

BOARD OF ADJUSTMENT
BOONE COUNTY PLANNING COMMISSION

R	RECEIVED	D
	95373	
	AUG 18 2026	
BOONE COUNTY PLANNING COMMISSION		

One (1) scaled copy and one (1) 11 x 17 reduction of submitted drawings are required

Site Plan Review is not granted by the appropriate Board of Adjustment

An application consists of all fees paid in full, submitted drawings, and a completed application form

SECTION A: (To be completed by applicant)

1. Check One ☒ Boone ☐ Florence ☐ Walton ☐ Union
2. Check One ☐ Conditional Use Permit ☒ Variance ☐ Appeal
☐ Change in Non-Conforming Use
3. Applicant: Tyler Baker, Fortress Solutions, LLC
Address: 4355 Dixie Hwy
Elsmere Kentucky 41018
City State Zip Code
Phone Number: 859-328-6338 Fax Number: _____
Email: Tyler2@GoWithFortress.com
4. Description of Request:
Requesting Variance For Front Deck & Cover Per Approved Plans From Building Department
5. Name of Development: Cardinal Cove
6. Location of Development: 1889 Cardinal Way
Hebron Kentucky 41048
City State Zip Code
7. Acreage Under Review: .18
8. Lot Number and Name of Subdivision (if part of a subdivision):

9. Current Owner: Jonathan & Toni Neemi
Address: 1889 Cardinal Way
Hebron Kentucky 41048
City State Zip Code
Phone Number: (404) 610-8491 Fax Number: _____
Email: JNeemi77@gmail.com

10. Proposed Use(s) on Site: Small Entry Deck & Cover
11. Total Square Footage of Existing and/or Proposed Buildings: 1,700 sq. ft.
12. Current Zoning: Res. General
13. 1141 284 2002
Deed Book Page Group Number
14. Is the site subject to a zone change: ☐ Yes ☒ No
If yes, date of approval: _____
15. Have you submitted a Site Plan with this request: ☒ Yes ☐ No
16. Have you submitted a list of adjoining property owners with this request: ☒ Yes ☐ No
17. I, or we, understand and agree that this application and drawing(s) are being filed in accordance with the Boone County Zoning Regulations.

Property Owner's Signature: _____

Applicant's Signature: _____

SECTION B: (To be completed by Planning Commission staff)

1. Date Received: 8/18/26 Fee Received: \$6666 Receipt #: 95373
2. Is application complete: ✓
3. Staff Reviewer: CElliot
4. Scheduled Board Action Date: 9/9/26
5. Board Action: _____
✓ Approved
____ Approved with Conditions (see #6)
____ Denial (See #7)
6. Conditions of Approval: _____

7. Reasons for Denial: _____

Boone County Planning Commission
Boone County Administration Building
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005
Phone: 859-334-2196
plancom@boonecountyky.org
www.boonecountyky.org

STAFF REPORT

#4

APPLICANT: Tyler Baker, on behalf of Jonathan and Toni Nemi

LOCATION: 1889 Cardinal Way

ZONING: Suburban Residential One (SR-1)

DATE: September 9, 2026

PROPOSAL

- A. The submitted request is a Variance reducing the front yard setback from thirty (30) feet to sixteen (16) feet.

SITE HISTORY

- 1992 On May 19, 1992, the Boone County Fiscal Court approved a Zoning Map Amendment to rezone a 24-acre tract including the subject site from A-2 to SR-1.
- 1994 On June 22, 1994, the Boone County Planning Commission approved a Final Plat for Cardinal Cove, Section 4, creating the lot in question.
- 1995 On November 15, 1995, the Boone County Planning Commission approved a zoning permit to allow the construction of a single-family residence on the site.
- 2004 On June 17, 2004, the Boone County Planning Commission approved a zoning permit to allow an addition to the existing single-family residence.

APPLICABLE REGULATIONS

- A. Section 202.C of the Boone County Zoning Regulations states that one of the duties of the Board of Adjustment is to hear and decide on applications for variances.
- B. Section 4000 of the Boone County Zoning Regulations defines a variance as a departure from dimensional terms of the zoning regulation pertaining to the height, width, or location of structures, and the size of yards and open spaces where such departure meets the requirements of KRS 100.241 to 100.247.
- C. The Board should evaluate the request as it relates to the criteria necessary for granting a Variance as stated in Section 204.D and 204.E of the Boone County Zoning Regulations.

1. Findings listed in Section 204.D and 204.E:
 - a. Before any variance is granted, the Board must find that the granting of the variance will not adversely affect the public health, safety or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations. In making these findings, the board shall consider whether:
 - (1) The requested variance arises from special circumstances which do not generally apply to land in the general vicinity, or in the same zone;
 - (2) The strict application of the provisions of the regulations would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant;
 - (3) The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.
 - b. The Board shall deny any request for a variance arising from circumstances that are the result of willful violations of the zoning regulation by the applicant subsequent to the adoption of the zoning regulation from which relief is sought.
- D. Section 903.A of the Boone County Zoning Regulations states that the purpose of the Suburban Residential One district is to provide a low density, residential environment whose dwelling types and densities are typical of a suburban character. It is also to provide limited or passive and active recreational uses that are appropriate to the permitted uses in the district. Suburban Residential One districts will be located on lands within established urban areas where adequate infrastructure facilities and services are available or proposed.
- E. Section 3111 of the Boone County Zoning Regulations states that the minimum front yard setback within the SR-1 district is thirty (30) feet.
- F. Section 3123 of the Boone County Zoning Regulations states that Open structures such as porches, decks, canopies, balconies, platforms, carports, covered patios, and similar architectural projections which occupy space three (3) or more feet above the general ground level of the yard shall be considered

parts of the building to which attached and shall not project into the required minimum front, side, or rear yard.

RELATIONSHIP TO THE COMPREHENSIVE PLAN

- A. The Our Boone County Plan 2045 Future Land Use Plan designates the site in question as “Suburban Density Residential”, which is described as single-family housing of up to four units per acre.
- B. Cardinal Way is a county-maintained local street providing for two-way traffic within an approximate twenty-five (25) foot pavement width. There is a sidewalk along both sides of the roadway.

SURROUNDING LAND USES AND ZONING

North: Single-family residential dwellings (SR-1)
South: Single-family residential dwellings (SR-1)
East: Single-family residential dwellings (SR-1)
West: Single-family residential dwellings (SR-1)

SITE CHARACTERISTICS

- A. The approximate 0.2-acre property is located on the east side of Cardinal Way.
- B. The site has approximately 70 feet of frontage along Cardinal Way.
- C. The site is currently occupied by a detached single-family residential structure.

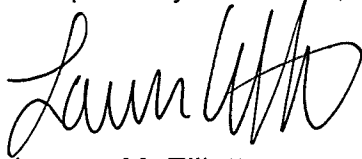
STAFF COMMENTS

- A. The submitted Concept Development Plan indicates the construction of a 350 square foot covered deck on the front of the house.
- B. The site sustained damage from a fire earlier this year, and the deck addition was constructed as part of that rebuild.
- C. The existing home itself has a front yard setback of 30 feet.
- D. If approved, the distance between the covered deck and the nearest residential structure would be approximately eighty-three (83) feet.

CONCLUSION

- A. KRS 100.241 and Section 220 of the Boone County Zoning Regulations give the Boone County Board of Adjustment and Zoning Appeals the authority to act on the request.
- B. Sections 204.D and 204.E of the Boone County Zoning Regulations identifies criteria necessary for granting a Variance. The applicant needs to provide information as to how their application meets these criteria.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Lauren M. Elliott", with a stylized flourish at the end.

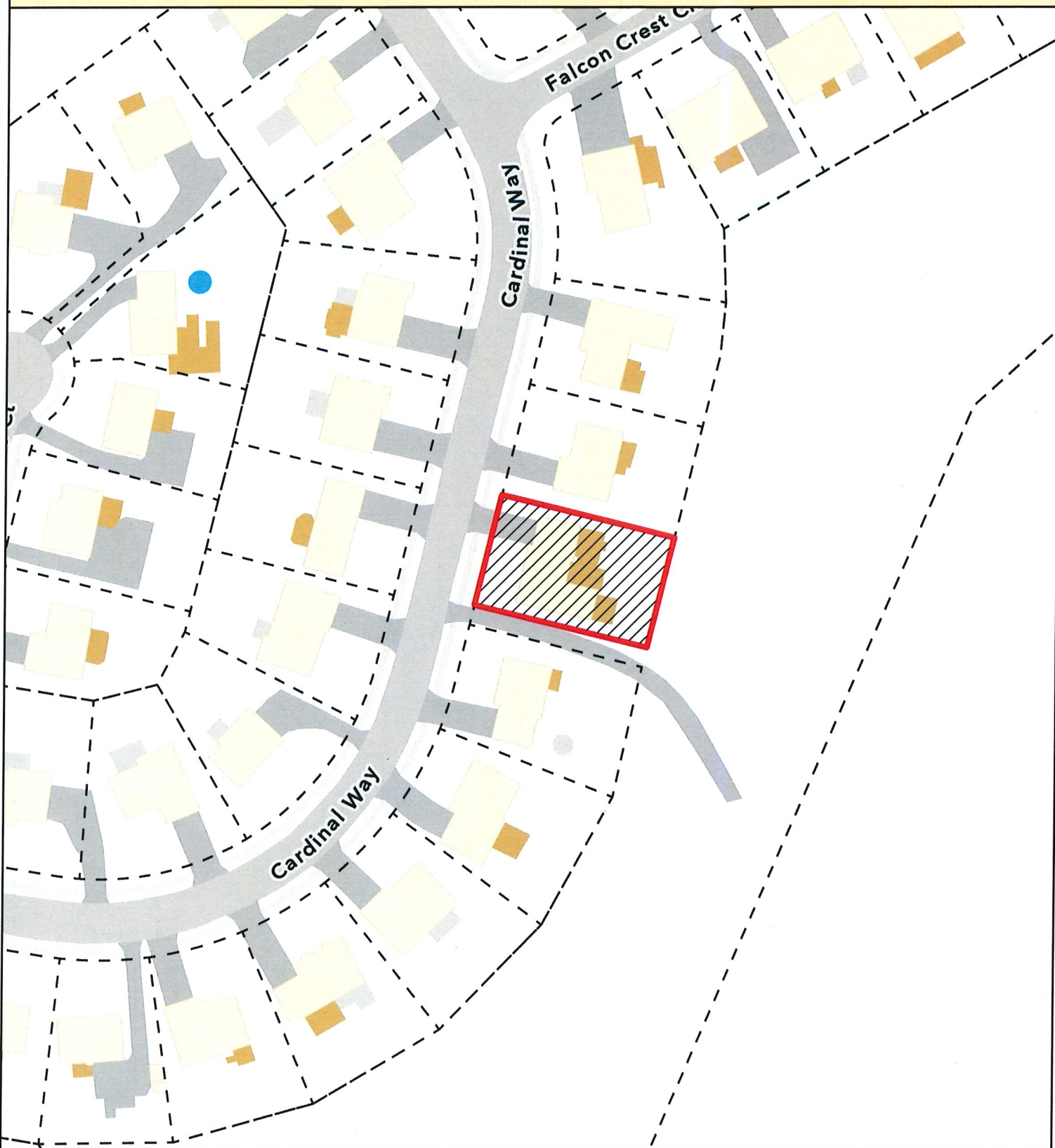
Lauren M. Elliott
Planner, Zoning Services

LME/nd

Attachments

- *Vicinity Map
- *Aerial Map
- *Zoning Map
- *2045 Future Land Use Map
- *Application
- *Concept Development Plan

