

APPLICATION FORM

BOARD OF ADJUSTMENT AND ZONING APPEALS ACTION BOONE COUNTY PLANNING COMMISSION

FIVE (5) SCALED COPIES AND ONE (1) 11X17 REDUCTION OF SUBMITTED DRAWINGS ARE REQUIRED

See Boone County Zoning Regulations

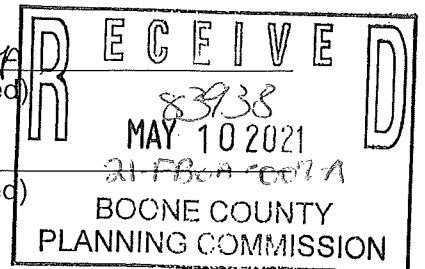
SECTION A (To be completed by applicant)

- 1. (Check One) Boone [checked] Florence _____ Walton _____ Union _____
2. (Check One) _____ Conditional Use Permit _____ [checked] Variance _____ Appeal _____
Change in Non-Conforming Use _____
3. Applicant's Name Patty Jump
Applicant's Address 9112 Brantley Way
Florence Ky 41042
City State Zip
Phone Number 859-609-6785 Fax No. _____ E-Mail pjump55@gmail.com
4. Description of Request: to allow me to extend a sunroom 2ft further than my current deck
5. Name of Development Better Living Clarke
6. Location of Development 9112 Brantley Way Florence, Ky - backyard
7. Acreage Under Review _____
8. Lot Number and Name of Subdivision (if part of a subdivision)
Plantation Pointe - Savannah Lakes
9. Owner of Property Patty Jump
Address of Property Owner 9112 Brantley Way
10. Florence Ky 41042
City State Zip
Phone Number 859-609-6785 Fax No. _____ E-Mail pjump55@gmail.com
11. Proposed Use(s) on Site Sunroom - currently deck
12. Total Square Footage of Existing and/or Proposed Buildings 18x14?
13. Current Zoning on Property RPD/CD
14. Deed Book RPD/CD Page No. 561 Group No. 2047
15. Is the site subject to a zone change?
If yes, give date of approval
16. Have you submitted a Site Plan with this request? Better Living did
17. Have you submitted a list of adjoining property owners with this request?
18. I, or we, understand and agree that this application and drawing(s) are being filed in accordance with the Boone County Zoning Regulations.

ORIGINAL Property Owner's Signature: Patty Jump
(Faxed, Photocopied or Scanned Signatures will NOT be Accepted)

ORIGINAL Applicant's Signature: Patty Jump
(Faxed, Photocopied or Scanned Signatures will NOT be Accepted)

(over)



344

**BOARD OF ADJUSTMENT AND
ZONING APPEALS ACTION
APPLICATION
PAGE 2**

SECTION B (To be completed by the Boone County Planning Commission Staff)

1. Date Received 5-10-21 Fee Received \$666.00 Receipt # 83938
2. Is application complete? 5 Yes _____ No _____
3. Staff Reviewer _____
4. Scheduled Board Action Date 7/21/21
5. Board Action:
 Approved
 Approved with Conditions (See #6)
 Denial (See #7)
6. Conditions of Approval: None
7. Reasons for Denial: _____

**Boone County Planning Commission
Boone County Administration Building
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005
(859) 334-2196 - Phone
(859) 334-2264 - Fax
plancom@boonecountyky.org - E-mail
www.boonecountyky.org - Web Page**

NOTE: See Boone County Planning Commission Fee Schedule for Board of Adjustment Fees.

Site Plan Review is not granted by the appropriate Board of Adjustment.

An application consists of all fees paid in full, submitted drawings and a completed application form.

STAFF REPORT

#2

APPLICANT: Patty Jump

LOCATION: 9112 Brantley Way, Florence, Kentucky

ZONING: Residential Planned Development (RPD)

DATE: July 21, 2021

PROPOSAL

The applicant is requesting a variance so a sunroom can be attached to the back of her house. The submitted plans show the existing deck would be modified to 14' x 18.5' and the sunroom would be placed on top of the deck. The request is to reduce the 25 feet rear yard building setback to 22 feet.

PERTINENT SITE HISTORY

In 1996, a Zoning Map Amendment was approved for a 321 acre site located on both sides of US 42. The site was rezoned from Suburban Residential One (SR-1) to Residential Planned Development (RPD), Commercial Two/Planned Development (O-2/PD), and Office One/Planned Development (O-1/PD) to allow a mixed use residential/commercial development. The subject property was part of a detached single-family residential pod (area 7) that was 45 acres in area.

In 2002, a Zoning Permit was issued to allow the construction of the subject house. The plot plan shows the house would be located 30' from the front property line and 33' from the rear property line. The deck was not shown on the plot plan.

APPLICABLE REGULATIONS

Section 220 of the Boone County Zoning Regulations states that one duty of the Board of Adjustment is to hear and decide variance applications.

Section 250 of the Boone County Zoning Regulations defines a variance as a departure from dimensional terms of the zoning regulation pertaining to the height, width, or location of structures, and the size of yards and open spaces where such departure meets the requirements of KRS 100.241 to 100.247.

The Board should evaluate the request as it relates to the criteria necessary for granting a Variance as stated in Section 251 of the Boone County Zoning Regulations.

1. Before any variance is granted, the Board must find that the granting of the variance will not adversely affect the public health, safety or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations. In making these findings, the board shall consider whether:

- a. The requested variance arises from special circumstances which do not generally apply to land in the general vicinity, or in the same zone;
 - b. The strict application of the provisions of the regulations would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant;
 - c. The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.
2. The Board shall deny any request for a variance arising from circumstances that are the result of willful violations of the zoning regulation by the applicant subsequent to the adoption of the zoning regulation from which relief is sought.

SITE CHARACTERISTICS

The approximate 0.27 acre property is located along the northeast side of the Brantley Way/Savannah Lakes Drive intersection. The property contains a brick ranch style home, with a basement and attached rear deck. Access to the house is provided by a driveway which connect to Savannah Lakes Drive. Sidewalks exist along both road frontages. The rear yard is fenced and well landscaped. Boone County G.I.S. shows the topography of the parcel falls from 886 feet above sea level at the front property line to 878 feet above sea level at the rear property line.

