCUIT	CIRCUIT #	WIRE	BREAKER	CIRCUIT	CIRCUIT #	WIRE	BREAKER	CIRCUIT	CIRCUIT #	WIRE	BREAKER
LIGHT/RECEP	1A,1B,3A,3B,14A	14-2	15-SP	WATER HEATER	4A,6B	SEE NOTE #8		BATHROOM	16A	12-2	20-SP
KITCHEN/DINING	2A,2B	12-2	20-SP	RANGE	5B,7A	SEE NOTE #8		OPT G/DISP	9B	SEE NOTE #8	
WASHER	12A	12-2	20-SP	FURNACE	6A,8A,B,10A,B	SEE NOTE #8		OPT SPA/WP/JAC	11A,B	SEE NOTE #8	
DRYER	5A,7B	SEE NOTE #8		OPT D/WASH	9A	SEE NOTE #8		FREEZER	13A	SEE NOTE #8	
				SMOKE ALARM	4B	SEE NOTE #8					

SHEET:
EL

ELECTRICAL
PLAN

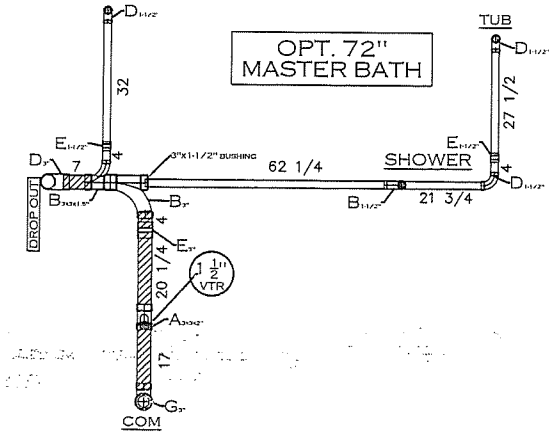
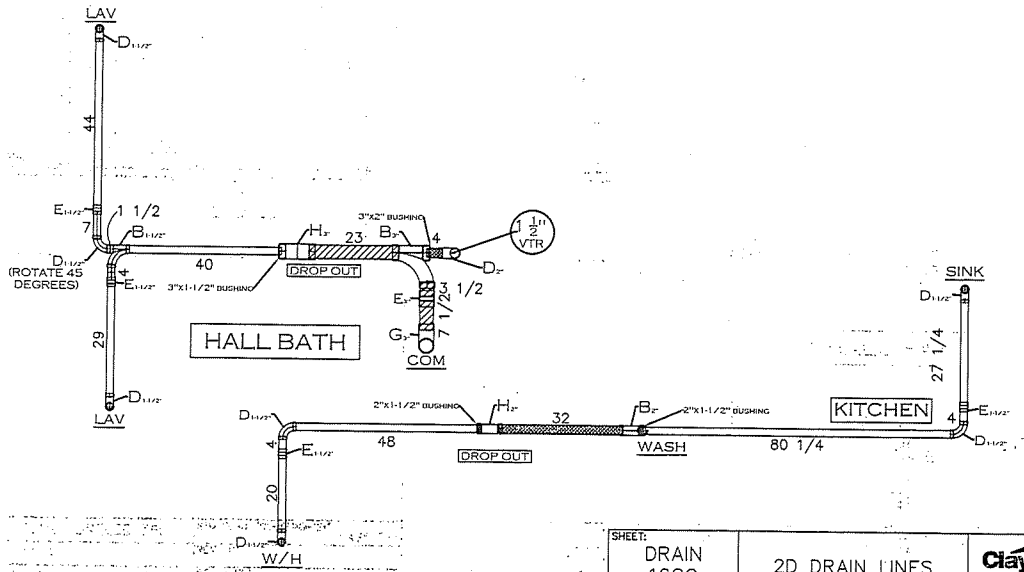
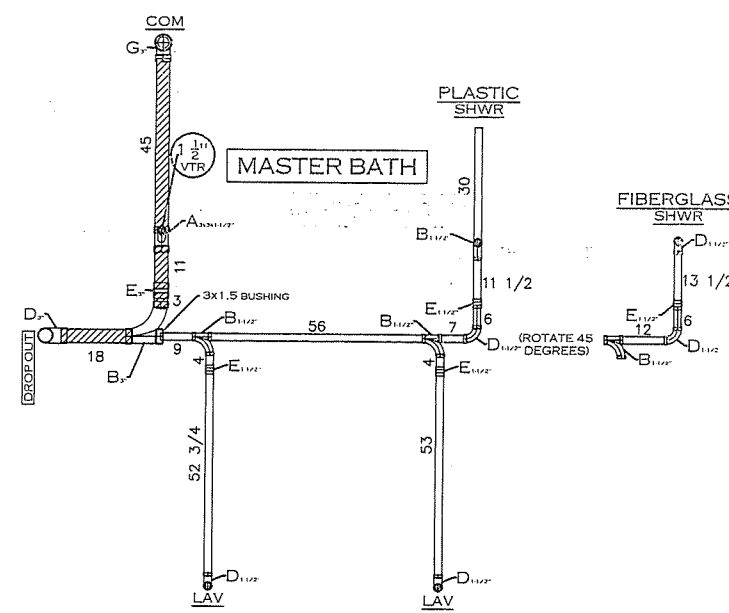