Boone County GIS Map



0 45 90 180 270 360

Feet

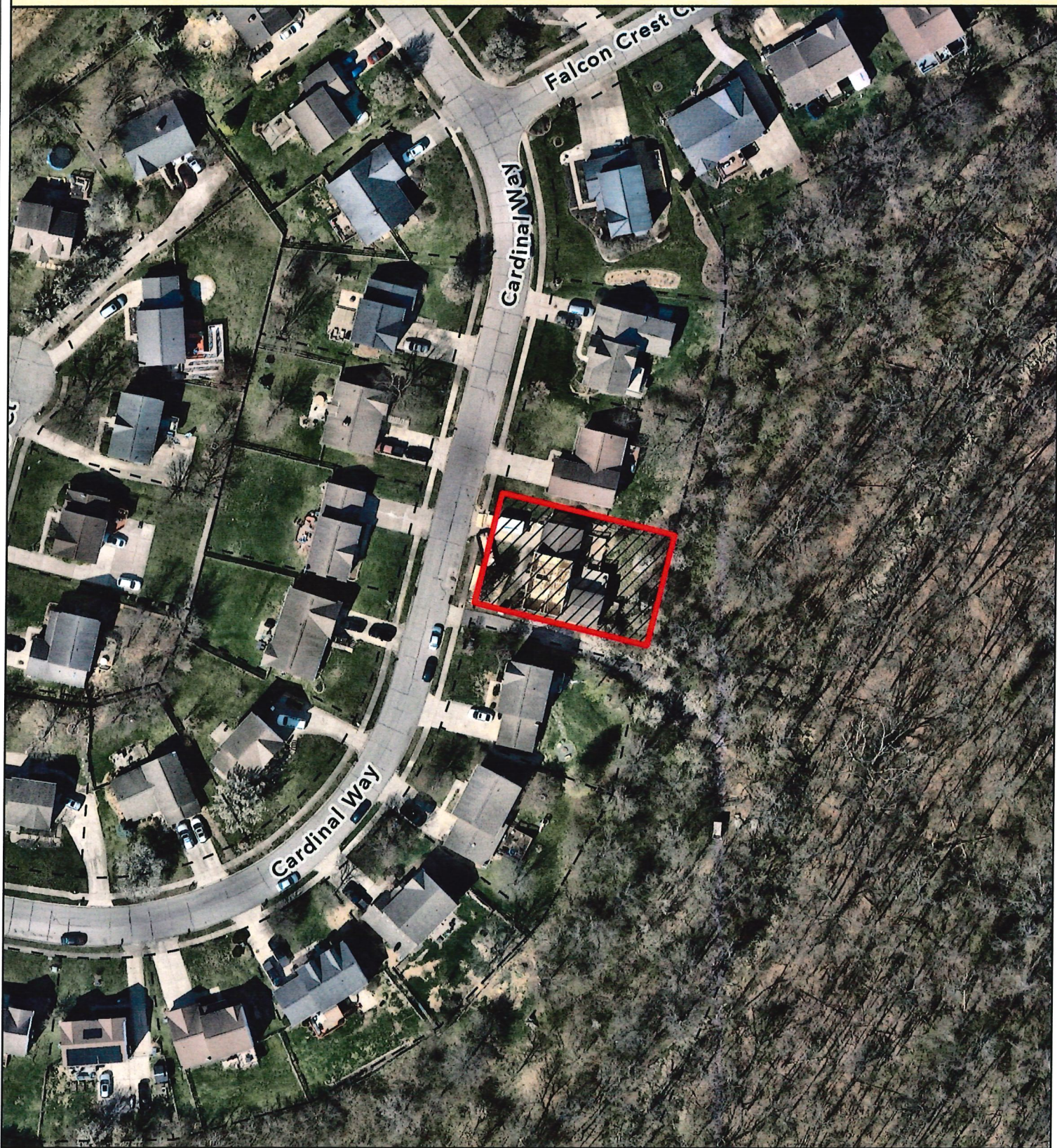


Boone County GIS - Putting Northern Kentucky on the Map

Map Created: 9/2/2028

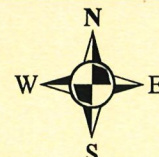
ArcGIS Pro Document: *.aprx

Boone County GIS Map



0 45 90 180 270 360

Feet



Boone County GIS - Putting Northern Kentucky on the Map

Map Created: 9/2/2028

ArcGIS Pro Document: *.aprx

Boone County GIS Map

SR-2/PD/CD

Falcon Crest C

Cardinal Way

SR-1/CD

A-2

Cardinal Way



0 45 90 180 270 360

Feet

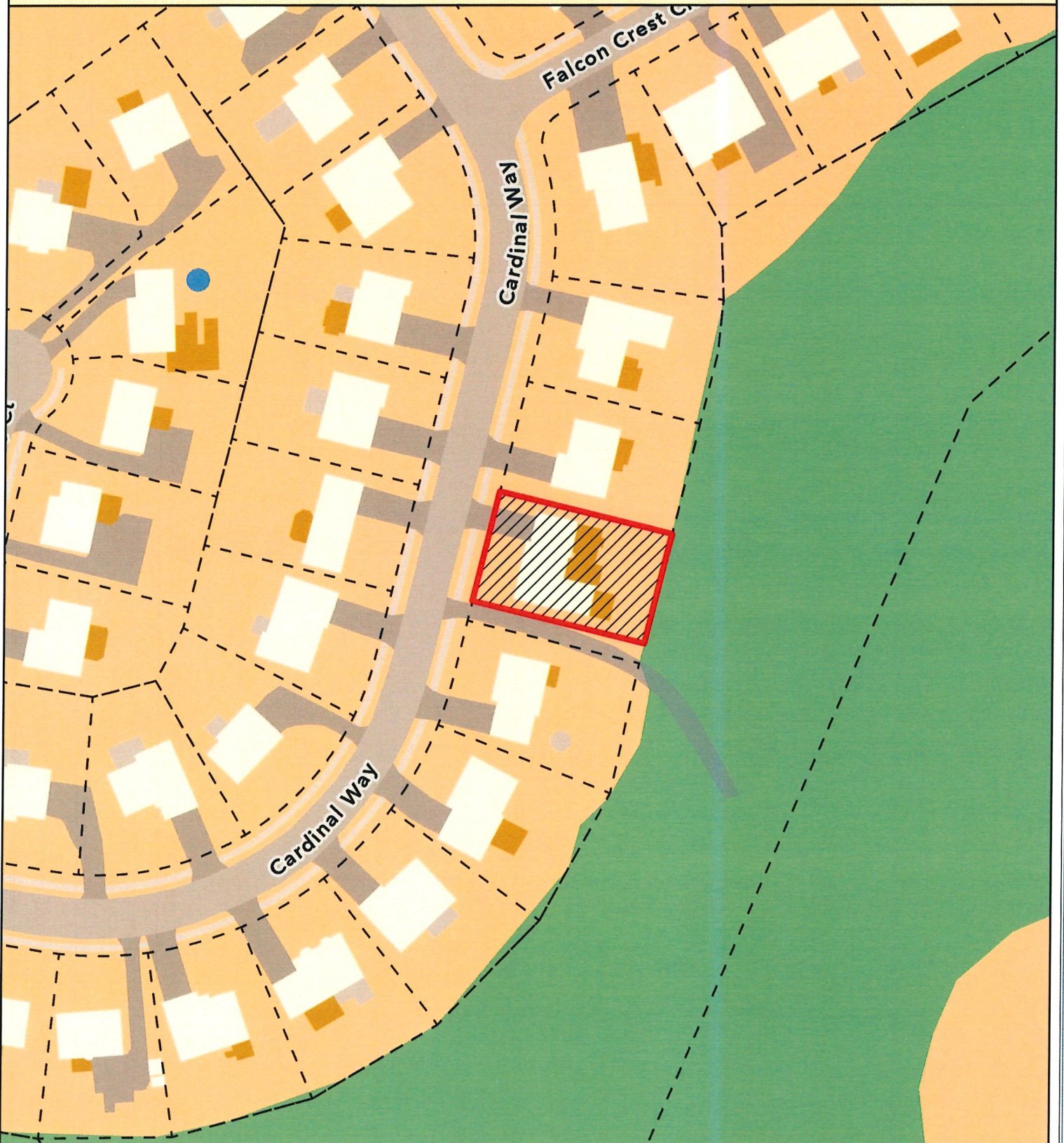


Boone County GIS - Putting Northern Kentucky on the Map

Map Created: 9/2/2026

ArcGIS Pro Document: *.aprx

Boone County GIS Map



0 45 90 180 270 360

Feet



Boone County GIS - Putting Northern Kentucky on the Map

Map Created: 9/2/2026

ArcGIS Pro Document: *.aprx

BOARD OF ADJUSTMENT
BOONE COUNTY PLANNING COMMISSION

R	RECEIVED	D
	95373	
	AUG 18 2026	
BOONE COUNTY PLANNING COMMISSION		

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2. Check One ☐ Conditional Use Permit ☒ Variance ☐ Appeal
☐ Change in Non-Conforming Use
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Address: 4355 Dixie Hwy
Elsmere Kentucky 41018
City State Zip Code
Phone Number: 859-728-6338 Fax Number: _____
Email: tyler@60withfortress.com
4. Description of Request:
Requesting variance for front deck & cover per approved plans from Solid.
Department
5. Name of Development: Cardinal Cove
6. Location of Development: 1889 Cardinal Way
Elsmere Kentucky 41048
City State Zip Code
7. Acreage Under Review: .18
8. Lot Number and Name of Subdivision (if part of a subdivision):

9. Current Owner: Jonathan J. Tami, Menci
Address: 1889 Cardinal Way
Elsmere Kentucky 41048
City State Zip Code
Phone Number: (601) 610-8491 Fax Number: _____
Email: JTami17@gmail.com

Boone County Zoning Application Form

1. Complete Footage of Existing and/or Proposed Buildings: 1,000 sq. ft.

2. Current Zoning: Residential

1141

Deed Book

284

Page

2002

Group Number

Is the site subject to a zone change?

☐ Yes

☒ No

If yes, date of approval:

Have you submitted a Site Plan with this request?

☒ Yes

☐ No

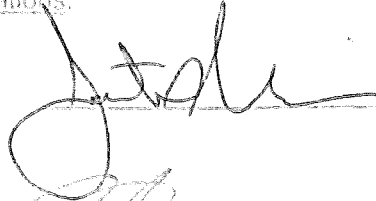
Have you submitted a list of adjoining property owners with this request?

☒ Yes

☐ No

I/we understand and agree that this application and drawing(s) are being filed in accordance with the Boone County Zoning Regulations.

Property Owner's Signature:



Applicant's Signature:



SECTION B: (To be completed by Planning Commission staff)

1. Date Received: 8/18/24 Fee Received: \$666 Receipt #: 95373
2. Is application complete: ✓
3. Staff Reviewer: _____
4. Scheduled Board Action Date: _____
5. Board Action: _____

Approved

Approved with Conditions (see #6)

Denial (See #7)
6. Conditions of Approval: _____

7. Reasons for Denial: _____

Boone County Planning Commission
Boone County Administration Building
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005
Phone: 859-334-2196
plancom@boonecountyky.org
www.boonecountyky.org



Boone County PVA

Public Map

Address, Tax Parcel Number



Fill



Outline



GIS Services Division, Boone County Planning Commission



Boone County GIS Map

www.boonecountygis.com



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Data used to create this map were compiled from sources that comply with National Map Accuracy Standards. Boone County GIS extends no warranty with respect to the accuracy or content of the information provided by this map. This map should be used for general planning purposes only.



0 10 20 40 60 80 Feet

1 inch = 20 feet



Boone County GIS - Putting Northern Kentucky on the Map

Boone County GIS
ArchMap Document: *.mxd

1889 CARDINAL WAY HEBRON, KY 41048

15. CONSTRUCTION INSURER SHALL PREPARE ALL NEW AND EXISTING SURFACES SCHEDULED TO RECEIVE NEW FINISHES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE SUBSTRATE & FINISH BEING APPLIED.

VICINITY MAP

APPLICABLE CODES

U.N.C.
ABIT
UNLESS NOTED OTHERWISE
407

SHEET INDEX

COVER SHEET	SHEET NAME	SHEET NUMBER
FIRST FLOOR PLAN		A-1.0
BASMENT & SECOND FLOOR PLAN		A-2.0
FRONT & REAR ELEVATION		A-3.0
LEFT & RIGHT ELEVATION		A-4.0
ROOF PLAN		A-5.0
BUILDING SECTION-1&2		A-6.0
FIRST FLOOR ELECTRICAL PLAN		A-7.0
BASEMENT & SECOND FLOOR ELECTRICAL PLAN		E-2.0
FIRST FLOOR PLUMBING		P-1.0
BASMENT & SECOND FLOOR PLUMBING PLAN		P-2.0

THE NEMI RESIDENCE

1889 CARDINAL WAY HEBRON,
KY 41048

PROJECT OWNERS:

Jonathan and Toni Nott
1889 Cardinal Way
Hebron, KY 41048

10

Fortress Solutions, LLC
4355 Dixie Hwy.
Elmire, Ky 41018
859-328-6338 Office

SHEET TITLE:
COVER SHEET

DRAWN BY: _____ CHECK _____
ADE _____

Project Status

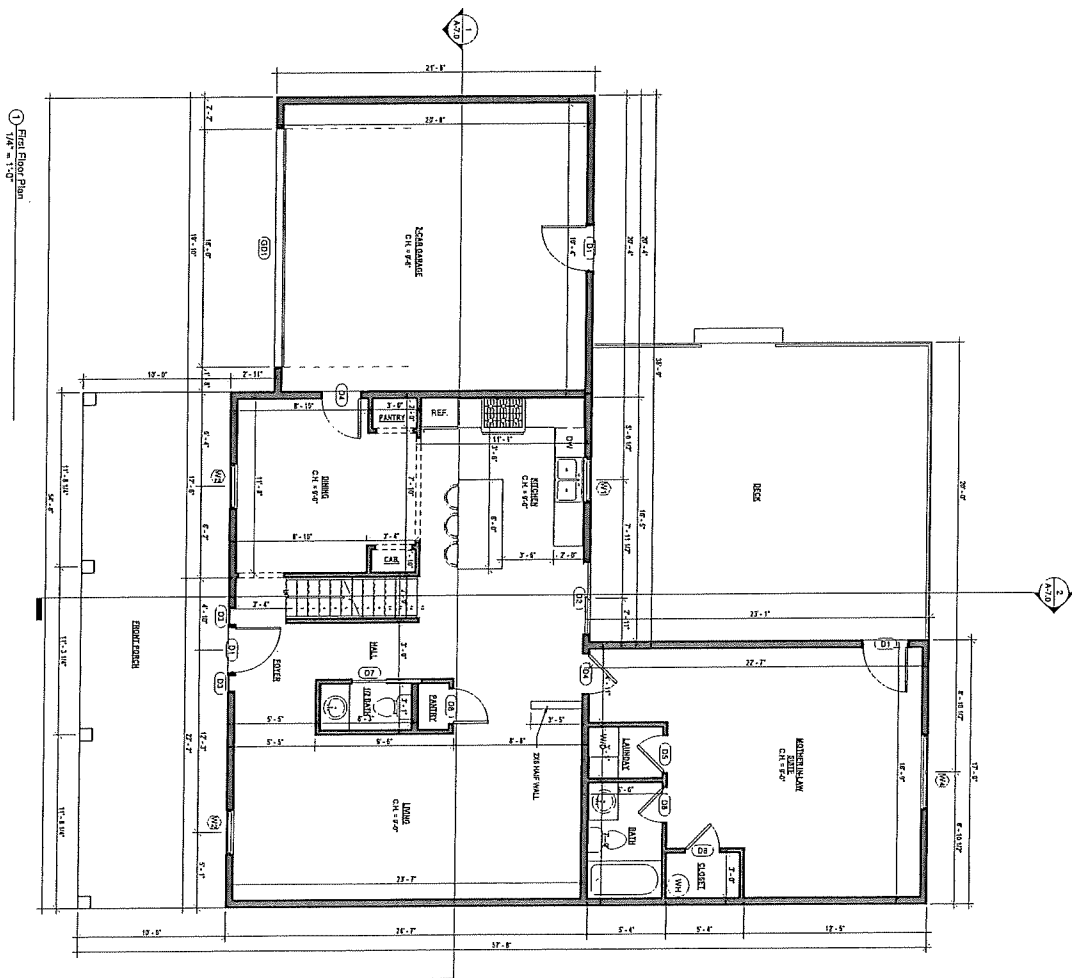
DOCUMENT ISSUED

14'50"7 070710011

ARC

A-1.0

SQUARE FOOTAGE AREA CHART	
Name	Area
FIRST FLOOR LIVING	1282 SF
2ND FLOOR LIVING	828 SF
3. BASEMENT AREA	1282 SF
4. 2 CAR GARAGE	430 SF
5. FRONT PORCH	347 SF
6. DECK	462 SF
7. PATIO	141 SF
TOTAL AREA UNDER ROOF=	4731 SF
TOTAL HEATED AREA =	2090 SF



① First Floor Plan
1/4" = 1'-0"

David
OWNER

1/2" = 1'-0" SCALE FOR ALL DIMENSIONS

NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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REVISION	NO.	DESCRIPTION

PROJECT NUMBER

PROJECT NAME:
THE NEMI RESIDENCE
1889 CARDINAL WAY HEBRON,
KY 41048

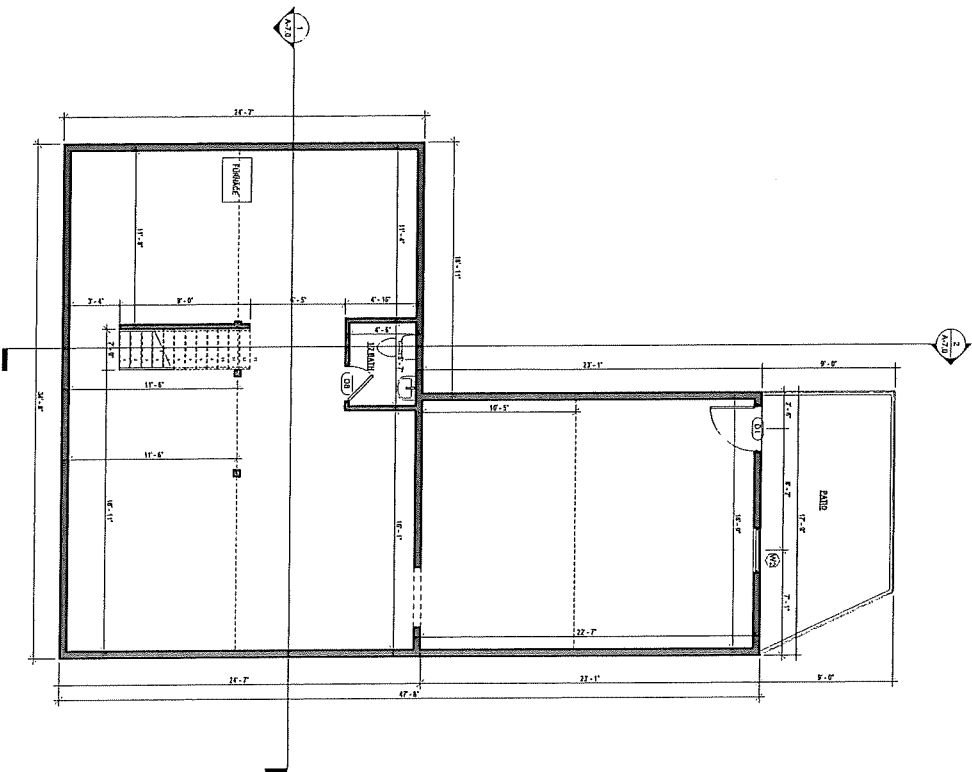
PROJECT OWNERS:

CONTRACTOR:

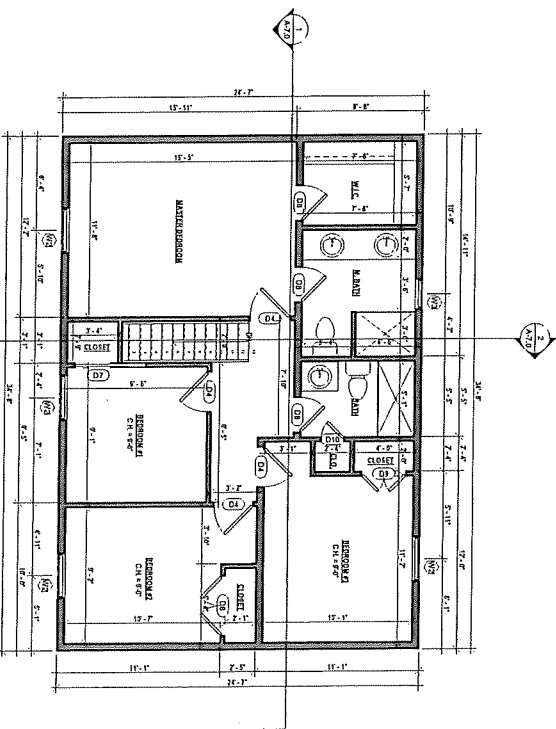
SHEET TITLE:
FIRST FLOOR PL

DRAWN BY:	CHECK:
DATE:	
Project Status:	
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11/30/2025 209.47 F	
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A-2.0



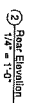
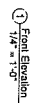
1. Basement Plan
1/4" = 1'-0"



2. Second Floor Plan
1/4" = 1'-0"

DOOR SCHEDULE				
Type Mark	Width	Height	Count	Description
D1	3'-0"	6'-8"	4	EXTERIOR DOOR
D2	4'-10"	7'-0"	1	SLIDING DOOR (2 PANEL)
D3	1'-0"	6'-8"	2	SIDE LITE
D4	2'-8"	6'-8"	6	INTERIOR SINGLE FLUSH
D5	2'-6"	6'-8"	1	INTERIOR SINGLE FLUSH
D6	2'-4"	6'-8"	7	INTERIOR SINGLE FLUSH
D7	2'-4"	6'-8"	2	POCKET DOOR
D8	4'-0"	6'-8"	1	CLOSET DOOR
D9	3'-0"	6'-8"	1	CLOSET DOOR
D10	1'-6"	6'-8"	1	INTERIOR SINGLE FLUSH
GD1	16'-0"	7'-7"	1	GARAGE DOOR

WINDOW SCHEDULE				
Type Mark	Width	Height	Count	Description
W1	3'-0"	3'-0"	1	DOUBLE HUNG
W2	3'-0"	5'-0"	7	DOUBLE HUNG
W3	2'-0"	4'-3 1/2"	1	FIXED GLASS
W4	5'-0"	5'-0"	1	DOUBLE HUNG



► CONTRACTOR BY ELMER DEASON
DISSEMINATING ALL RIGHTS RESERVED

PLEASE NOTE: Mutual Energy & Engineering is not liable for any actions conducted herein. It is the responsibility of the contractor to perform following before beginning construction:

- 1) Contractor must verify A/E Drawings on site and prior to proceeding with construction.
- 2) Contractor must verify compliance with ALL applicable codes and regulations.
- 3) Building Codes in the area the project is to be constructed.
- 4) Permit indicates locations only; building requires detailed engineering design.

Contractor shall incorporate actual site conditions as shown on drawings provided by Owner/Consultant.

[illegible]

PROJECT NAME:
THE NEMI RESIDENCE
1889 CARDINAL WAY HEBRON,
MISSOURI

CONTRACTOR:	
SHEET TITLE	FRONT & REAR ELEVATION

DRAWN BY:	CHEE
RDE	
Project Status	
DOCUMENT ISSUED	
11/30/2025 2:09:49	
SCALE: 1/4" = 1'-0"	
SHEET NO.	
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A-4.0

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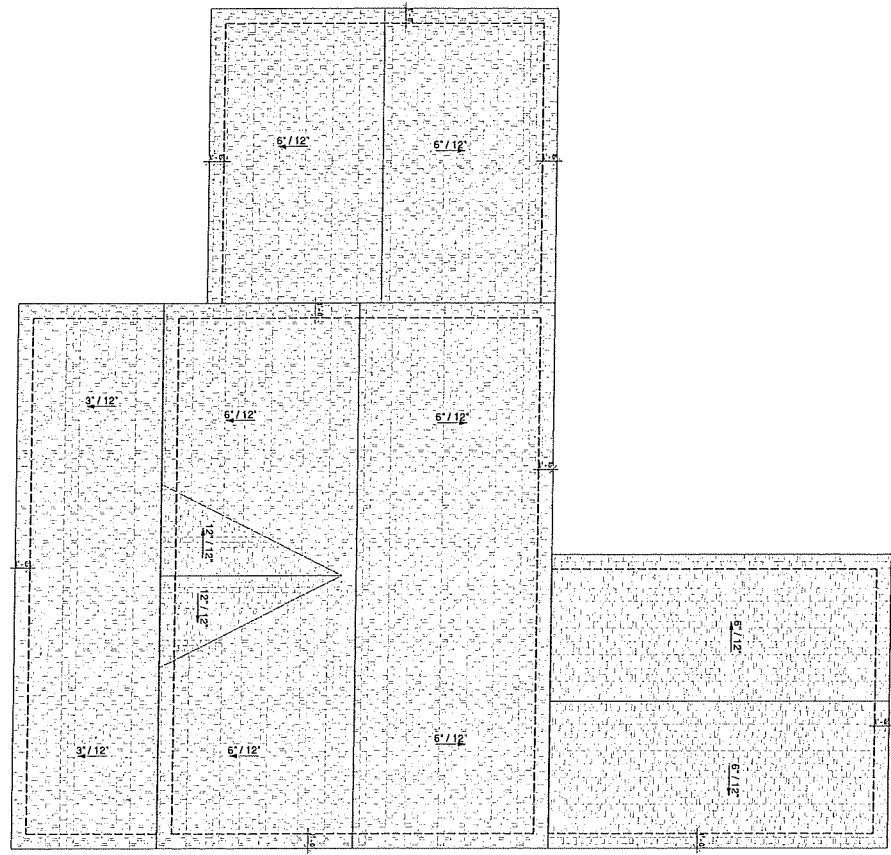
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1/2" = 1'-0"



1 Roof Plan
1/4" = 1'-0"

PROJECT NAME:
THE NEMI RESIDENCE
1889 CARDINAL WAY HEBRON,
KY 41048

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
ROOF PLAN

DRAWN BY: **CHEG**

Project Status

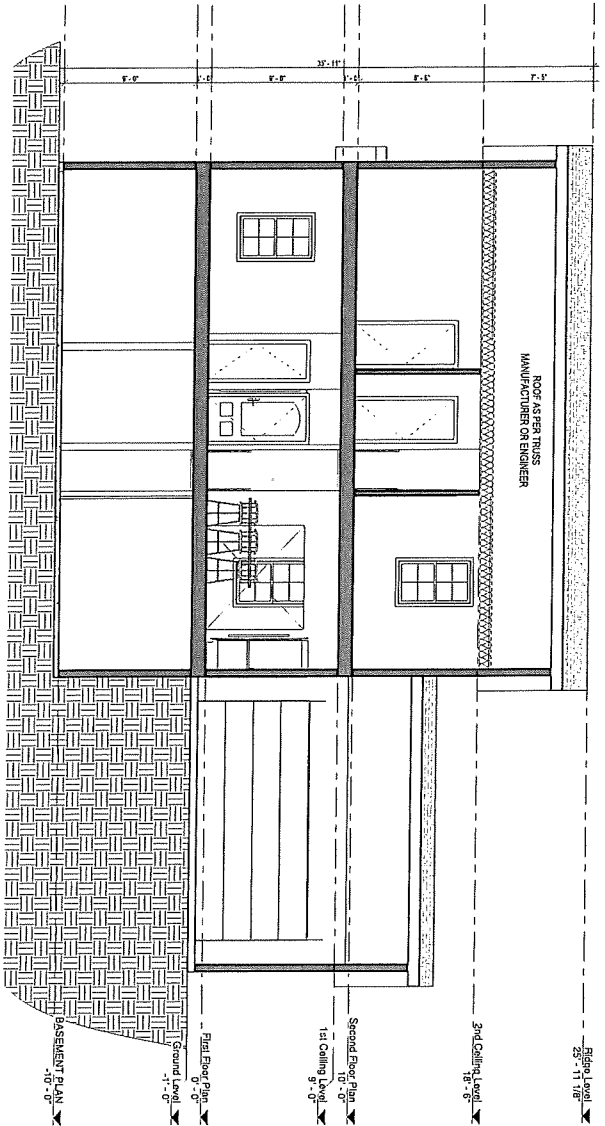
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11/20/2025 208511

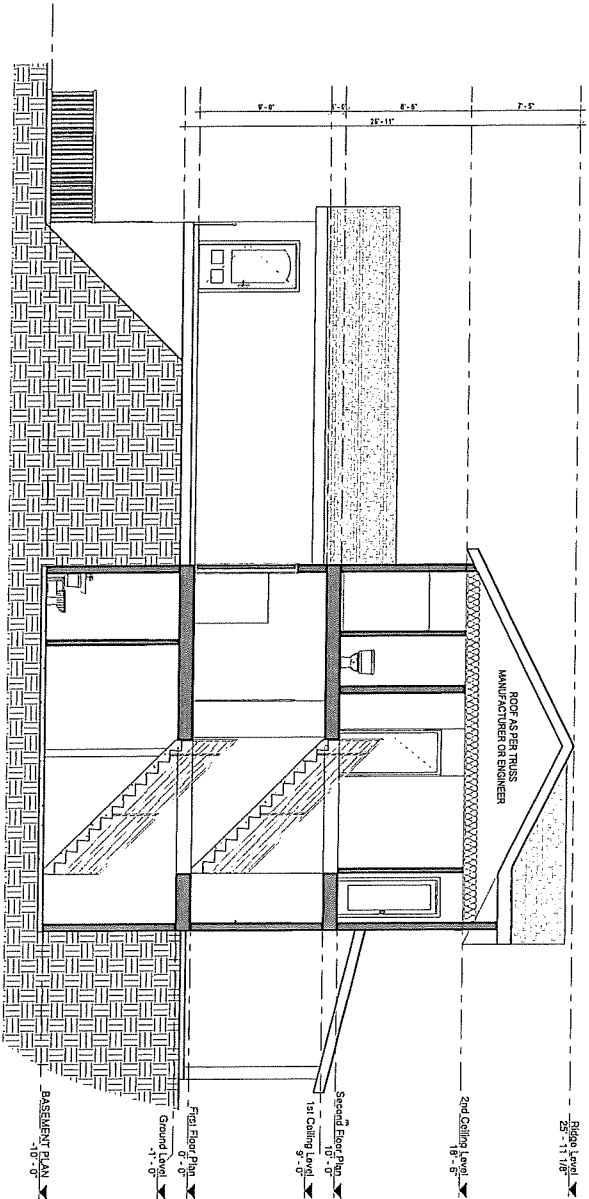
SCALE: 1/4" = 1'-0"

SHEET NO.

A-6.0



① Building Section-1
1/4" = 1'-0"



② Building Section-2
1/4" = 1'-0"

NOTES:

1. CONSULT THE LOCAL HEALTH DEPARTMENT FOR ALL NECESSARY PERMITS.

2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

4. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

5. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

REVISION SCHEDULE

NO.	DESCRIPTION

PROJECT NAME:

THE NEMI RESIDENCE

1889 CARDINAL WAY HEBRON, KY 41040

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:

BUILDING SECTION-1&2

DRAWN BY:

RDE

CHECK:

PROJECT STATUS:

DOCUMENT ISSUED

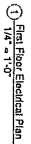
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SCALE:

1/4" = 1'-0"

SHEET NO.:

A-7.0

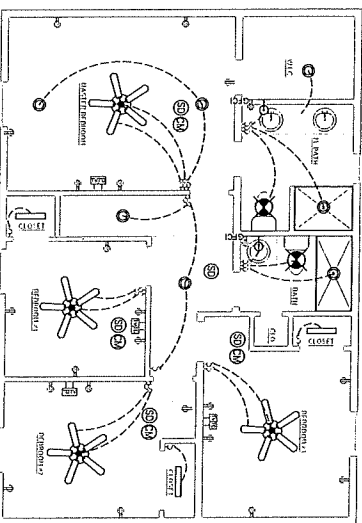
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1889 CARDINAL WAY HEBRON,
KY 41019

SHEET TITLE:
FIRST FLOOR
ELECTRICAL PL

DRAWN BY:	CHE
RDE	
Project Status	
DOCUMENT ISSUED	
11/30/2025 2:09:52	
SCALE: As indicated	
SHEET NO.	AR

E-1.0

[illegible]

② Second Floor Electrical Plan
1/4" = 1'-0"

ELECTRICAL LEGEND	
	CEILING FAN WITH LIGHT
	TV CONNECTION
	DATA JACK
	TELEPHONE JACK
	GFCI PROTECTED OUTLET
	STANDARD 110V OUTLET
	STANDARD 220V OUTLET
	PROGRAMMABLE THERMOSTAT
	LIGHT SWITCH
	3-WAY LIGHT SWITCH
	CEILING MOUNT RADIANT HEATER
	ELECTRICAL PANEL
	WALL MOUNTED LIGHT FIXTURE
	FLOOD LIGHT FIXTURE
	RECESSED CEILING CAN
	PENDANT LIGHT FIXTURE
	LED STRIP LIGHT
	EXHAUST FAN
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

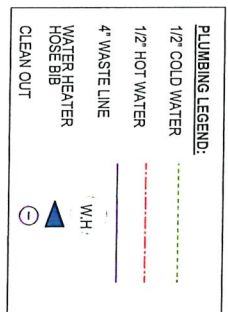
[illegible]

1889 CARDINAL WAY HEBRON,
KY 41048

CONTRACTOR:

SHEET TITLE:
**BASEMENT &
SECOND FLOOR
ELECTRICAL PL**

R06
Project Status
DOCUMENT ISSUED
11/30/2025 2:09:52
SCALE: As indicated
SHEET NO.



1. PLUMBING NOTES:
2. PLUMBING SHALL MEET ALL LOCAL CODES.
3. IF WATER HEATER IS LOCATED ANYWHERE, EXCEPT GARAGE OR BASEMENT, PROVIDE METAL DRAIN PAN WITH AUXILIARY DRAIN TO EXTERIOR.
4. PROVIDE INSIDE MAIN WATER CUT-OFF.
5. PROVIDE BLOCKING IF WALL PLATES OR JOISTS ARE CUT INTO.