SURROUNDING LAND USES AND ZONING

North: Single-family residential dwelling fronting on Brantley Way (RPD)

South: Single-family residential dwellings fronting on Savannah Lakes Drive (RPD)

East: Single-family residential dwelling fronting on Savannah Lakes Drive (RPD)

West: Single-family residential dwellings fronting on Brantley Way (RPD)

STAFF COMMENTS

1. Staff would like the applicant to address the size of the next smaller sunroom she could buy from the contractor.
2. The Board needs to analyze the variance criteria before acting on the request. Staff recommends the Board should analyze if the request would alter the essential character of the general vicinity or if the strict application of the regulations would create an unnecessary hardship on the property owner.

Staff does not believe the 2' setback difference will alter the essential character of the area. The rear yard is well landscaping and the sunroom addition will be aesthetically pleasing.

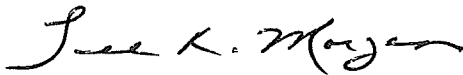
Patty Jump
9112 Brantley Way
July 21, 2021

Page 3

CONCLUSION

- A. KRS 100.241 and Section 220 of the Boone County Zoning Regulations give the Florence Board of Adjustment and Zoning Appeals the authority to act on the request.
- B. Section 251 of the Boone County Zoning Regulations identifies criteria necessary for granting a Variance.

Respectfully submitted,



Todd K. Morgan
Senior Planner, Zoning Services

TKM/ss

Attachments

- *Site Vicinity Map
- *Proposal (Plot Plan)
- *Layout Plan and Wall Sections
- *Picture of a Similar Sunroom
- *Zoning Map
- *Topographical Map
- *2020 Aerial Map
- *8/8/02 Zoning Permit
- *Application

SITE VICINITY MAP

www.boonecountygis.com



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0 150 300 600 900 1,200 Feet

1 inch = 300 feet



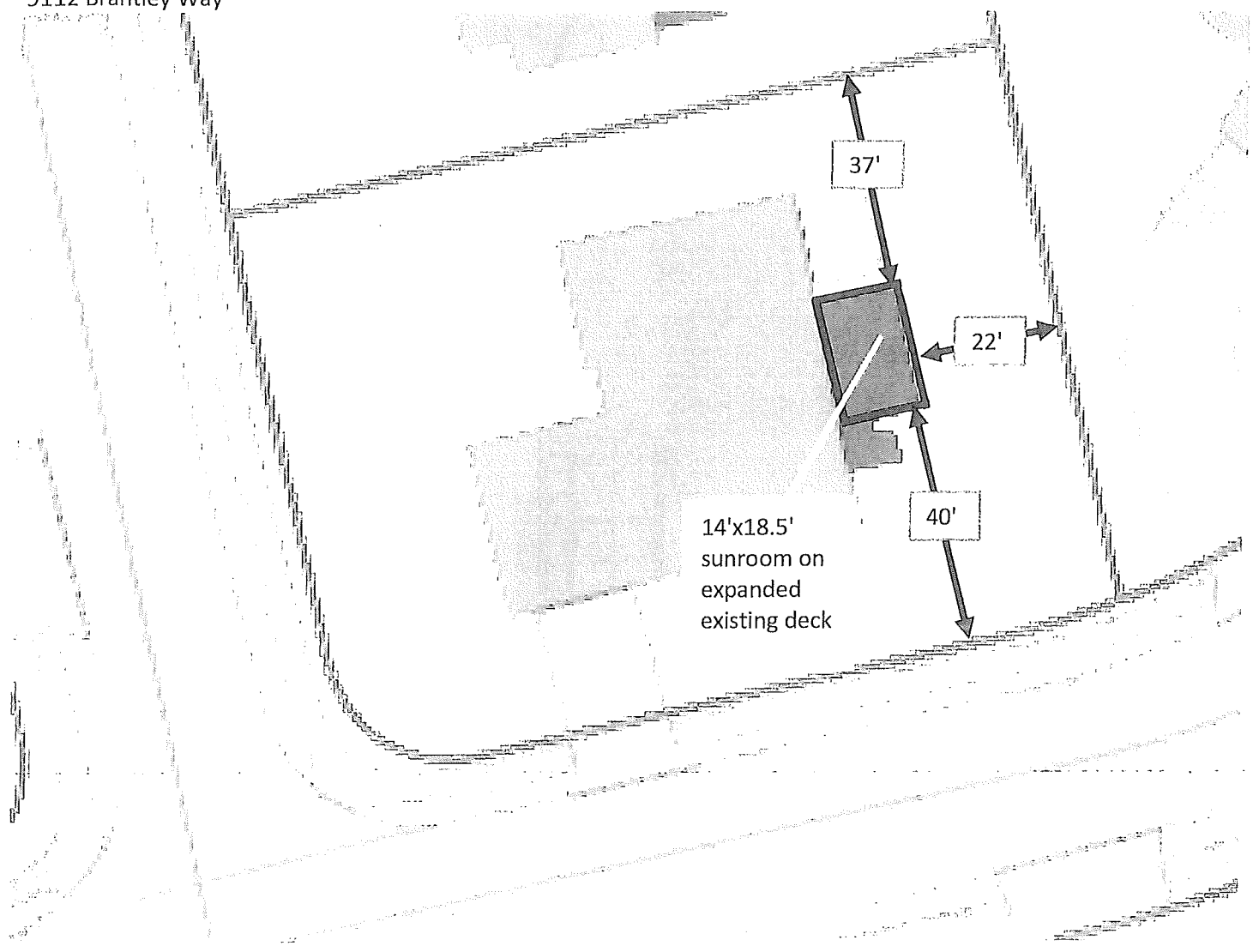
Boone County GIS - Putting Northern Kentucky on the Map