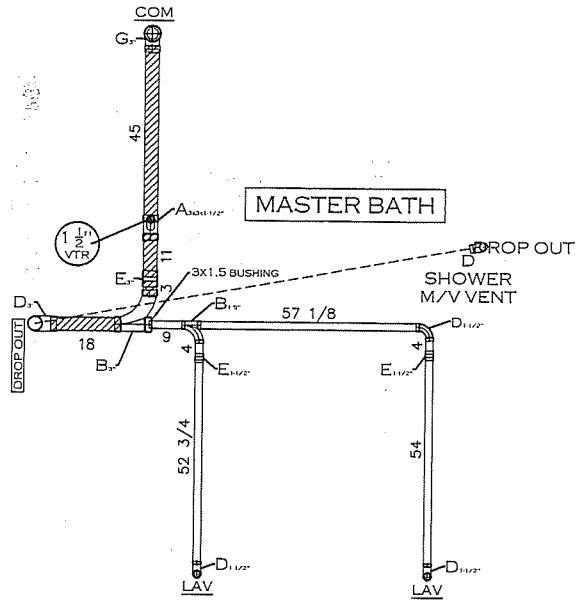
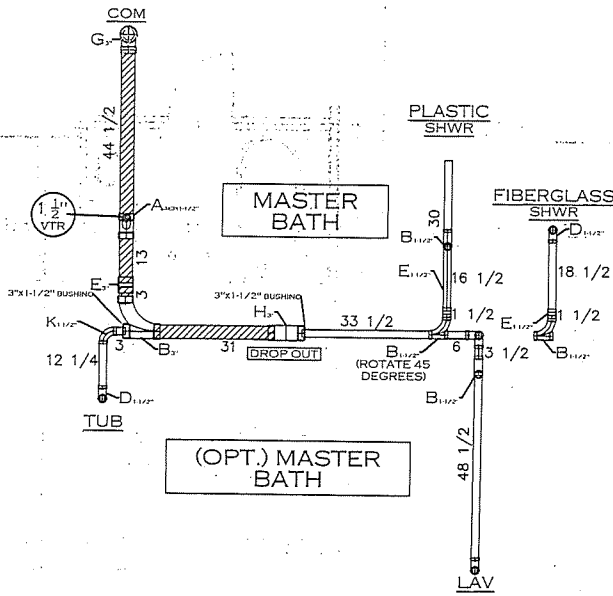
Clayton
1420 Mountain Rd., Andersonville, TN 37705
PH: 865.494.7800 FAX: 865.494.0243

HILBORN, WERNER, CARTER,
AND ASSOCIATES, INC.
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

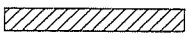
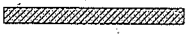
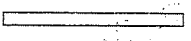
DRAWING # 34M220-EL
MODEL # MVP28563A
DATE: 5/10/2023 SCALE: NTC

MODEL: THE ISLAND BREEZE 561
SERIES: THE M.V.P.
PRODUCT DESIGNER: DANIEL C. SHELTON

STD PLAN "CONDITIONED": 1,475 FT²
REV. BY:
REV. DATE:



D.W.V. LINE SIZE CHART

	= 3"
	= 2"
	= 1 1/2"

REV #	DATE	DESCRIPTION
1	12/10/21	CHANGED HALL BATH TO 60"
2	5/17/22	UPDATED FIELD NOTES
3	7/21/22	ADDED HANDICAP BATHROOM LAYOUT

SHEET:
DRAIN
160C

2D DRAIN LINES

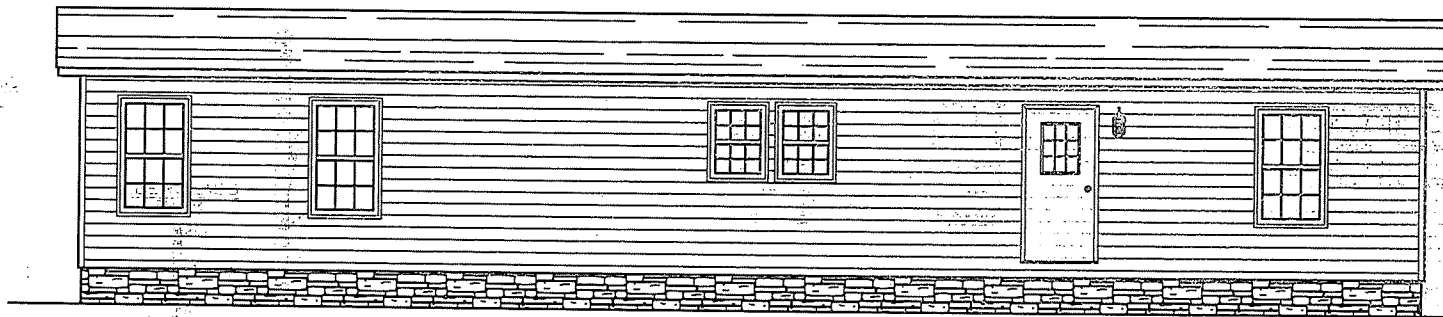
Clayton Clayton - 934
1420 Mountain Rd, Andersonville, TN 37705

HILBORN, WERNER, CARTER,
AND ASSOCIATES, INC.
1627 SOUTH MYRTLE AVE.

DRAWING # 34M178
MODEL # MVP28563A

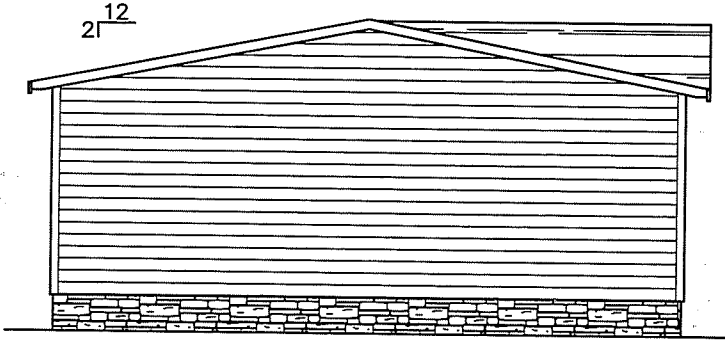
MODEL THE ISLAND BREEZE 56I
SERIES THE M.V.P.

STD PLAN "CONDITIONED" 1,475 F
REV. BY:



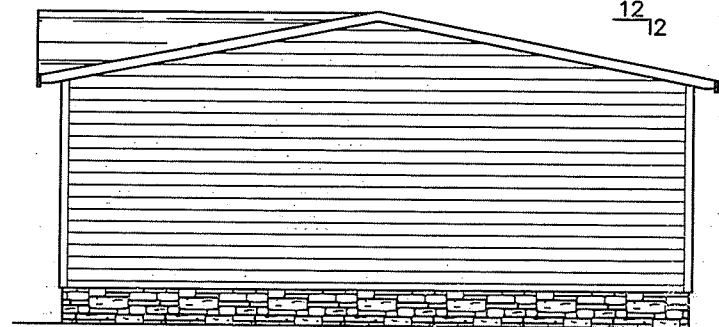
REAR ELEVATION

56'-0"