1889 CARDINAL WAY HEBRON,
LV 11010

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
FIRST FLOOR
PLUMBING

DRAWN BY:	CHECK
RDE	

Project Status

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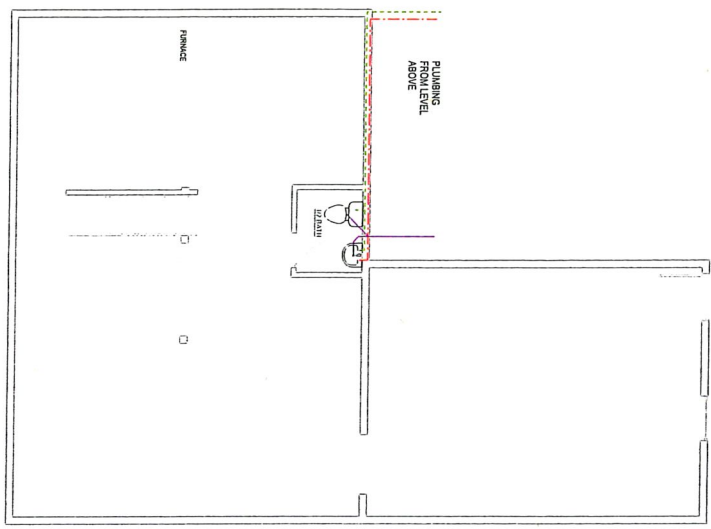
SCALE: As indicated

P-1.0

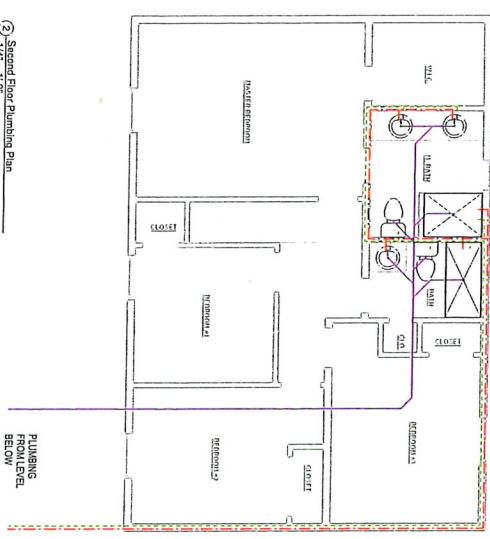
① First Floor Plumbing Plan
1/4" = 1'-0"

PLUMBING LEGEND:
1/2" COLD WATER
1/2" HOT WATER
4" WASTE LINE
WATER HEATER
HOSE BIB
CLEAN OUT

- PLUMBING NOTES:**
1. PLUMBING SHALL MEET ALL LOCAL CODES.
 2. IF WATER HEATER IS LOCATED ANYWHERE EXCEPT GARAGE OR BASEMENT, PROVIDE INSIDE MAIN WATER CUT OFF.
 3. PROVIDE INSIDE MAIN WATER CUT OFF.
 4. PROVIDE BLOCKING IF WALL PLATES OR JOISTS ARE CUT INTO.



① BASEMENT PLUMBING PLAN
1/4" = 1'-0"



② Second Floor Plumbing Plan
1/4" = 1'-0"

REVISION	SCHEDULE
NO.	DESCRIPTION

PROJECT NAME:
THE NEMI RESIDENCE
1889 CARDINAL WAY HEBRON,
KY 41048

CONTRACTOR: _____

PROJECT OWNERS: _____

SHEET TITLE:
BASEMENT & SECOND FLOOR PLUMBING PLAN

DRAWN BY: _____

CHECK: _____

Project Status

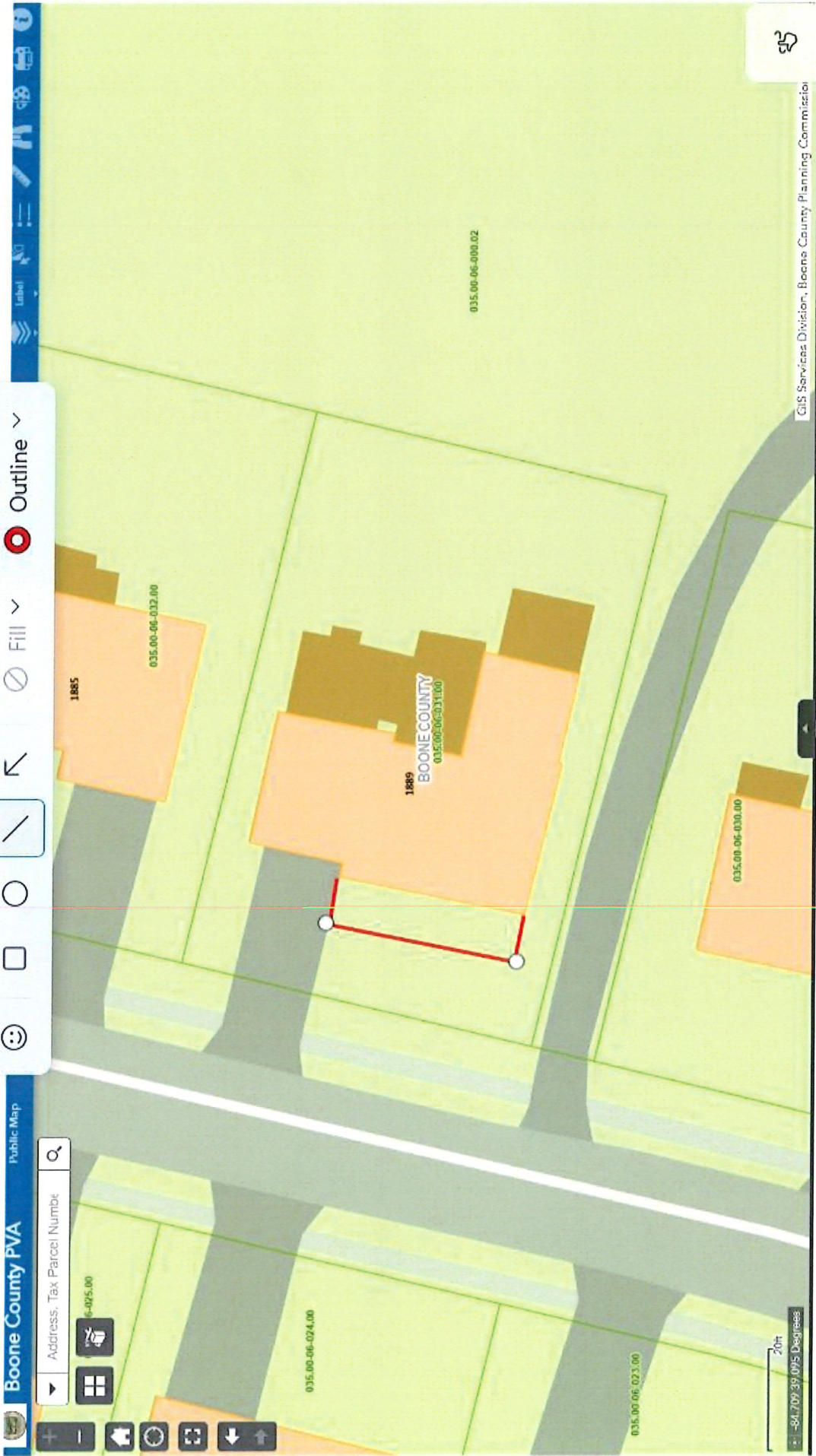
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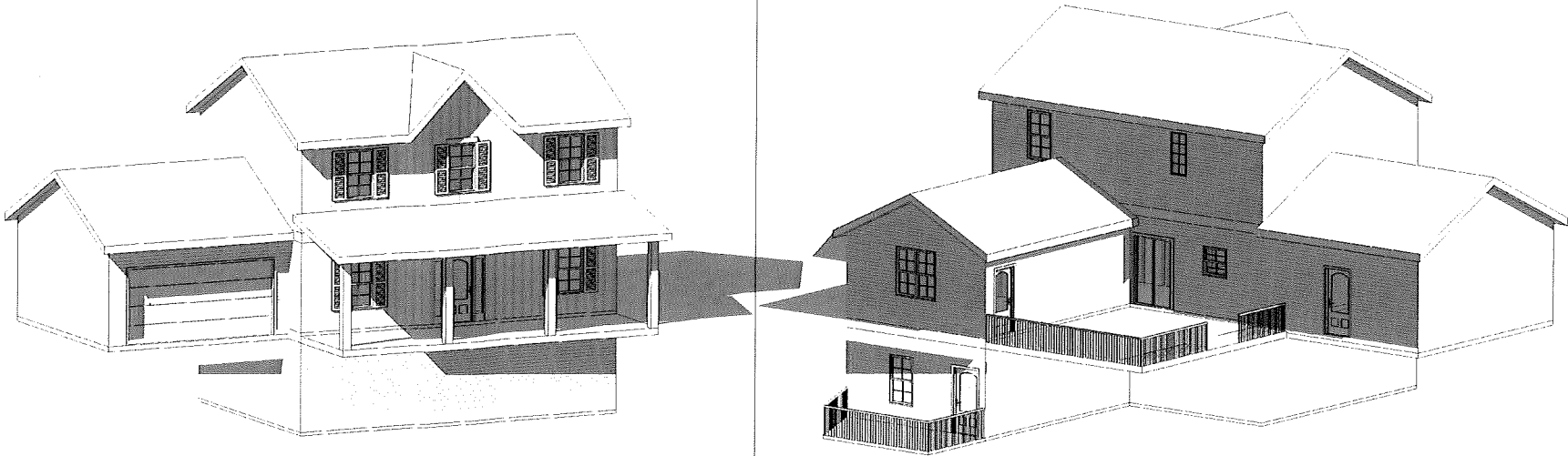
SHEET NO. _____

ARCH _____



THE NEMI RESIDENCE

1889 CARDINAL WAY HEBRON, KY 41048



GENERAL NOTE:

1. THESE NOTES SHALL APPLY TO ALL DRAWINGS UNLESS NOTED OTHERWISE OR SHOWN. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND THEY SHALL APPLY GENERALLY THROUGHOUT SIMILAR CONDITIONS. ALL OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BY THE CONTRACTOR/BUILDER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.

2. ALL CONSTRUCTION SHALL CONFORM TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL LOCAL CODES PRESENTLY IN EFFECT UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED.

3. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE SHOWN. THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL SUPERVISE AND DIRECT WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT/ENGINEER DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, AND THEREFORE THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.

4. ANYONE SUPPLYING LABOR AND/OR MATERIALS TO THE PROJECT SHALL CAREFULLY EXAMINE ALL SUBSURFACES TO RECEIVE WORK. ANY CONDITIONS DETRIMENTAL TO WORK SHALL BE REPORTED IN WRITING TO THE CONTRACTOR PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK SHALL IMPLY ACCEPTANCE OF ALL SUBSURFACES.

5. ANY MATERIALS STORED AT THE SITE SHALL BE COMPLETELY SUPPORTED FREE OF THE GROUND, COVERED AND OTHERWISE PROTECTED TO AVOID DAMAGE FROM THE ELEMENTS.

6. THE CONTRACTOR/BUILDER SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, LICENSES, AND ALL UTILITY CHARGES, AND ARRANGE FOR ALL REQUIRED INSPECTIONS.

7. THE CONTRACTOR/BUILDER SHALL BE RESPONSIBLE FOR COORDINATING BUILDING & SITE UTILITIES BETWEEN ARCHITECTURE, CIVIL & MEP DRAWINGS. THE CONTRACTOR SHALL ALSO CONTACT ALL APPLICABLE UTILITY COMPANIES & PROVIDE CONDUIT & OTHER FACILITIES AS REQUIRED.

8. THE CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS & CONDITIONS ON THE JOB SITE PRIOR TO THE CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. IN CASES OF DISCREPANCY CONCERNING DIMENSIONS, QUANTITIES AND LOCATION, THE CONTRACTOR SHALL, IN WRITING, CALL TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES BETWEEN SPECIFICATIONS, PLANS, DETAILS OR SCHEDULES. THE ARCHITECT WILL THEN INFORM THE CONTRACTOR, IN WRITING, WHICH DOCUMENT TAKES PRECEDENCE. THERE SHALL BE NO ADJUSTMENT TO THE COST OR TIME OF THE WORK RESULTING FROM CLARIFICATION OF SUCH DISCREPANCIES.

9. DIMENSIONS ON DRAWINGS ARE SHOWN TO FINISHED FACE OF WALLS AND PARTITIONS OF EXISTING OR NEW CONSTRUCTION UNLESS NOTED OTHERWISE. CEILING HEIGHT DIMENSIONS AND ALL OTHER VERTICAL DIMENSIONS ARE TO THE FINISHED FLOOR SURFACE UNLESS NOTED OTHERWISE.

10. ALL MATERIALS SPECIFIED OR NOTED SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

11. THE CONTRACTOR/BUILDER SHALL BE RESPONSIBLE FOR SUBMITTING SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES FOR CASEWORK, FINISHES, DOORS, FRAMES, HARDWARE, MECHANICAL, ELECTRICAL, AND PLUMBING FIXTURES, AND OTHER ITEMS REQUIRING ARCHITECT'S OR CLIENT'S REVIEW FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS, AND FOR ALL ITEMS WHICH ALLOWED CONTRACTOR OPTIONS. PRIOR TO FORWARDING TO THE ARCHITECT FOR REVIEW, THESE SUBMITTALS MUST BE REVIEWED BY THE CONTRACTOR FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND OPERATIONS OF CONSTRUCTION AND SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERE TO, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR/BUILDER. THE CONTRACTOR/BUILDER SHALL AFFIX A STAMP TO SUBMITTALS INDICATING HIS REVIEW. SUBMITTALS FORWARDED WITHOUT A STAMP WILL BE RETURNED. ALL SUBMITTALS MUST BE REVIEWED BY THE ARCHITECT PRIOR TO CONSTRUCTION.

12. CONTRACTOR SHALL GUARANTEE ALL WORK AGAINST FAULT OF ANY MATERIAL OR WORKMANSHIP FOR A PERIOD OF NOT LESS THAN ONE YEAR AFTER COMPLETION OR ACCEPTANCE. FAULTY WORK SHALL BE REPLACED OR REPAIRED AS REQUIRED AT NO COST TO THE OWNER.

13. CONTRACTOR SHALL COORDINATE WITH OWNER ALL ITEMS TO BE SALVAGED PRIOR TO SUBMISSION OF BIDS AND START OF CONSTRUCTION. OWNER SHALL HAVE SALVAGE RIGHTS TO RETAIN ALL REMOVED ITEMS.

14. ALL CHANGES PROPOSED DURING CONSTRUCTION WHICH RESULT IN A CHANGE TO THE CONTRACT TIME AND/OR SUM SHALL BE SUBMITTED TO THE ARCHITECT IN WRITING AND APPROVED BY THE ARCHITECT AND OWNER BEFORE SUCH WORK SHALL COMMENCE.

15. CONTRACTOR SHALL COORDINATE CLEAR OPENINGS FOR ALL APPLIANCES PRIOR TO CONSTRUCTION OF CASEWORK.

16. CONTRACTOR SHALL FURNISH AND INSTALL CONCEALED FIRE-RETARDANT TREATED WOOD BLOCKING BEHIND ALL CABINETS, TOILET ACCESSORIES, PLUMBING FIXTURES, AND OTHER WALL MOUNTED ITEMS AS REQUIRED FOR ADEQUATE SUPPORT.

17. CONTRACTOR SHALL COORDINATE ALL LOCK AND LATCH SETS AND FINAL KEYING WITH OWNER. DOUBLE KEYED LOCKS ARE NOT PERMITTED ON ANY REQUIRED OR MARKED EXIT. MATCH EXISTING KEYING SYSTEM IF ONE IS EXISTING.

18. ALL DOOR HARDWARE ON EXIT DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR EFFORT.

19. CONTRACTOR/BUILDER SHALL PREPARE ALL NEW AND EXISTING SURFACES SCHEDULED TO RECEIVE NEW FINISHES IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS FOR THE SUBSTRATE & FINISH BEING APPLIED.

20. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING CONSTRUCTION INDICATED TO REMAIN AND SHALL REPAIR AND/OR REPLACE ALL AREAS AND/OR MATERIALS DAMAGED DURING CONSTRUCTION AT A MINIMUM TO THE CONDITION WHICH EXISTED PRIOR TO CONSTRUCTION.