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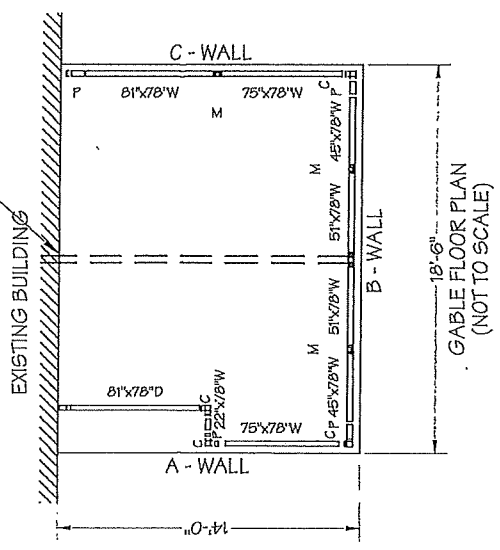
ArcMap Document: *.mxd

Jump Sunroom
Site Plan
9112 Brantley Way

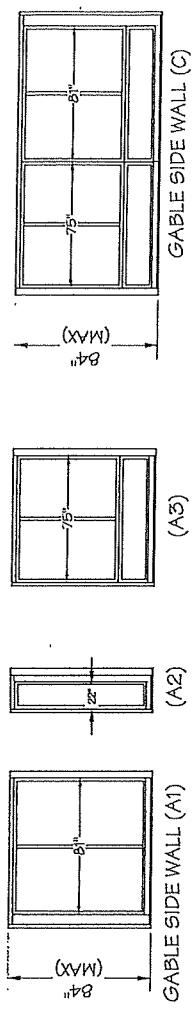


LAYOUT PLANS

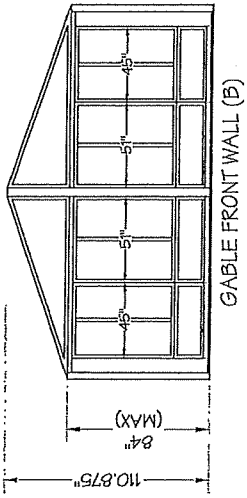
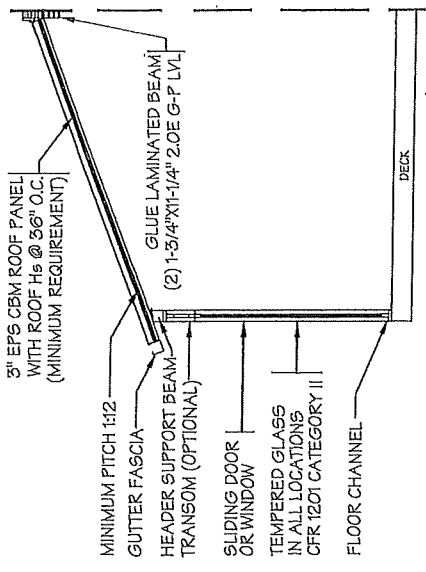
TIE-IN TO EXISTING HOUSE BY CONTRACTOR.
 FULL SUPPORT REQ'D CONTINUOUS TO FOUNDATION.
 EXISTING STRUCTURE MUST SAFELY SUPPORT (OR BE
 UPGRADED TO SUPPORT) NEW SUPERIMPOSED LOADS OF:
 2500 LBS - GRAVITY LOAD & 1800 LBS - UP LIFT LOAD
 1000 LBS - LATERAL LOAD (BY OTHERS)
 END BEARING PER MANUF. (MIN. 4") (BY OTHERS)