LEFT SIDE ELEVATION

26'-4"



RIGHT SIDE ELEVATION

26'-4"



FRONT ELEVATION

56'-0"

DATE	DESCRIPTION

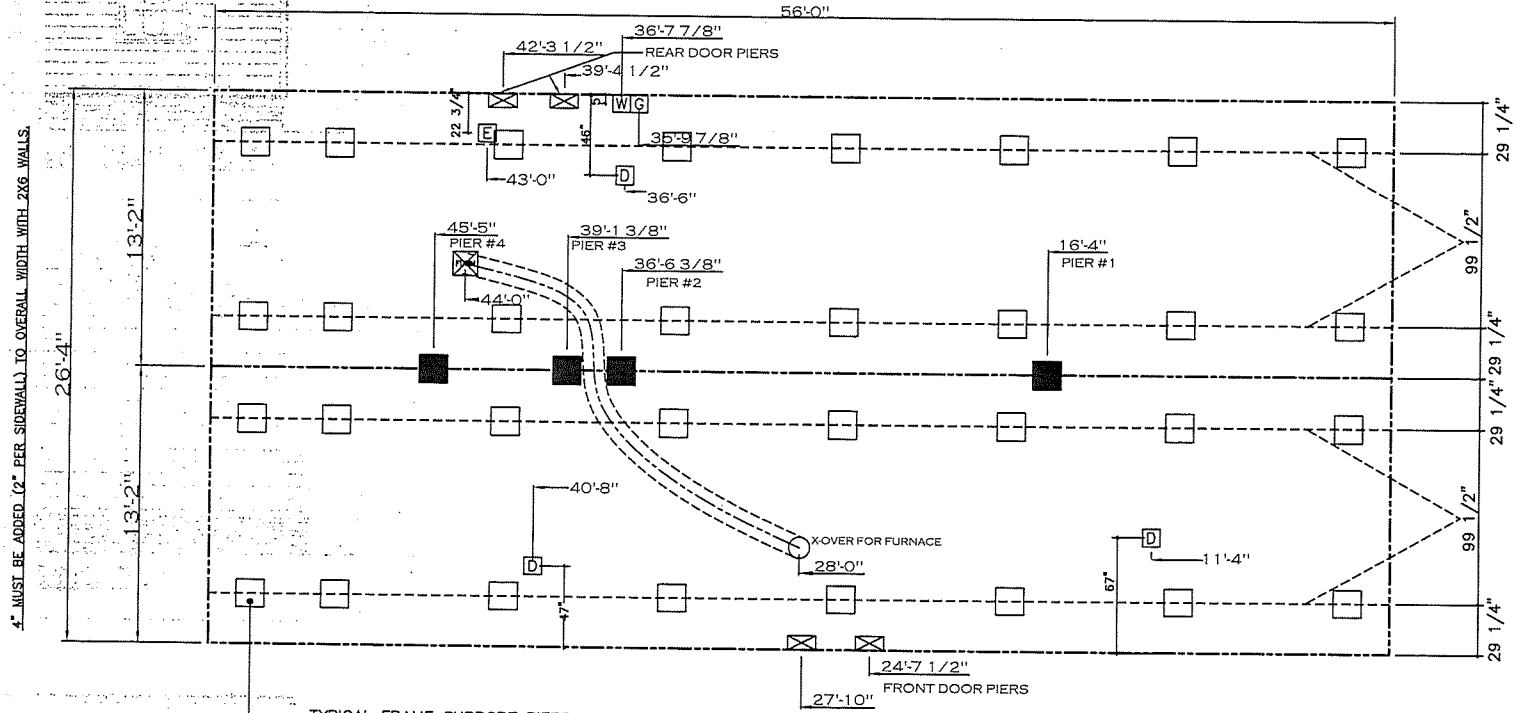
SHEET: ELEV.1	ELEVATION	Clayton Clayton - 934 1420 Mountain Rd, Andersonville, TN 37705 PH: 865.484.7400 FAX: 865.484.0243	HILBORN, WERNER, CARTER, AND ASSOCIATES, INC. 1627 SOUTH MYRTLE AVE. O F FARWATER B 37766	DRAWING # 34M220	MODEL: THE ISLAND BREEZE 56I	STD PLAN "CONDITIONED": 1,475 FT²
				MODEL # MVP28563A	SERIES: THE M.V.P.	REV. BY:
DATE: 2/1/2023 SCALE: 1/8" = 1'-0"				PRODUCT DESIGNER: BRIAN V. BEEVEY		REV. DATE:

20 lb ROOF LOAD
SIDEWALL OPENING PIER LOAD
28' BOX WIDTH

SUPPORT SPACING (11)						
REQUIRED PIER LOAD (LBS)						
3	4	5	6	8	10	
1175	1330	1485	1640	1950	2260	

*FOR 30 lb & 40 lb ROOF LOAD REFER TO TABLES 7b & 7c IN THE INSTALLATION MANUAL.

4" MUST BE ADDED (2" PER ENDWALL) TO OVERALL LENGTH WITH 2X6 WALLS.



TYPICAL FRAME SUPPORT PIERS

GENERAL NOTES:

- PIER LOADS SHOWN ARE TO BE USED TO SIZE THE FOOTINGS BELOW THE MARRIAGEWALL FOR COLUMN SUPPORT PIERS. REFER TO TABLES 6b AND 6c IN THE INSTALLATION MANUAL FOR LOAD ON FRAME PIER FOOTINGS FOR HOMES THAT DO NOT REQUIRE PERIMETER BLOCKING. REFER TO TABLES 7b AND 7c IN THE INSTALLATION MANUAL FOR LOAD ON FRAME PIER FOOTINGS THAT REQUIRE PERIMETER BLOCKING. REFER TO TABLES 10 AND 10a TO DETERMINE FOOTING SIZE FOR ALL PIERS.
- REFER TO TABLE 9 FOR PIER CONFIGURATION AND MAXIMUM ALLOWABLE HEIGHTS. CROSS REFERENCE THE PIER HEIGHT WITH THE MAXIMUM ALLOWABLE FLOOR HEIGHT LISTED IN THE FRAME TIEDOWN CHARTS (TABLE 18, 19, AND 20).
- FLOOR WIDTH SHOWN IS FOR STANDARD PRODUCT ONLY. CONTACT THE MFG PLANT FOR SPECIFICATIONS OF OPTIONS ORDERED.
- SERVICE DROP LOCATIONS IDENTIFIED ARE APPROXIMATE. THE MAXIMUM SPACING FOR FRAME SUPPORT PIERS FOR 8" I-BEAMS IS 8 FEET, 10" & 12" I-BEAMS ARE 10 FEET.

-20 psf Roof Live Load		
Column Pier #	Distance from Hitch	Pier Load (lbs)
1	16.33	4301
2	36.083	4301
3	39.867	1536
4	45.417	1536

SERVICE DROP LEGEND	
E	= ELECTRICAL DROP
W	= WATER INLET
D	= DWV PLUMBING DROP
G	= GAS INLET
○	= CROSSOVER FOR FURNACE

PIER LEGEND	
□	= SUPPORT UNDER MATING OPENING
■	= SUPPORT AT MATING COLUMN
⊞	= SUPPORT UNDER MATING WALL
■	= PIER PORCH/RECESSED ENTRY
□	= PIER MAIN BEAM
⊞	= PIER PERIMETER
●	= TIE-DOWN SUPPORT (QTY PER TBL. M, SEE DETAIL D-6 IN FOUND. PKG.)

SHEET:

MP

PIER SET

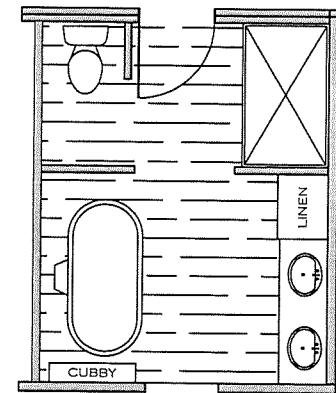
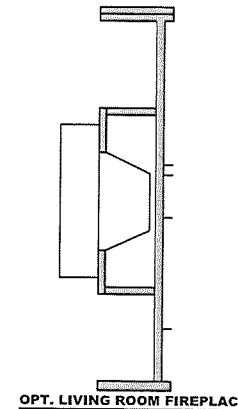
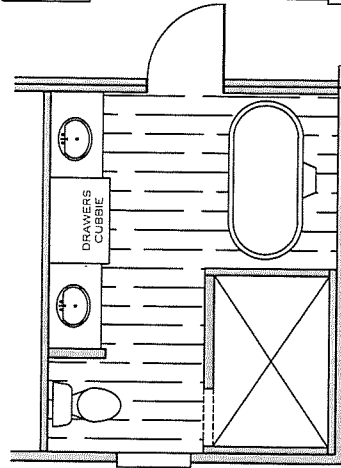
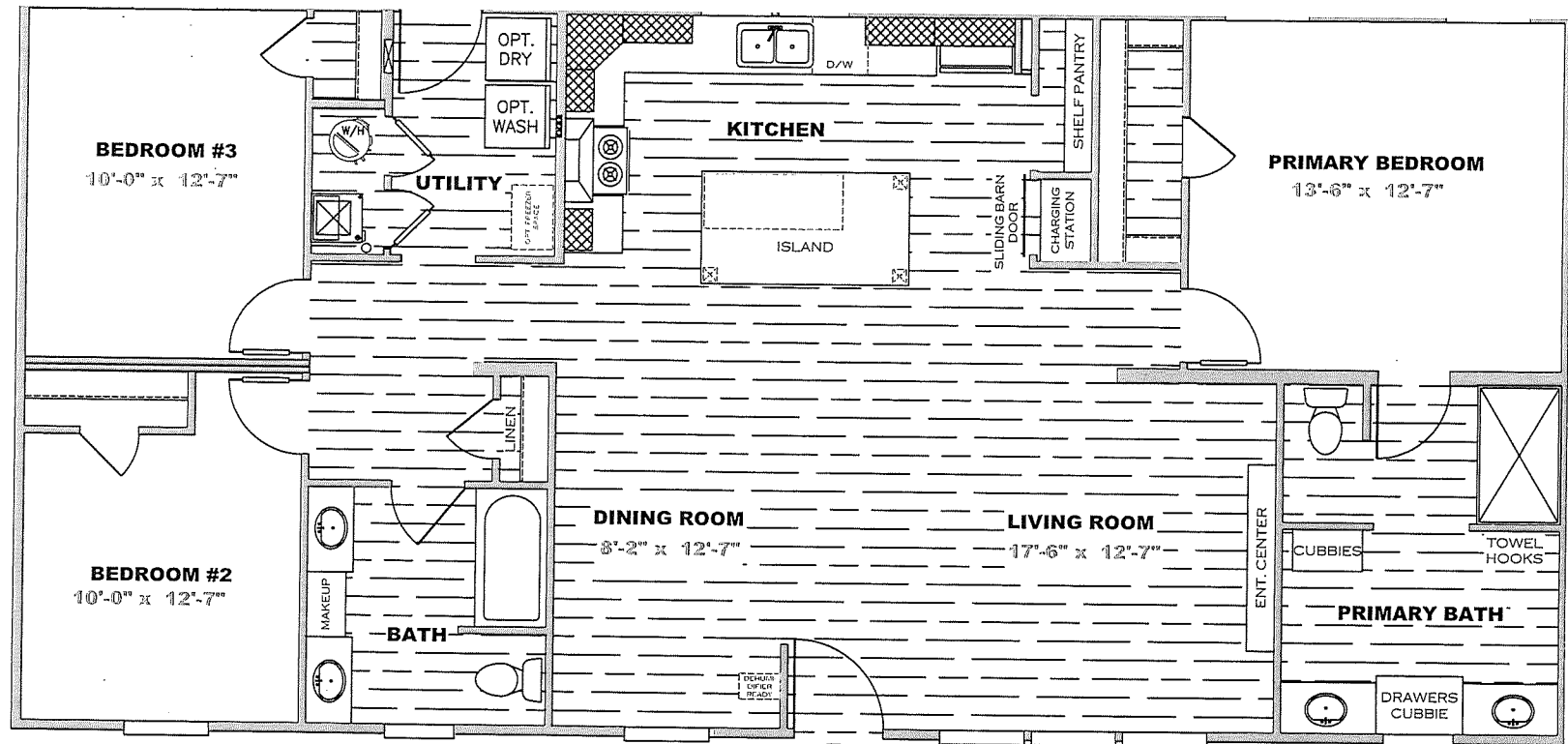
Clayton Clayton - 934
1420 Mountain Rd, Andersonville, TN 37075
941-885-4848 FAX: 941-885-1261

HILBORN, WERNER, CARTER,
AND ASSOCIATES, INC.
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 34616

DRAWING # 34M220
MODEL # MVP28563A
DATE: 06/20/2007 SCALE: N.T.S.