21. ALL NEW GLASS AND GLAZING LOCATED IN HAZARDOUS LOCATIONS AS DEFINED IN IBC SECTION 2406.3 SHALL MEET THE REQUIREMENTS FOR SAFETY GLAZING AS DEFINED IN IBC SECTION 2406.

22. IF THE CONTRACTOR/BUILDER FAILS TO SUBMIT A MATERIAL FOR APPROVAL, THE MATERIAL MAY BE REQUIRED TO BE REMOVED BY HIM EITHER BY DIRECTION OF THE OWNER OR ARCHITECT.

23. THE CONTRACTOR/BUILDER IS TO PROVIDE AS BUILT DRAWINGS IN HARD COPY & AN ELECTRONIC AUTOCAD FILE TO THE OWNER AT THE CONCLUSION OF THE PROJECT.

24. INSTALL ELASTOMERIC JOINT SEALER AROUND ALL PIPES, DUCTWORK, & STRUCTURE PASSING THRU INTERIOR NON-RATED CONCRETE AND MASONRY WALLS, GYPSUM BOARD PARTITIONS, AND CONCRETE FLOOR/ROOF SLABS. FOR FIRE RATED INTERIOR CONCRETE AND MASONRY WALLS, GYPSUM BOARD PARTITIONS, AND CONCRETE FLOOR/ROOF SLABS SEAL ALL PIPES, DUCTWORK, AND STRUCTURE. INSTALL FIRESTOP MATERIALS IN ALL GAPS PRIOR TO SEALANT APPLICATION. INSTALL SEALER ACCORDING TO MANUFACTURERS WRITTEN INSTRUCTIONS.

25. THE CONTRACTOR/BUILDER SHALL BE RESPONSIBLE TO REMOVE OR DISBURSE ANY EXCESS MATERIAL FROM PROJECT SITE.

ABBREVIATIONS:

U.N.O.	UNLESS NOTED OTHERWISE
ABV.	ABV.
SIM.	SIMILAR
CAB.	CABINET
R&S	ROD AND SHELVES
WDW.	WINDOW
CLG.	CEILING
C.O.	CASED OPENING
T	TEMPERED
GYP.	GYPSUM
CONC.	CONCRETE
TYP.	TYPICAL
O.C.	ON CENTER
CL	CENTER LINE
MECH.	MECHANICAL
FURN.	FURNACE
WH	WATER HEATER
SIM.	SIMILAR
NTS.	NOT TO SCALE
HGT.	HEIGHT
RCP	REFLECTED CEILING PLAN
HJS	HEAD, JAMB, AND SILL
EQ.	EQUAL
WD	WOOD
SCH.	SCHEDULE(D)
<E>	EGRESS
TRANS.	TRANSOM
MTL.	METAL
CMU	CONCRETE MASONRY UNIT
EXIST.	EXISTING

SYMBOLS:

	DETAIL INDICATOR - REFERENCE & DETAIL INDICATOR - ITEM
	DETAIL INDICATOR - SECTION & DETAIL INDICATOR - SECTION ITEM
	SECTION INDICATOR - PARTIAL BUILDING/WALL & DETAIL INDICATOR - AREA
	SECTION INDICATOR - BUILDING
	ELEVATION INDICATOR - EXTERIOR
	ELEVATION INDICATOR - INTERIOR, SINGLE & MULTIPLE VIEW
	MATCH LINE INDICATOR
	REFERENCE GRID WITH REFERENCE GRID LINES
	REVISION INDICATOR & REVISION CLOUD
	ROOM IDENTIFIER WITH ROOM NAME & NUMBER
	ELEVATION INDICATOR - LEVEL & SPOT
	WINDOW OR LOUVER IDENTIFIER
	KEYNOTE INDICATOR
	PLAN NORTH & TRUE NORTH INDICATOR

BUILDING DATA

LOCATION MAP

VICINITY MAP

PROJECT CONTACT INFO:

SCOPE OF WORK:

APPLICABLE CODES

2018 Kentucky Building Code (based on the 2015 International Building Code)
2018 Kentucky Residential Code (Based on the 2015 International Residential Code)
2015 International Mechanical Code
2015 International Fire Code (New construction, when specifically referenced by the body of KBC)
2019 International Energy Conservation Code (Residential only) (R-2/R-3/R-4 structures and buildings constructed under the KRC)
2017 NFPA 70 National Electrical Code
2013 NFPA 72 National Fire Alarm and Signaling Code
2015 International Existing Building Code

OWNER:

DESIGNER:

BUILDER/CONTRACTOR:

SHEET INDEX:

SHEET NAME	SHEET NUMBER
COVER SHEET	A-1.0
FIRST FLOOR PLAN	A-2.0
BASEMENT & SECOND FLOOR PLAN	A-3.0
FRONT & REAR ELEVATION	A-4.0
LEFT & RIGHT ELEVATION	A-5.0
ROOF PLAN	A-6.0
BUILDING SECTION-1&2	A-7.0
FIRST FLOOR ELECTRICAL PLAN	E-1.0
BASEMENT & SECOND FLOOR ELECTRICAL PLAN	E-2.0
FIRST FLOOR PLUMBING	P-1.0
BASEMENT & SECOND FLOOR PLUMBING PLAN	P-2.0



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2) Contractor must verify compliance with ALL Local Building Codes in the area the project is to be constructed.

3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant.

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

THE NEMI RESIDENCE
1889 CARDINAL WAY HEBRON,
KY 41048

PROJECT OWNERS:

Jonathan and Toni Nemi
1889 Cardinal Way
Hebron, Ky 41048

CONTRACTOR:

Fortress Solutions, LLC
4355 Dixie Hwy.
Elsmere, Ky 41018
859-328-6338 Office

SHEET TITLE:

COVER SHEET

DRAWN BY:

RDE

CHECKED BY:

RDE

Project Status

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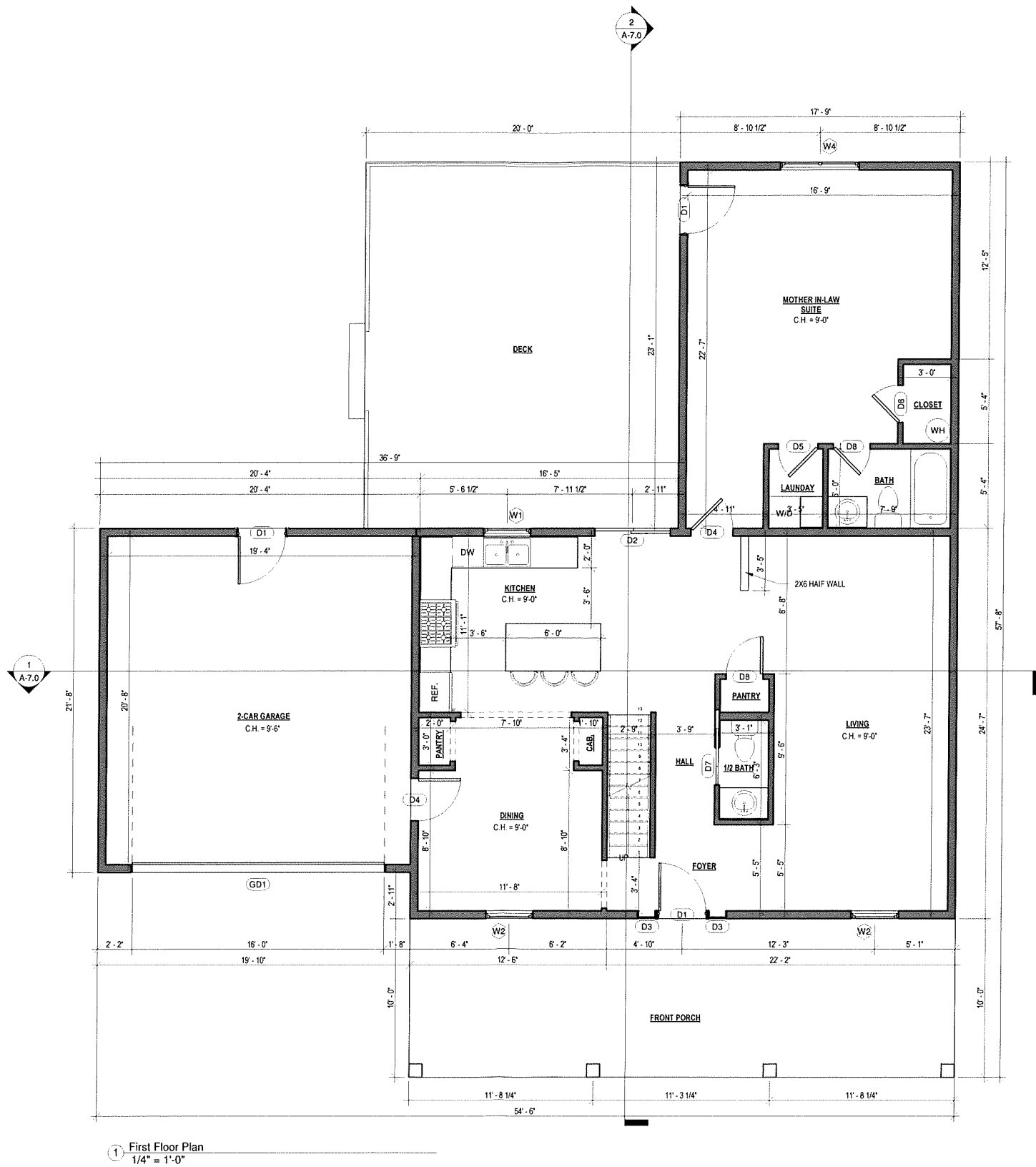
SCALE: 1/4" = 1'-0"

ARCH D 24" X 36"

SHEET NO.

A-1.0

SQUARE FOOTAGE AREA CHART	
Name	Area
1. FIRST FLOOR LIVING	1262 SF
2. 2ND FLOOR LIVING	828 SF
3. BASEMENT AREA	1262 SF
4. 2-CAR GARGAE	430 SF
5. FRONT PORCH	347 SF
6. DECK	462 SF
7. PATIO	141 SF
TOTAL AREA UNDER ROOF=	4731 SF
TOTAL HEATED AREA =	2090 SF



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REVISION SCHEDULE:		
NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:
THE NEMI RESIDENCE
1889 CARDINAL WAY HEBRON,
KY 41048

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
FIRST FLOOR PLAN

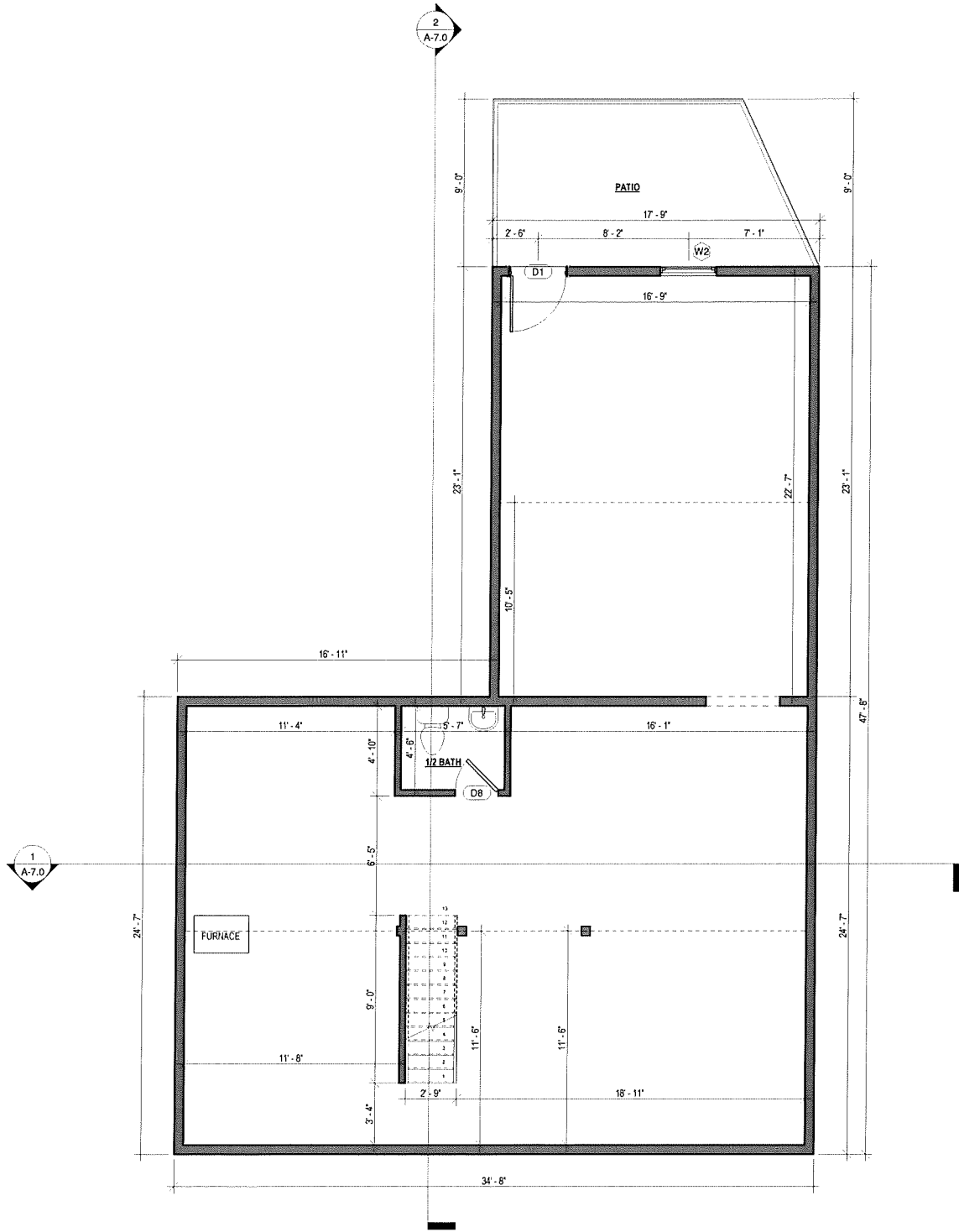
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CHECKED BY: RDE

Project Status
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SCALE: 1/4" = 1'-0"
ARCH D 24" X 36"

SHEET NO.