WALL SECTIONS



ASSEMBLY DETAILS



PROJECT: JUMP
 4475 MULHAUSER ROAD
 WEST CHESTER, OH 45011

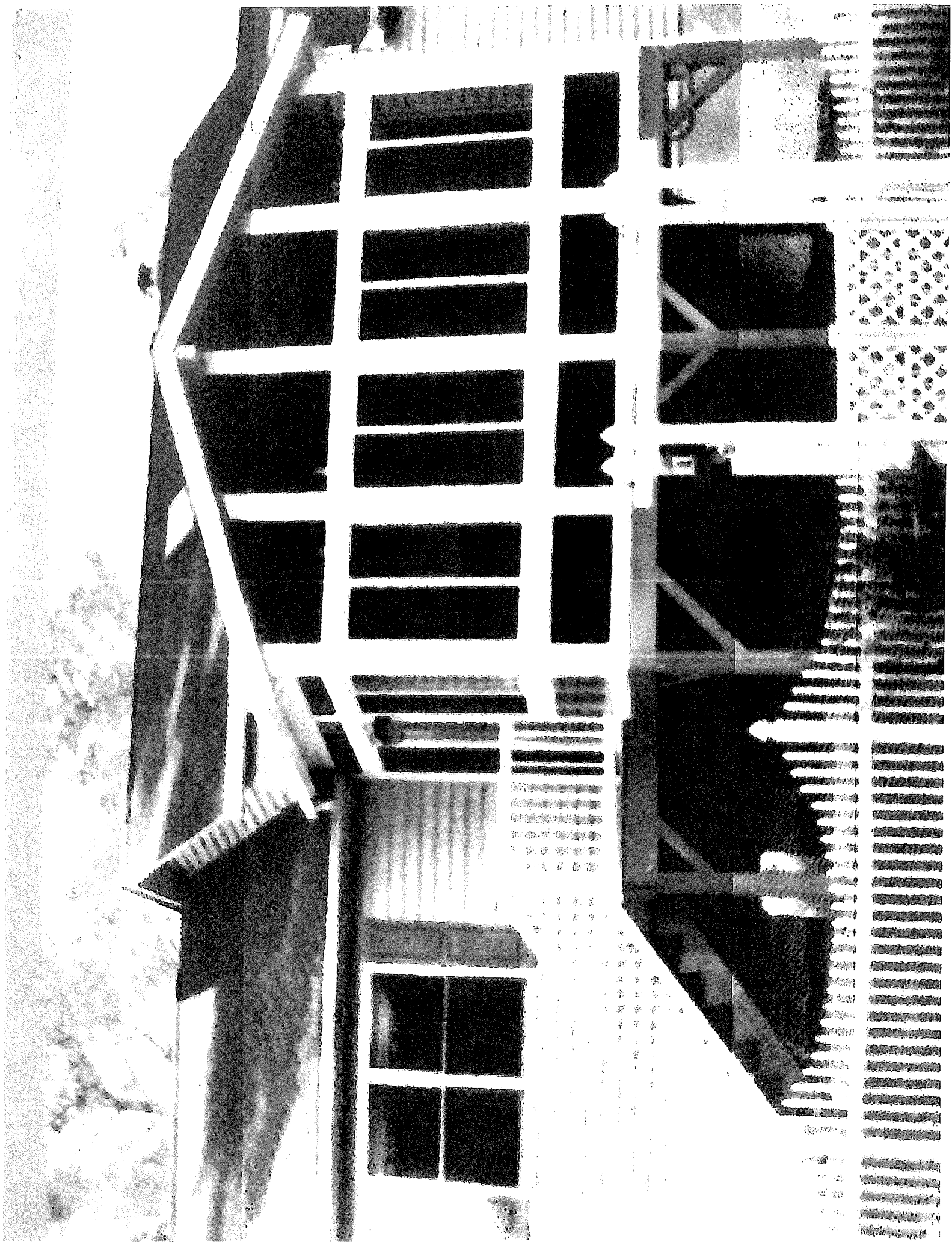
CONTRACTOR:
 CLARKE CONTRACTORS
 4475 MULHAUSER ROAD
 WEST CHESTER, OH 45011

DWG NO.: SHEET 2 OF 4
 Jump-69h-Encl-14 X 18'-a
 REF: R2 DATE: 4/19/21

CRAIG J. JOSS
 20844
 PROFESSIONAL ENGINEER
 LICENSE NO. 10000
 STATE OF KENTUCKY
 EXP. 12/31/2024
 SCALE: 1" = 75'

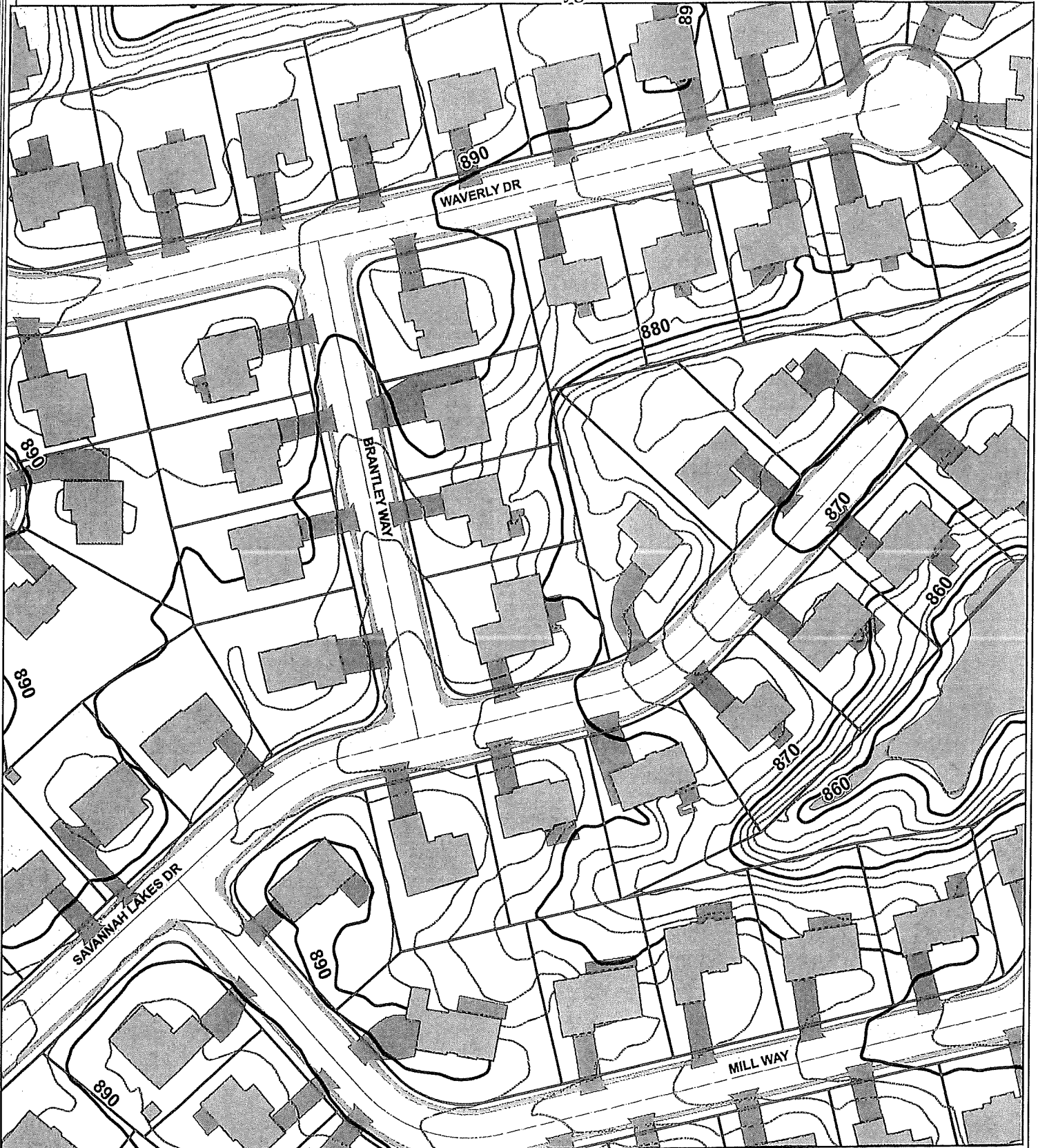
FOR NOTES SEE SHEET 1 - PROJECT NOTES

ALUMINIUM
 GABLE ENCLOSURE
 GENERAL LAYOUT



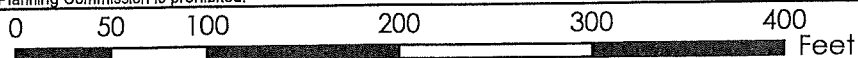
TOPOGRAPHICAL MAP

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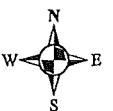
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1 inch = 100 feet



Boone County GIS - Putting Northern Kentucky on the Map



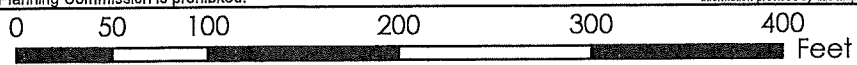
2020 AERIAL MAP

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1 inch = 100 feet



Boone County GIS - Putting Northern Kentucky on the Map

Map Created: xx/xx/2020

ArchMap Document: *.mxd

PENDING ADDRESS OR LOCATION: Lot 11 Savannah Lakes Subdivision

JE
 certify that what is submitted is true and accurate and I or we understand and agree that all construction work will be performed in accordance with this Zoning Permit Application, the Boone County Zoning Regulations and the Boone County Subdivision Regulations.