MODEL: THE ISLAND BREEZE 561
SERIES: THE M.V.P.
PRODUCT DESIGNER: BRIAN M. BERRY

STD PLAN "CONDITIONED": 1,475 FT²
REV. BY:
REV. DATE:



SHEET: SL.1	SALES LITERATURE	Clayton - 934 1420 Mountain Rd., Andersonville, TN 37705 615-466-4947 FAX: 615-466-0245	HILBORN, WERNER, CARTER, AND ASSOCIATES, INC. 1627 SOUTH MYRTLE AVE. MEMPHIS, TN 38116	DRAWING # 34M278 MODEL # MVP28563A DATE: 10/16/2023 SCALE: 1/8" = 1'-0"	MODEL: THE ISLAND BREEZE 561 SERIES: THE M.V.P. PRODUCT DESIGNER: BRIAN J. RIFFEY	STD PLAN "CONDITIONED": 1,475 FT ² REV. BY: RIFFEYB REV. DATE: 8/29/24

CERTIFICATE OF LAND USE RESTRICTION

1. NAME AND ADDRESS OF PROPERTY OWNER(S)
Holly Forman
6299 Old Horsley Ferry Rd
Petersburg, KY 41080
2. ADDRESS OF PROPERTY
6299 Old Horsley Ferry Rd
Petersburg, KY 41080
3. NAME OF SUBDIVISION OR DEVELOPMENT (if applicable)
Foreman Manufactured Home
4. DEED BOOK 1180 PAGE NO. 895 GROUP NO. 2011
5. TYPE OF RESTRICTION(S) (Check all that apply)
- Zoning Map Amendment:
From _____ To _____
- Conditional Use Permit
- Development Plan
- Conditional Zoning
- Subdivision Plat
(Not Recorded)
- Other: Change in Non-Conforming Use
- Variance
6. NAME AND ADDRESS OF PLANNING COMMISSION, BOARD OF ADJUSTMENT, LEGISLATIVE BODY OR FISCAL COURT WHICH MAINTAINS THE ORIGINAL RECORDS CONTAINING THE RESTRICTION

BOONE COUNTY PLANNING COMMISSION
2950 WASHINGTON STREET, ROOM 317
P.O. BOX 958
BURLINGTON, KENTUCKY 41005



SIGNATURE OF COMPLETING OFFICIAL

Michael D. Schwartz, Director, Zoning Services
Name and Title of Completing Official

COMMONWEALTH OF KENTUCKY

COUNTY OF BOONE

Subscribed, sworn to, and acknowledged before me by Michael D. Schwartz on behalf of the Boone County Planning Commission this 9th day of October, 2025.

Treva L. Beagle
Notary ID KYNP37603
NOTARY PUBLIC, State at Large

My commission Expires:
November 12, 2025

This instrument was prepared for recording purposes only by:



Nicole Dierna
Boone County Planning Commission
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005

NO TITLE EXAMINATION

(Legal Description and source of Title and Group Number furnished by the applicant.)

CONDITIONS OF APPROVAL

The following Conditions of Approval apply to the Change in Non-Conforming Use approved by the Boone County Board of Adjustment and in accordance with the current zoning in effect as of October 8, 2025, Certificate of Land Use Restriction (#25-BCBOA-022-A), for Holly Forman, Property Owner(s).

The following conditions will apply:

1. The existing mobile home shall be removed within six (6) months from the date that the new mobile home/manufactured home is placed on the property.

The approved Change in Non-Conforming Use as well as the preceding conditions apply to the property described in:

DEED BOOK 1180

PAGE NO. 895

GROUP NO. 2011