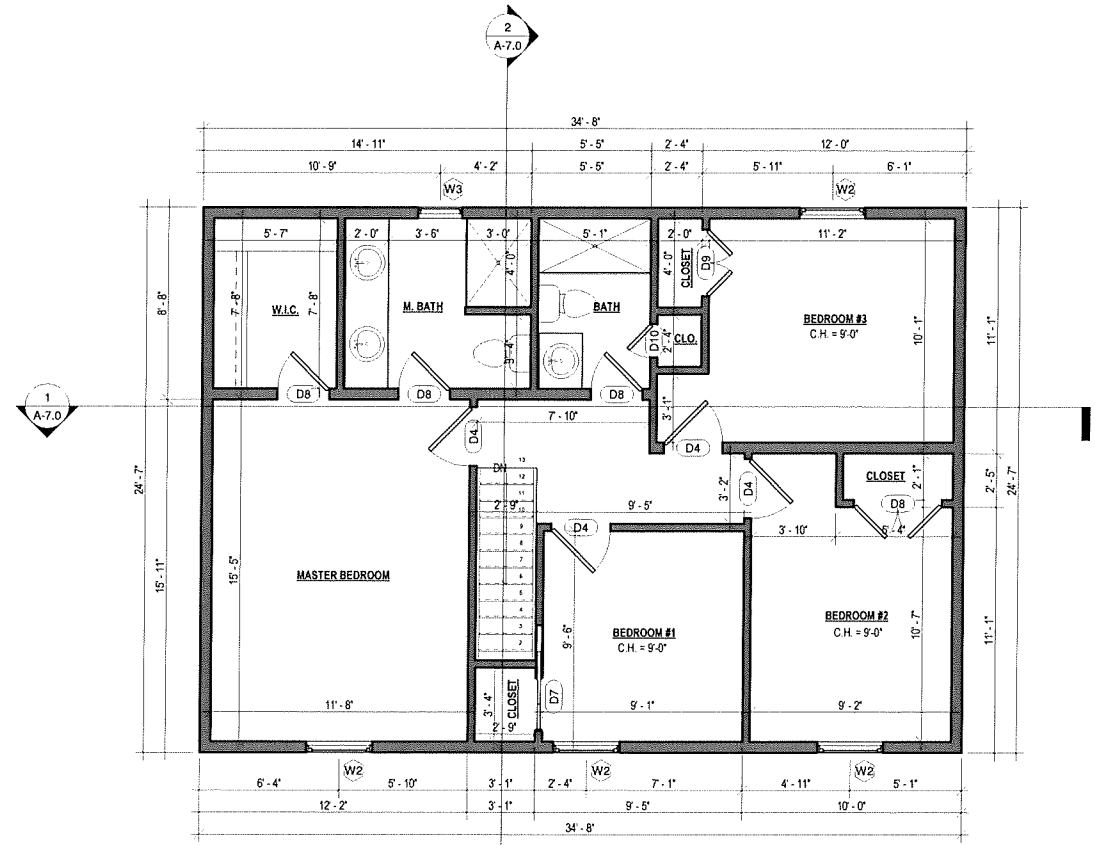
A-2.0



1 BASEMENT PLAN
1/4" = 1'-0"

DOOR SCHEDULE				
Type Mark	Width	Height	Count	Description
D1	3' - 0"	6' - 8"	4	EXTERIOR DOOR
D2	4' - 10"	7' - 0"	1	SLIDING DOOR (2 PANEL)
D3	1' - 0"	6' - 8"	2	SIDELITE
D4	2' - 8"	6' - 8"	6	INTERIOR SINGLE FLUSH
D5	2' - 6"	6' - 8"	1	INTERIOR SINGLE FLUSH
D6	2' - 4"	6' - 8"	7	INTERIOR SINGLE FLUSH
D7	2' - 4"	6' - 8"	2	POCKET DOOR
D8	4' - 0"	6' - 8"	1	CLOSET DOOR
D9	3' - 0"	6' - 8"	1	CLOSET DOOR
D10	1' - 6"	6' - 8"	1	INTERIOR SINGLE FLUSH
GD1	16' - 0"	7' - 7"	1	GARAGE DOOR

WINDOW SCHEDULE				
Type Mark	Width	Height	Count	Description
W1	3' - 0"	3' - 0"	1	DOUBLE HUNG
W2	3' - 0"	5' - 0"	7	DOUBLE HUNG
W3	2' - 0"	4' - 3 1/2"	1	FIXED GLASS
W4	5' - 0"	5' - 0"	1	DOUBLE HUNG



2 Second Floor Plan
1/4" = 1'-0"



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REVISION SCHEDULE:		
NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:
THE NEMI RESIDENCE
1889 CARDINAL WAY HEBRON,
KY 41048

PROJECT OWNERS:

CONTRACTOR:

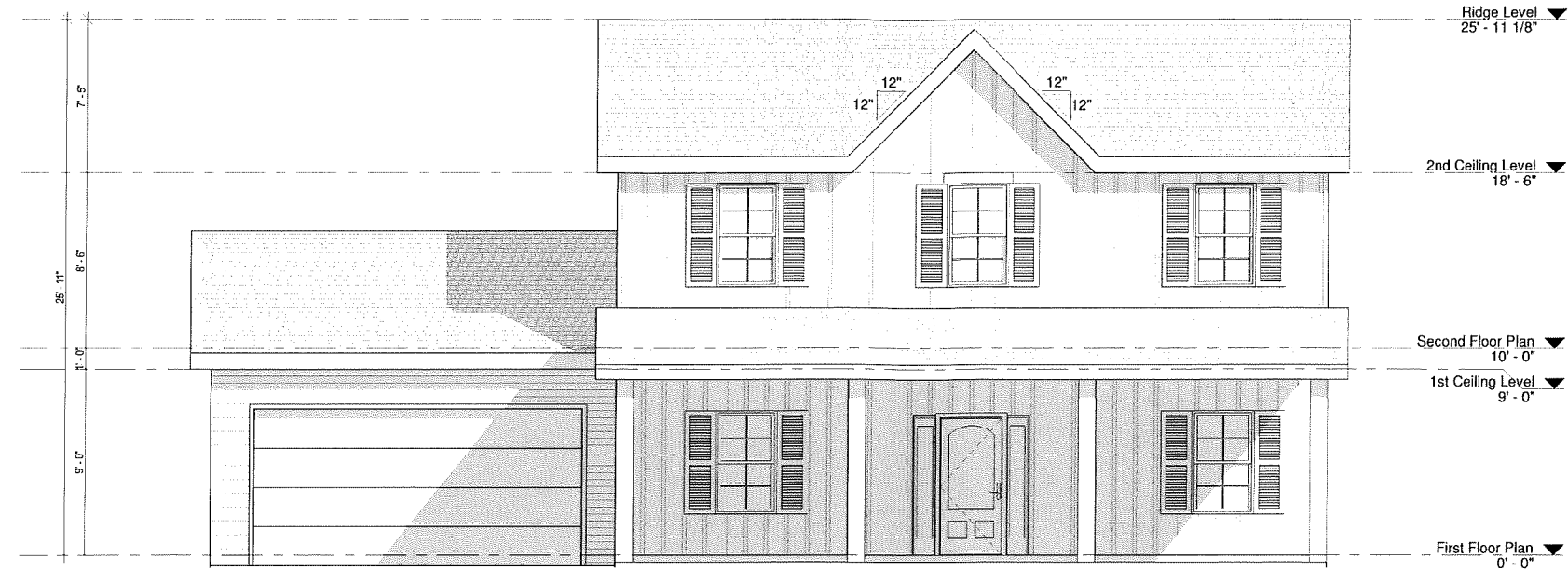
SHEET TITLE:
**BASEMENT &
SECOND FLOOR
PLAN**

DRAWN BY: RDE
CHECKED BY: RDE

Project Status
DOCUMENT ISSUED
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SCALE: 1/4" = 1'-0" ARCH D 24" X 36"

SHEET NO.



1 Front Elevation
1/4" = 1'-0"



2 Rear Elevation
1/4" = 1'-0"



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REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

THE NEMI RESIDENCE

1889 CARDINAL WAY HEBRON,
KY 41048

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
**FRONT & REAR
ELEVATION**

DRAWN BY: RDE

CHECKED BY: RDE

Project Status

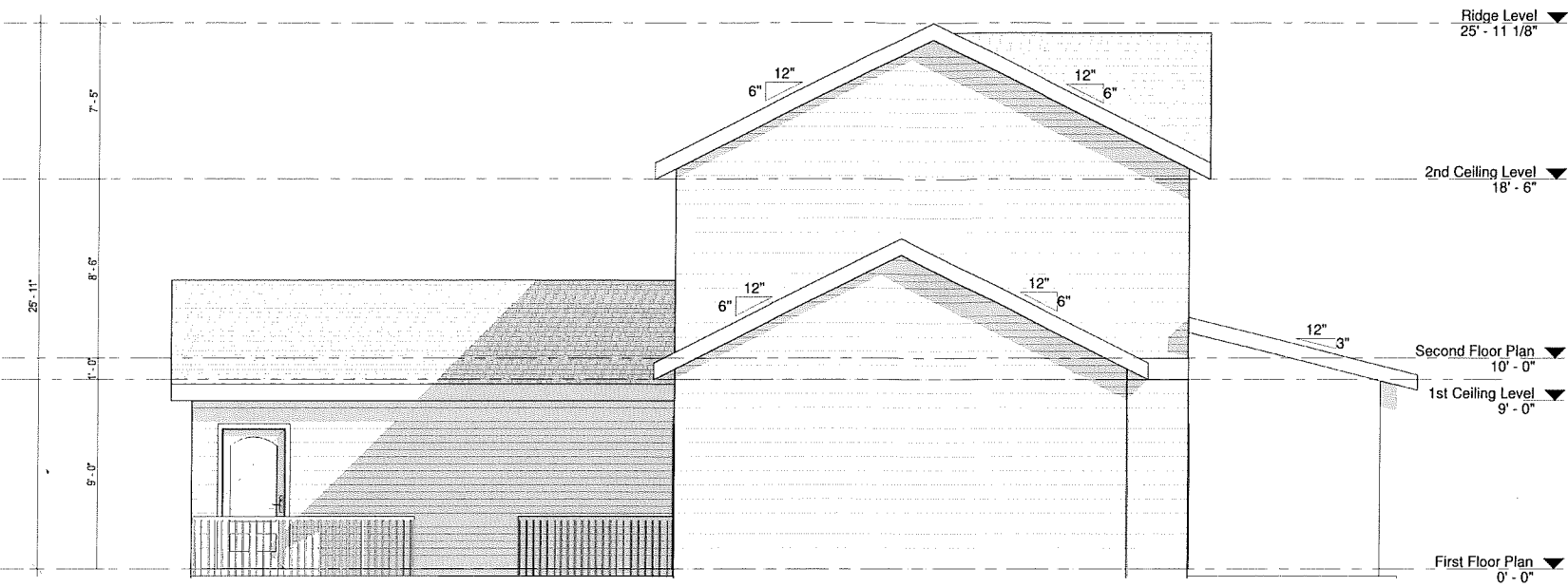
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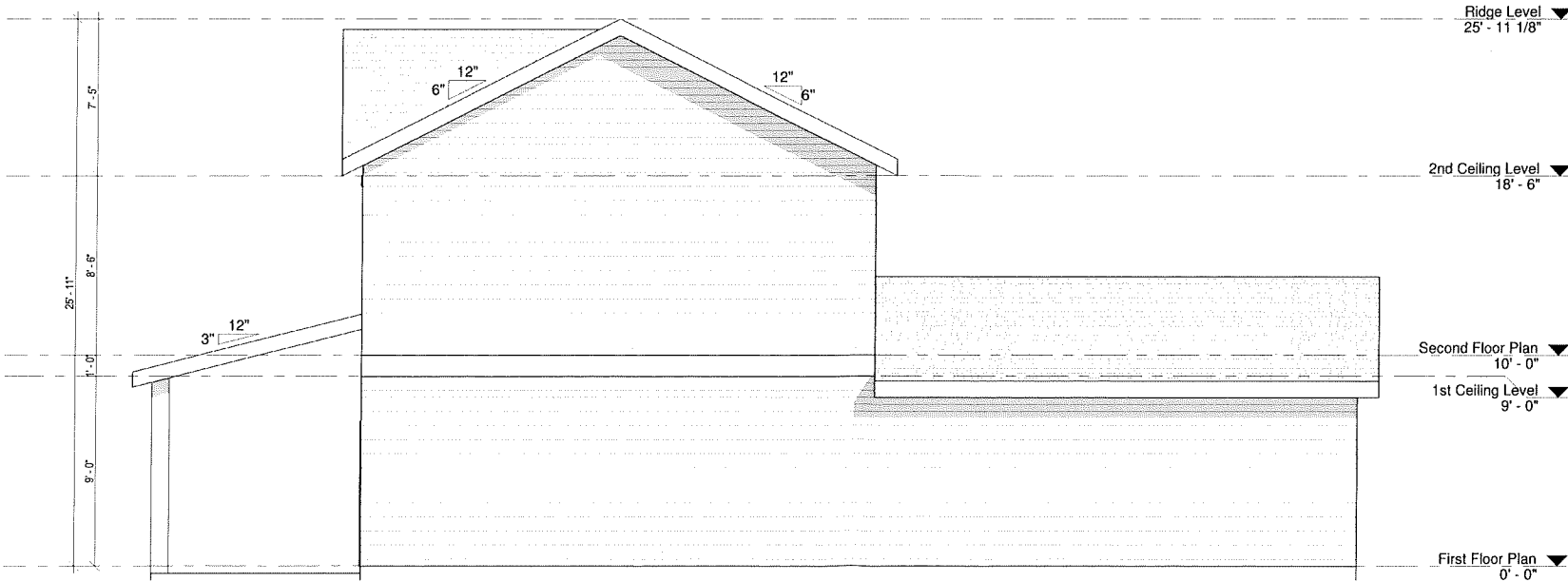
SCALE: 1/4" = 1'-0" ARCH D 24" X 36"

SHEET NO.

A-4.0



1 Left Elevation
1/4" = 1'-0"



2 Right Elevation
1/4" = 1'-0"



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REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER:

PROJECT NAME:

THE NEMI RESIDENCE

1889 CARDINAL WAY HEBRON,

KY 41048

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:

LEFT & RIGHT
ELEVATION

DRAWN BY:

RDE

CHECKED BY:

RDE

Project Status

DOCUMENT ISSUED

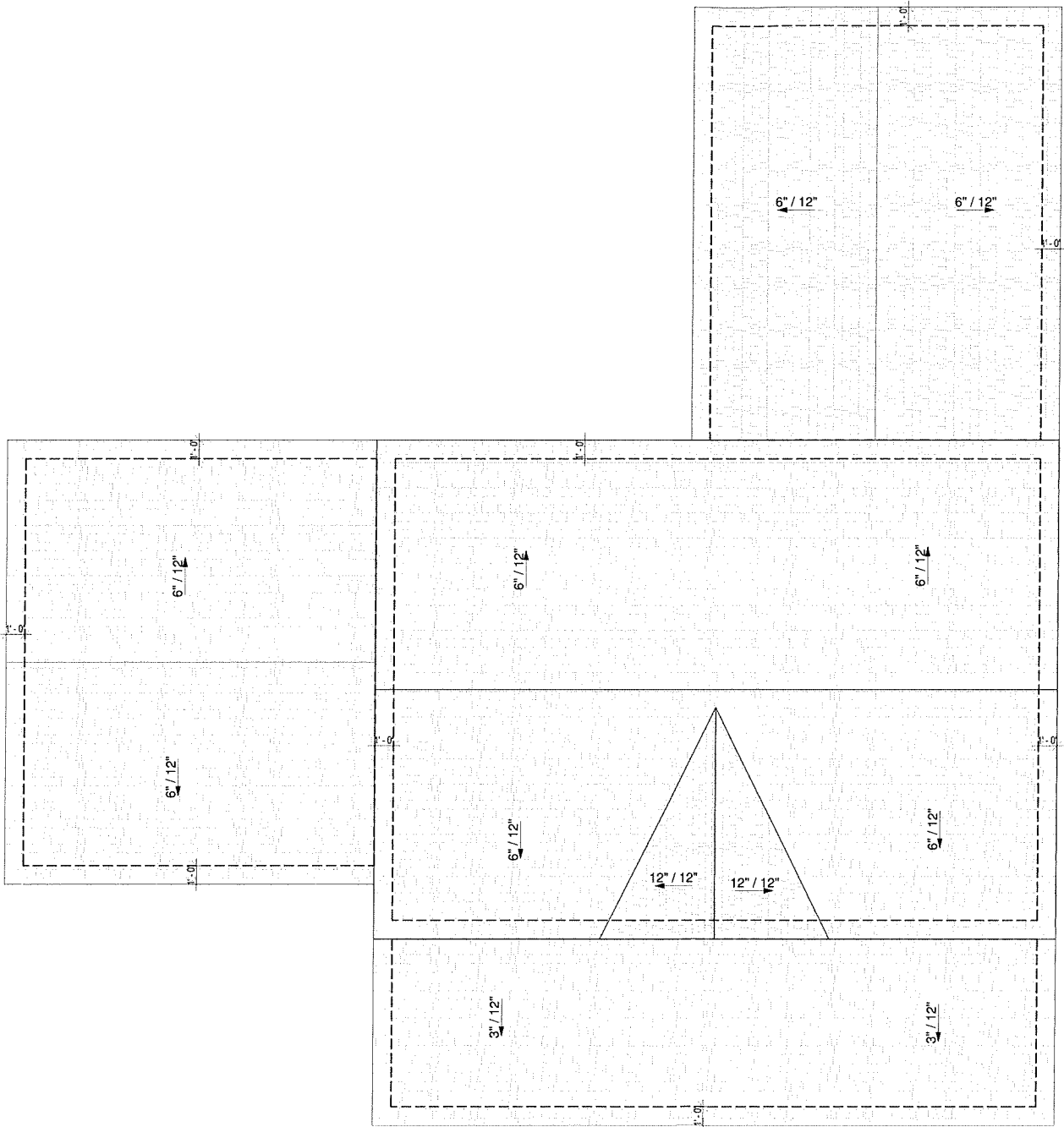
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SCALE: 1/4" = 1'-0"

ARCH D 24" X 36"

SHEET NO.