NAME AND ADDRESS OF APPLICANT (PLEASE PRINT): JEFF TEIPE
15559 Violet Rd Cottenden Ky 41030

APPLICANT'S SIGNATURE: [Signature]
 As Authorized by Property Owner

DATE: 8/7/02 Phone Number: 653-5467

READ This Portion of the Application to be Completed
 the Boone County Planning Commission

Zoning District	Date <u>8/8/02</u>	Fee	<u>40.00</u>	\$35.00
Approved <input checked="" type="checkbox"/>	Denied <input type="checkbox"/>	<u>10</u>	\$15.00	None
Staff Reviewer: <u>Buddy Cordell</u>	Address/Location: <u>9112 BRANTLEY WAY</u>			
Subdivision: <u>PLANTATION POINTE - SAVANNAH LAKES</u>				
Lot # <u>11</u>	Section # <u>2</u>	Block/Phase # _____		

Type of Improvement	
<input checked="" type="checkbox"/> Single Family Residence	Detached Garage
<input type="checkbox"/> Duplex	Garage Addition
<input type="checkbox"/> Three Family	Porch or Deck
<input type="checkbox"/> Apartment (# units _____)	Barn or Shed
<input type="checkbox"/> Townhouse (# units _____)	Swimming Pool
<input type="checkbox"/> Mobile Home	Tenant Finish
<input type="checkbox"/> Residential Addition	Other: _____
Jurisdiction	
<input type="checkbox"/> Boone County	<input checked="" type="checkbox"/> Florence
<input type="checkbox"/> Walton	<input type="checkbox"/> Union
Post Office	
<input type="checkbox"/> Burlington	<input checked="" type="checkbox"/> Florence
<input type="checkbox"/> Walton	<input type="checkbox"/> Union
<input type="checkbox"/> Hebron	<input type="checkbox"/> Verona
<input type="checkbox"/> Petersburg	<input type="checkbox"/> Erlanger
<input type="checkbox"/> Crittenden	
Group # <u>2047</u>	Census Tract # <u>703.97</u>

R#32350

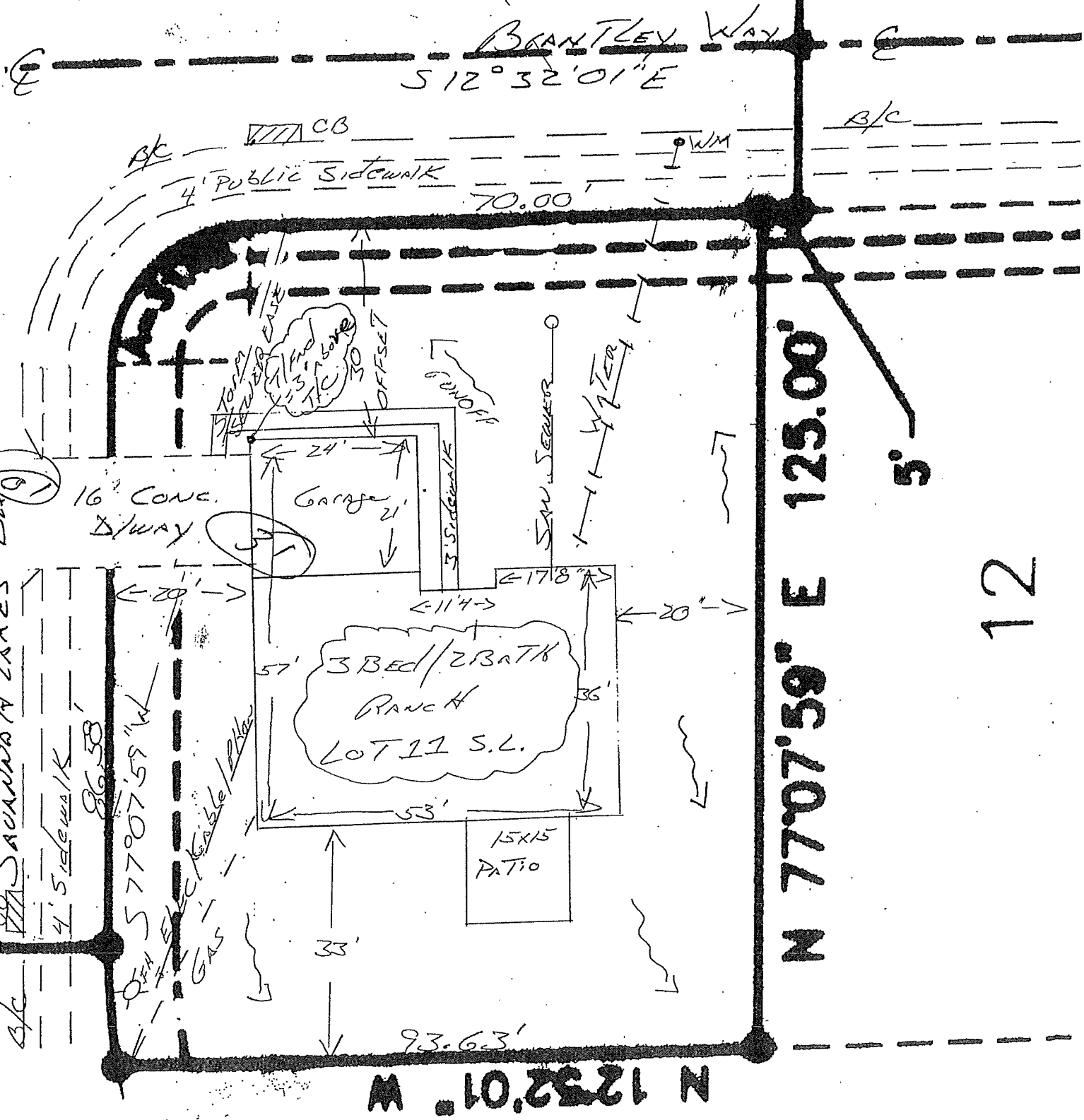
RECEIVED
 AUG - 8 2002
 BOONE COUNTY PLANNING COMMISSION

STRUCTURES CUSTOM BUILDERS
LOT 21 SAVANNAH LAKES

Builder and preparer
OF PLOT PLAN.

SCALE: 1"=20'

8/7/02



12

SAVANNAH LAKES DR
4' 5' sidewalk
86.58'
57707.59' W
GAS
ELECTRICAL
CABLE

N 7707.59" E 125.00'

N 1252.01" W 93.63'

16" CONC. DRIVEWAY

Garage 21'

3 BED / 2 BATH
RANCH
LOT 21 S.L.

15x15
PATIO

4' PUBLIC SIDEWALK
70.00'

BRANTLEY WAY
S 12° 32' 01" E

5'

APPLICATION FORM

BOARD OF ADJUSTMENT
AND
ZONING APPEALS ACTION
BOONE COUNTY PLANNING COMMISSION

FIVE (5) SCALED COPIES AND ONE (1) 11X17 REDUCTION OF SUBMITTED DRAWINGS ARE REQUIRED

See Boone County Zoning Regulations

SECTION A (To be completed by applicant)

(Check One)

1. Boone Florence Walton Union

(Check One)

2. Conditional Use Permit Variance Appeal
 Change in Non-Conforming Use

3. Applicant's Name Patty Jump

Applicant's Address 9112 Brantley Way

Florence Ky 41042

City State Zip

Phone Number 859-609-6785 Fax No. _____ E-Mail pjump55@gmail.com

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5. Name of Development Better Living Clarke

6. Location of Development 9112 Brantley Way Florence, Ky - backyard

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Address of Property Owner 9112 Brantley Way

10. Florence Ky 41042

City State Zip

Phone Number 859-609-6785 Fax No. _____ E-Mail pjump55@gmail.com

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12. Total Square Footage of Existing and/or Proposed Buildings 18x14⁵ ?

13. Current Zoning on Property RPD/CD

14. Deed Book RPD/CD Page No. 561 Group No. 2047

15. Is the site subject to a zone change? _____

If yes, give date of approval _____

16. Have you submitted a Site Plan with this request? Better Living did

17. Have you submitted a list of adjoining property owners with this request? _____

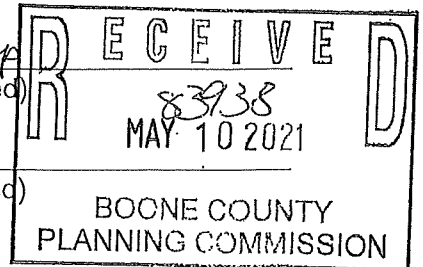
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ORIGINAL Property Owner's Signature: Patty Jump

(Faxed, Photocopied or Scanned Signatures will NOT be Accepted)

ORIGINAL Applicant's Signature: Patty Jump

(Faxed, Photocopied or Scanned Signatures will NOT be Accepted)



144

CERTIFICATE OF LAND USE RESTRICTION

1. NAME AND ADDRESS OF PROPERTY OWNER(S)
Patty Jump
9112 Brantley Way
Florence, KY 41042
2. ADDRESS OF PROPERTY
9112 Brantley Way
Florence, KY 41042
3. NAME OF SUBDIVISION OR DEVELOPMENT (if applicable)
Plantation Pointe – Savannah Lakes
4. DEED BOOK 844 PAGE NO. 561 GROUP NO. 2047
5. TYPE OF RESTRICTION(S) (Check all that apply)
- Zoning Map Amendment: From Conditional Use Permit
From To
- Development Plan Conditional Zoning
- Subdivision Plat (Not Recorded) Other:
- Variance
6. NAME AND ADDRESS OF PLANNING COMMISSION, BOARD OF ADJUSTMENT, LEGISLATIVE BODY OR FISCAL COURT WHICH MAINTAINS THE ORIGINAL RECORDS CONTAINING THE RESTRICTION

BOONE COUNTY PLANNING COMMISSION
2950 WASHINGTON STREET, ROOM 317
P.O. BOX 958
BURLINGTON, KENTUCKY 41005



SIGNATURE OF COMPLETING OFFICIAL

Todd K. Morgan, AICP, Senior Planner
Name and Title of Completing Official

COMMONWEALTH OF KENTUCKY

COUNTY OF BOONE

Subscribed, sworn to, and acknowledged before me by Todd K. Morgan

on behalf of the Boone County Planning Commission this 26th day of July, 2021.

Treva L. Beagle
Notary ID 588897
NOTARY PUBLIC, State at Large

My commission Expires:
November 12, 2021

This instrument was prepared for recording purposes only by:

Nicole Dierna
Nicole Dierna
Boone County Planning Commission
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005

NO TITLE EXAMINATION

(Legal Description and source of Title and Group Number furnished by the applicant.)