A-5.0



1 Roof Plan
1/4" = 1'-0"



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REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

THE NEMI RESIDENCE
1889 CARDINAL WAY HEBRON,
KY 41048

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:
ROOF PLAN

DRAWN BY: RDE
CHECKED BY: RDE

Project Status
DOCUMENT ISSUED
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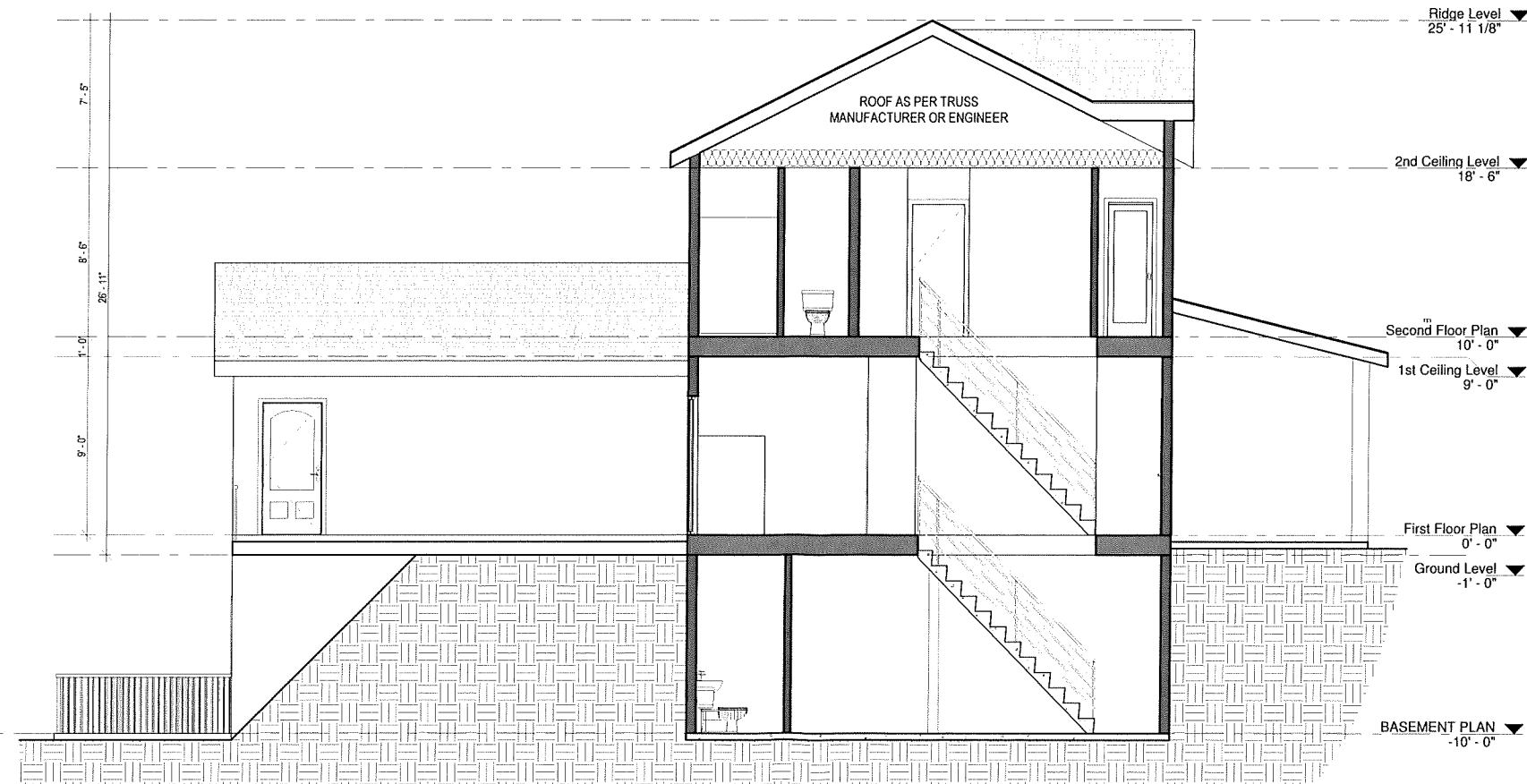
SCALE: 1/4" = 1'-0" ARCH D 24" X 36"

SHEET NO.

A-6.0



1 Building Section-1
1/4" = 1'-0"



2 Building Section-2
1/4" = 1'-0"



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REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER:

PROJECT NAME:

THE NEMI RESIDENCE

1889 CARDINAL WAY HEBRON,
KY 41048

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:

BUILDING
SECTION-1&2

DRAWN BY:

RDE

CHECKED BY:

RDE

Project Status

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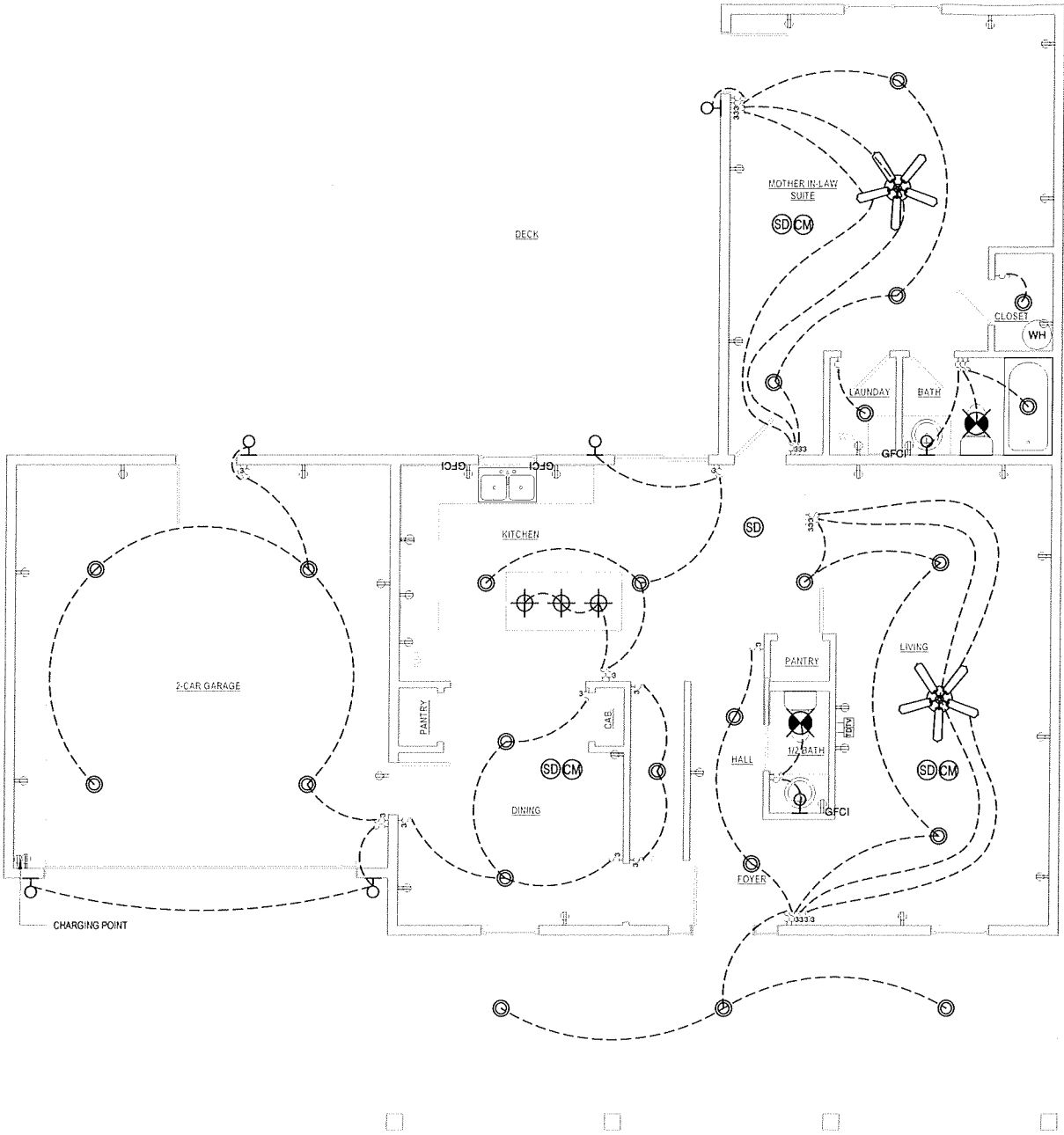
SCALE: 1/4" = 1'-0"

ARCH D 24" X 36"

SHEET NO.

A-7.0

ALL ELECTRICAL OUTLETS NOT SPECIFICALLY LOCATED BY DIMENSIONS ARE SUBJECT TO CHANGE TO MEET LOCAL ORDINANCES AND NATIONAL ELECTRICAL CODE



1 First Floor Electrical Plan
1/4" = 1'-0"

ELECTRICAL LEGEND	
	CEILING FAN WITH LIGHT
	TV CONNECTION
	DATA JACK
	TELEPHONE JACK
	GFCI PROTECTED OUTLET
	STANDARD 110V OUTLET
	STANDARD 220V OUTLET
	PROGRAMMABLE THERMOSTAT
	LIGHT SWITCH
	3-WAY LIGHT SWITCH
	CEILING MOUND RADINAT HEATER
	ELECTRICAL PANEL
	WALL MOUNTED LIGHT FIXTURE
	FLOOD LIGHT FIXTURE
	RECESSED CEILING CAN
	PENDANT LIGHT FIXTURE
	LED STRIP LIGHT
	EXHAUST FAN
	EXHAUST FAN / LIGHT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

DESIGN & ENGINEERING

GET WHAT YOU ARE LOOKING FOR

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3) Plans indicate locations only, building engineering aspect should incorporate actual site conditions shown on a Survey provided by Owners Consultant.

REVISION SCHEDULE:

NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:

THE NEMI RESIDENCE

1889 CARDINAL WAY HEBRON, KY 41048

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:

FIRST FLOOR ELECTRICAL PLAN

DRAWN BY:	CHECKED BY:
RDE	RDE

Project Status
DOCUMENT ISSUED
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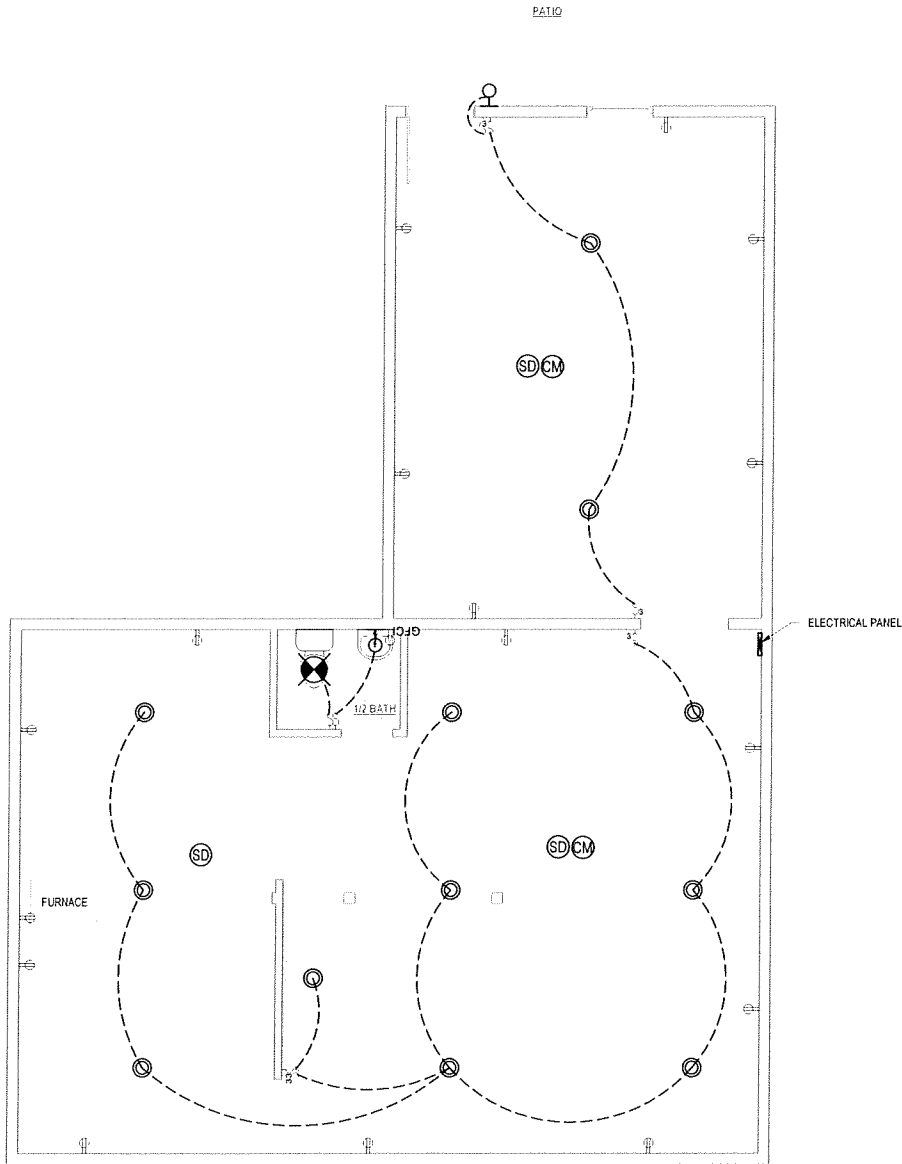
SCALE: As indicated

ARCH D 24" X 36"

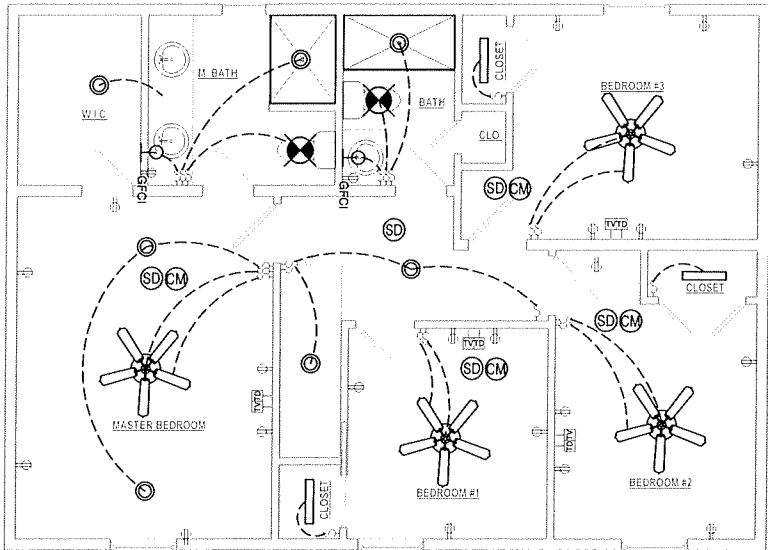
SHEET NO.