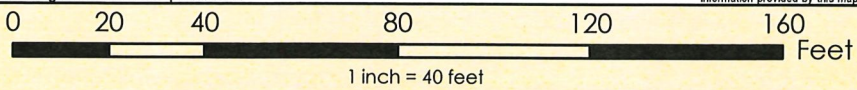
Boone County GIS Map

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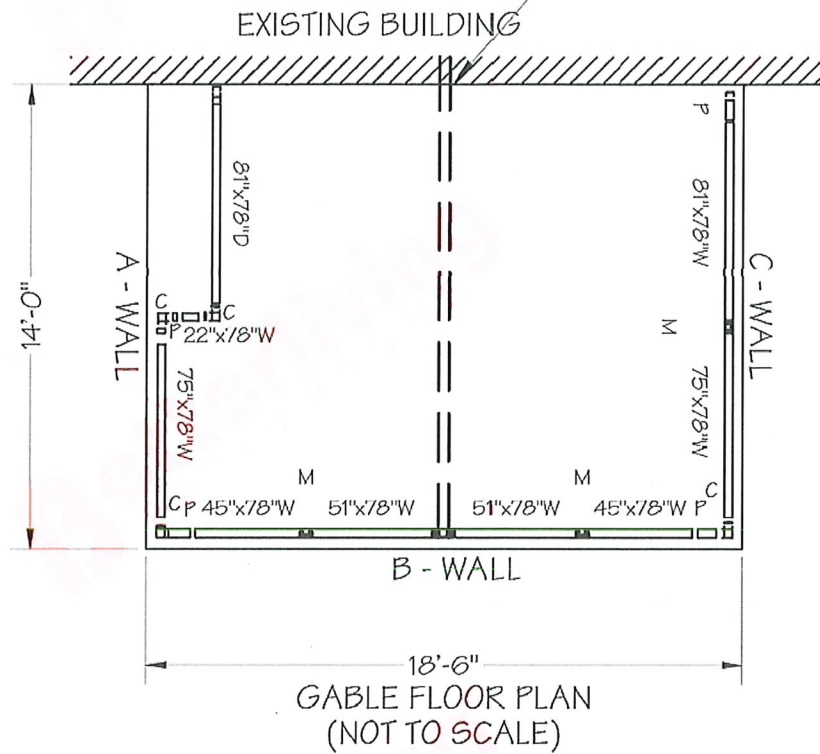
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Boone County GIS
ArcMap Document: *.mxd

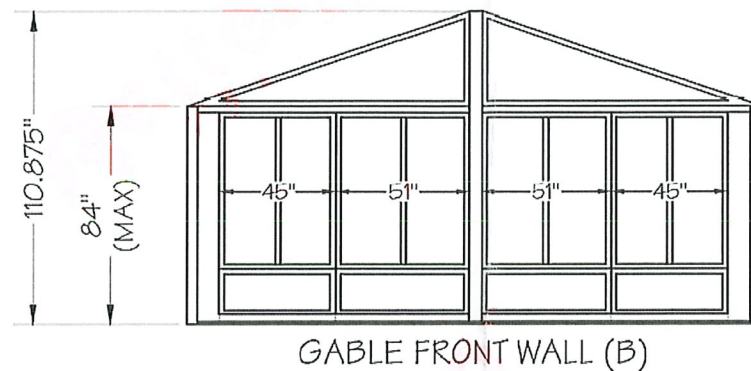
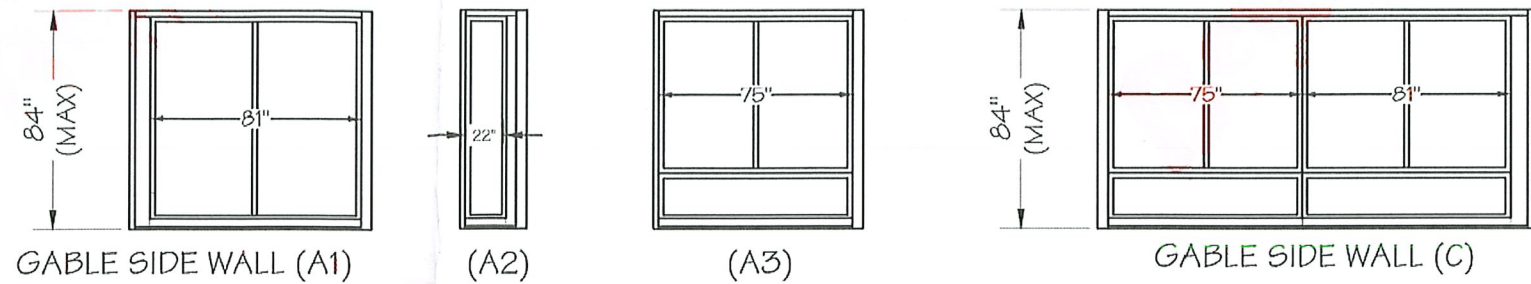


LAYOUT PLANS

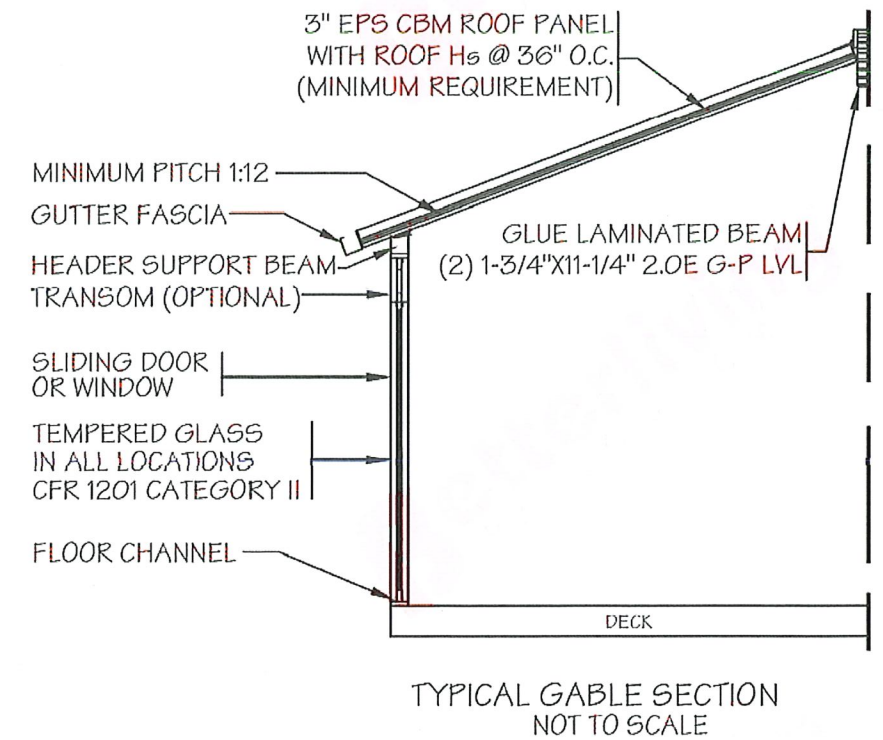
TIE-IN TO EXISTING HOUSE BY CONTRACTOR.
 FULL SUPPORT REQ'D CONTINUOUS TO FOUNDATION.
 EXISTING STRUCTURE MUST SAFELY SUPPORT (OR BE
 UPGRADED TO SUPPORT) NEW SUPERIMPOSED LOADS OF:
 2300 LBS - GRAVITY LOAD & 1300 LBS - UPLIFT LOAD
 1000 LBS - LATERAL LOAD (BY OTHERS)
 END BEARING PER MANUF. (MIN. 4") (BY OTHERS)