E-1.0

ALL ELECTRICAL OUTLETS NOT SPECIFICALLY LOCATED BY DIMENSIONS ARE SUBJECT TO CHANGE TO MEET LOCAL ORDINANCES AND NATIONAL ELECTRICAL CODE



1 BASEMENT ELECTRICAL PLAN
1/4" = 1'-0"



2 Second Floor Electrical Plan
1/4" = 1'-0"

ELECTRICAL LEGEND	
	CEILING FAN WITH LIGHT
	TV CONNECTION
	DATA JACK
	TELEPHONE JACK
	GFCI PROTECTED OUTLET
	STANDARD 110V OUTLET
	STANDARD 220V OUTLET
	PROGRAMMABLE THERMOSTAT
	LIGHT SWITCH
	3-WAY LIGHT SWITCH
	CEILING MOUND RADINAT HEATER
	ELECTRICAL PANEL
	WALL MOUNTED LIGHT FIXTURE
	FLOOD LIGHT FIXTURE
	RECESSED CEILING CAN
	PENDANT LIGHT FIXTURE
	LED STRIP LIGHT
	EXHAUST FAN
	EXHAUST FAN / LIGHT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR



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NO.	DESCRIPTION	DATE

PROJECT NUMBER:

PROJECT NAME:

THE NEMI RESIDENCE
1889 CARDINAL WAY HEBRON,
KY 41048

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:

BASEMENT &
SECOND FLOOR
ELECTRICAL PLAN

DRAWN BY:

RDE

CHECKED BY:

RDE

Project Status

DOCUMENT ISSUED

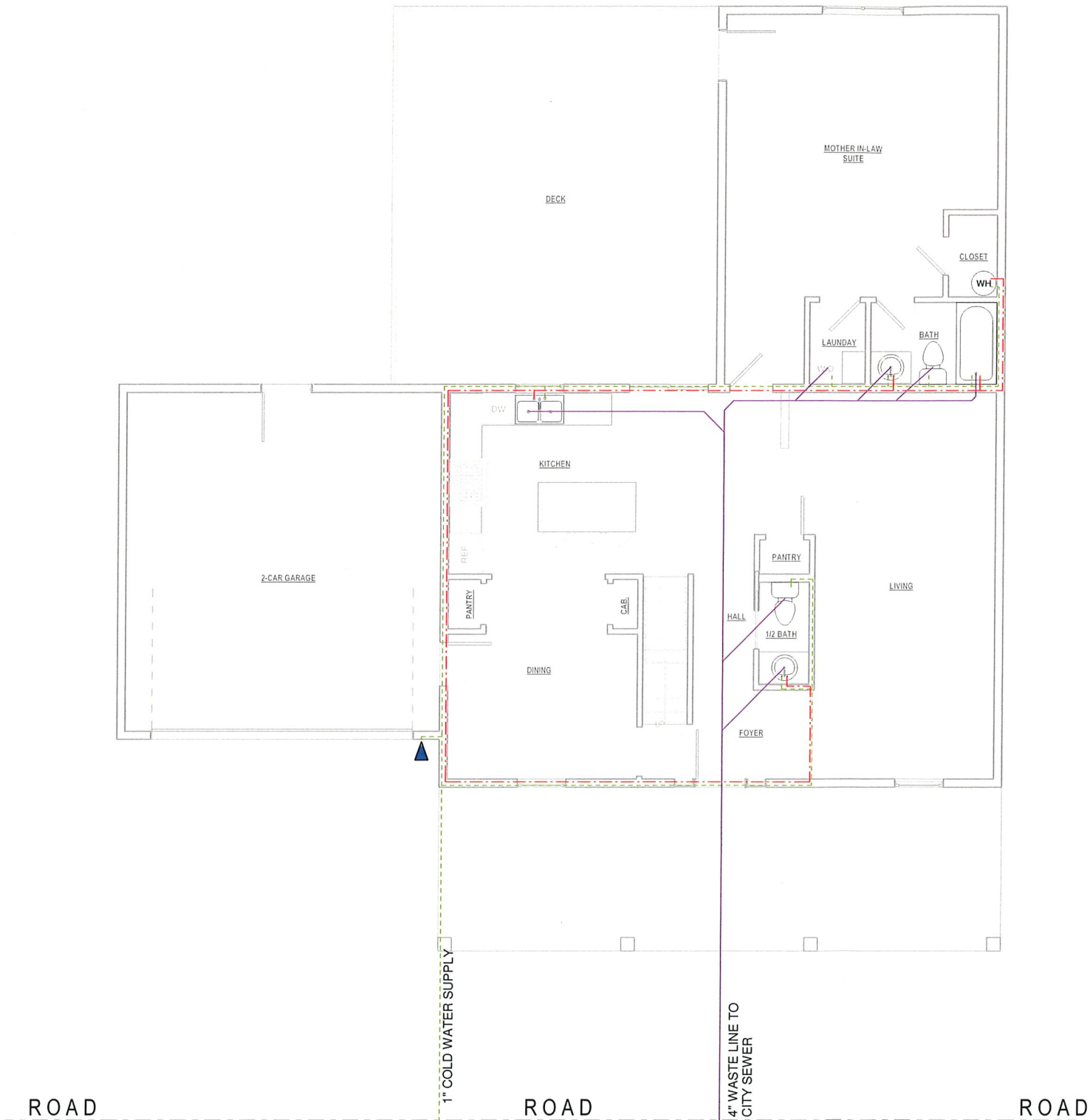
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SCALE: As indicated

ARCH D 24" X 36"

SHEET NO.

E-2.0



PLUMBING LEGEND:

1/2" COLD WATER - - - - -

1/2" HOT WATER - - - - -

4" WASTE LINE - - - - -

WATER HEATER W.H

HOSE BIB ▲

CLEAN OUT ○

- PLUMBING NOTES:**
- 1. PLUMBING SHALL MEET ALL LOCAL CODES.
 - 2. IF WATER HEATER IS LOCATED ANYWHERE, EXCEPT GARAGE OR BASEMENT, PROVIDE METAL DRAIN PAN WITH AUXILIARY DRAIN TO EXTERIOR.
 - 3. PROVIDE INSIDE MAIN WATER CUT-OFF.
 - 4. PROVIDE BLOCKING IF WALL PLATES OR JOISTS ARE CUT INTO.

① First Floor Plumbing Plan
1/4" = 1'-0"



DESIGN & ENGINEERING

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NO.	DESCRIPTION	DATE

PROJECT NUMBER: -

PROJECT NAME:
THE NEMI RESIDENCE
1889 CARDINAL WAY HEBRON,
KY 41048

PROJECT OWNERS:

CONTRACTOR:

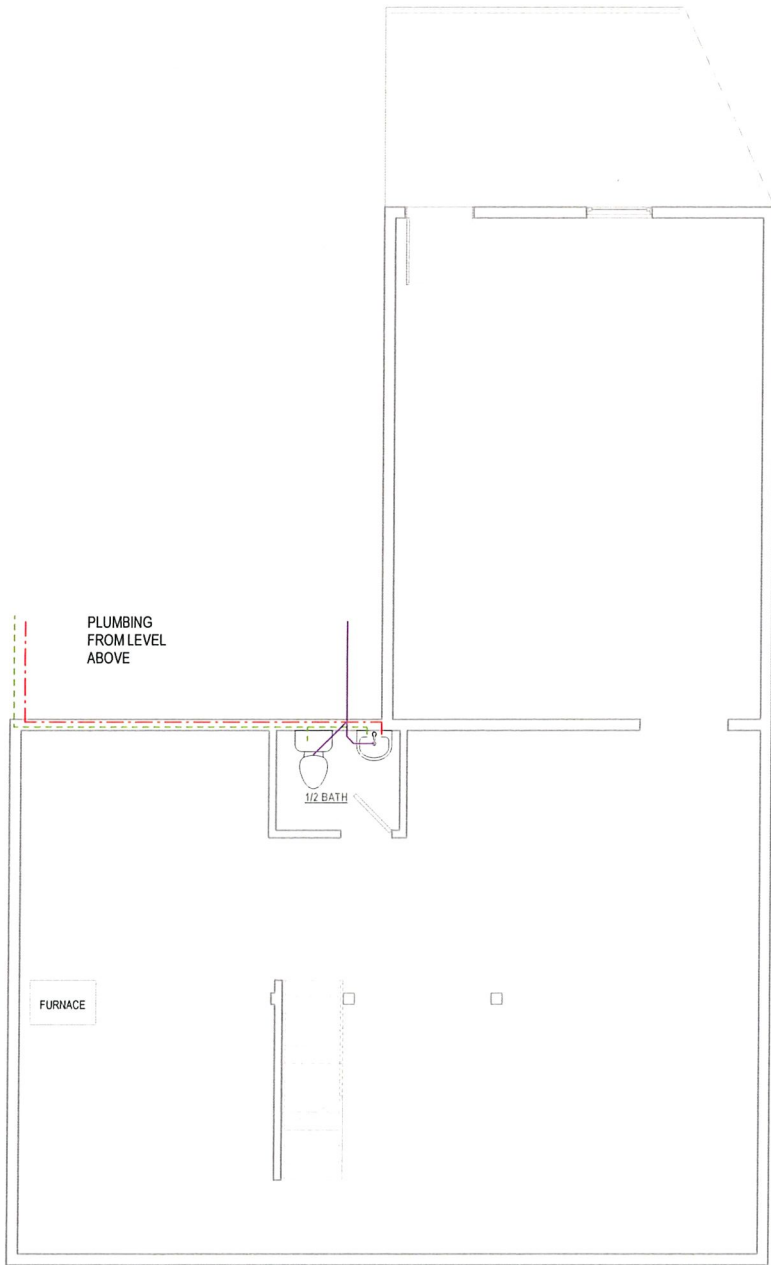
SHEET TITLE:
**FIRST FLOOR
PLUMBING**

DRAWN BY: RDE CHECKED BY: RDE

Project Status
DOCUMENT ISSUED
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SCALE: As indicated ARCH D 24" X 36"

SHEET NO.



1 BASEMENT PLUMBING PLAN
1/4" = 1'-0"

PLUMBING LEGEND:

1/2" COLD WATER

1/2" HOT WATER

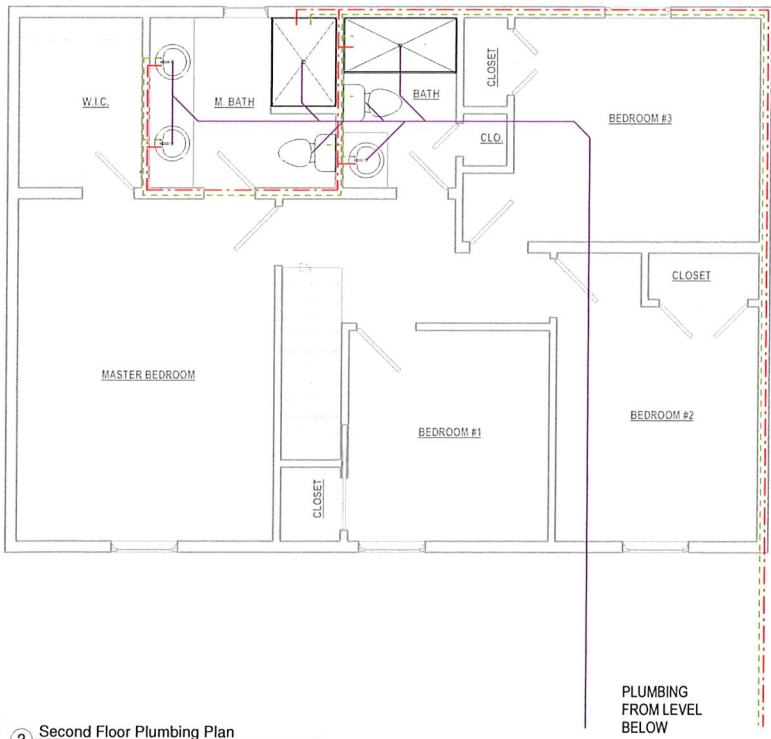
4" WASTE LINE

WATER HEATER
HOSE BIB

CLEAN OUT

W.H

- PLUMBING NOTES:
- PLUMBING SHALL MEET ALL LOCAL CODES.
 - IF WATER HEATER IS LOCATED ANYWHERE, EXCEPT GARAGE OR BASEMENT, PROVIDE METAL DRAIN PAN WITH AUXILIARY DRAIN TO EXTERIOR.
 - PROVIDE INSIDE MAIN WATER CUT-OFF.
 - PROVIDE BLOCKING IF WALL PLATES OR JOISTS ARE CUT INTO.



2 Second Floor Plumbing Plan
1/4" = 1'-0"



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THE NEMI RESIDENCE
1889 CARDINAL WAY HEBRON,
KY 41048

PROJECT OWNERS:

CONTRACTOR:

SHEET TITLE:

BASEMENT &
SECOND FLOOR
PLUMBING PLAN

DRAWN BY: RDE
CHECKED BY: RDE

Project Status

DOCUMENT ISSUED

11/30/2025 2:09:52 PM

SCALE: As indicated

ARCH D 24" X 36"

SHEET NO.

P-2.0

CERTIFICATE OF LAND USE RESTRICTION

1. NAME AND ADDRESS OF PROPERTY OWNER(S)
Jonathan & Toni Nemi
1889 Cardinal Way
Hebron, KY 41048
2. ADDRESS OF PROPERTY
1889 Cardinal Way
Hebron, KY 41048
3. NAME OF SUBDIVISION OR DEVELOPMENT (if applicable)
Nemi Deck Variance
4. DEED BOOK 1141 PAGE NO. 284 GROUP NO. 2002
5. TYPE OF RESTRICTION(S) (Check all that apply)
- ___ Zoning Map Amendment: ___ Conditional Use Permit
 From ___ To ___
- ___ Development Plan ___ Conditional Zoning
- ___ Subdivision Plat ___ Other:
 (Not Recorded)
- X Variance
6. NAME AND ADDRESS OF PLANNING COMMISSION, BOARD OF ADJUSTMENT, LEGISLATIVE BODY OR FISCAL COURT WHICH MAINTAINS THE ORIGINAL RECORDS CONTAINING THE RESTRICTION

BOONE COUNTY PLANNING COMMISSION
2950 WASHINGTON STREET, ROOM 317
P.O. BOX 958
BURLINGTON, KENTUCKY 41005



SIGNATURE OF COMPLETING OFFICIAL

Lauren M. Elliott, Planner

Name and Title of Completing Official

COMMONWEALTH OF KENTUCKY

COUNTY OF BOONE

Subscribed, sworn to, and acknowledged before me by Lauren M. Elliott on behalf of the Boone
County Planning Commission this 16th day of September, 2026.

Sara L. Smith
Notary ID KYNP52540
NOTARY PUBLIC, State at Large

My commission Expires:
May 27, 2030

This instrument was prepared for recording purposes only by:

Makayla Kerns
Boone County Planning Commission
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005

NO TITLE EXAMINATION

(Legal Description and source of Title and Group Number furnished by the applicant)

CONDITIONS OF APPROVAL

The following Conditions of Approval apply to the Variance approved by the Boone County Board of Adjustment and in accordance with the current zoning in effect as of September 9th, 2026, Certificate of Land Use Restriction (#26-BCBOA-029-A), for Jonathan Nemi & Toni Nemi, Property Owner(s).

The following conditions will apply:

The approved Conditional Use Permit as well as the preceding conditions apply to the property described in:

DEED BOOK 1200

PAGE NO. 936

GROUP NO. 2051