WALL SECTIONS



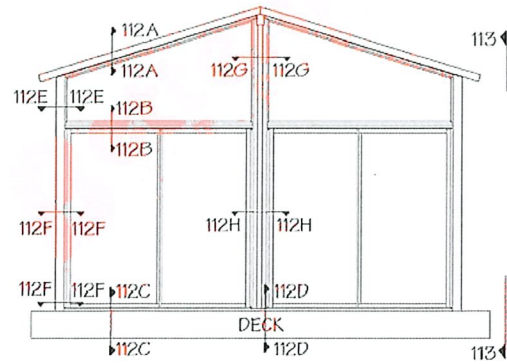
ASSEMBLY DETAILS



FOR NOTES SEE SHEET 1 - PROJECT NOTES

	PROJECT: JUMP 512 BRANTLEY WAY FLORENCE, KY 41042	CONTRACTOR: CLARKE CONTRACTORS 4475 MUHLHAUSER ROAD WEST CHESTER, OH 45011	<h2>ALUMINIUM GABLE ENCLOSURE GENERAL LAYOUT</h2>
	DESIGNED BY: LYF SCALE: 1" = 7/8"	DWG NO.: SHEET 2 OF 4 Jump-Gbl-Encl-14' X 18'-a REV: R2 DATE: 4/19/21	

TYPICAL FRONT WALL CONNECTION DETAILS



SECTION 112

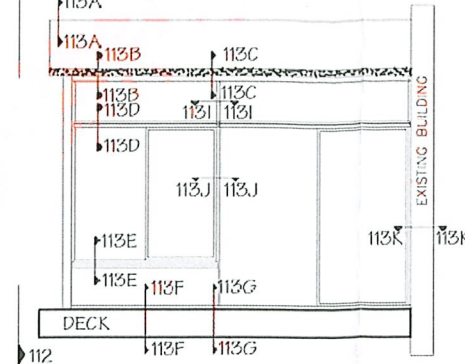
ALUMINUM GABLE FASTENER TABLES

TABLE 1B - FASTENERS FOR 120 MPH WIND, EXPOSURE B, 40 PSF SNOW**

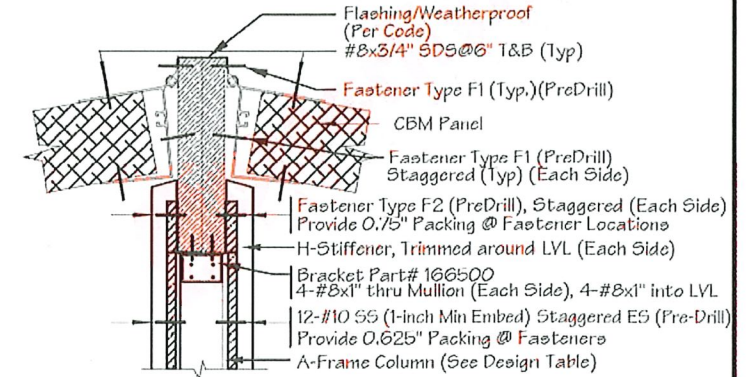
Detail	ID	Type	Fastener Quantity / Spacing (in)				
			Room Width (B-Wall)				
			10'	12'	14'	16'	18'
113A	F1	3/8" x 3" Lag Screw	1@12"	1@12"	1@12"	1@12"	1@12"
113A	F2	1/2" x 3" Lag Screw	2x2	2x2	2x2	2x2	2x3
113B	F1*	1/4" Lag+3x3x0.1" Washer	-	-	-	-	-
113C	F1*	1/4" Lag Screw thru Al H's	1@36"	1@36"	1@36"	1@36"	1@36"
113C	F2	#8x3/4" SDS@Mullion/H	2x3	2x3	2x3	2x3	2x3
113C	F2	#8x3/4" SDS@3x3 Post	1x4	1x4	1x5	2x3	2x3
112D	F1	#10x3/4" SDS@A-Fr Col	2x4	2x4	2x5	2x5	2x6
112D	F1	#10 SDS i Brkt@A-Fr Col	4x2	4x2	4x2	4x2	4x2
112D	F2	1/4" Lag+ Washer@Post	1x3	1x3	1x3	1x3	1x3
112D	F2	1/4" Lag+ Washer@A-Fr Col	2X3	2X3	2X3	2X4	2X4
112D	F2	1/4" Lag+ Brkt@A-Fr Col	2-2x1	2-2x1	2-2x1	2-2x1	2-3x1
112F	F1	#8x3/4" SDS@Post	2x3	2x3	2x4	2x4	2x5

Note: * Lag thread to fully engage Al H flanges and Header top flange
 ** Table valid for enclosed structures

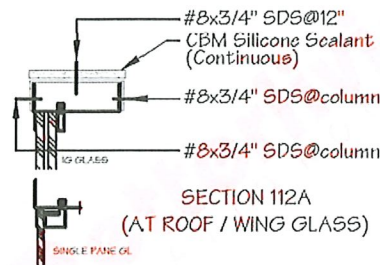
TYPICAL SIDE WALL CONNECTION DETAILS



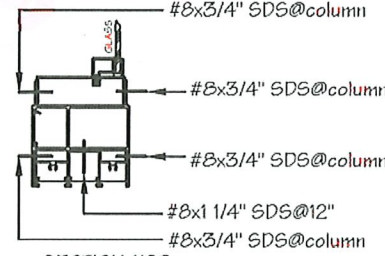
SECTION 113



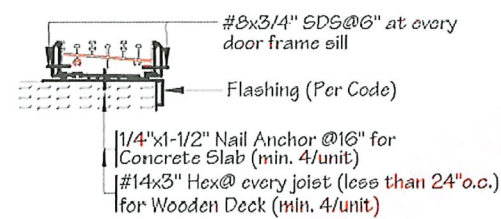
SECTION 113-A for GLUE LAMINATED A-FRAME BEAM



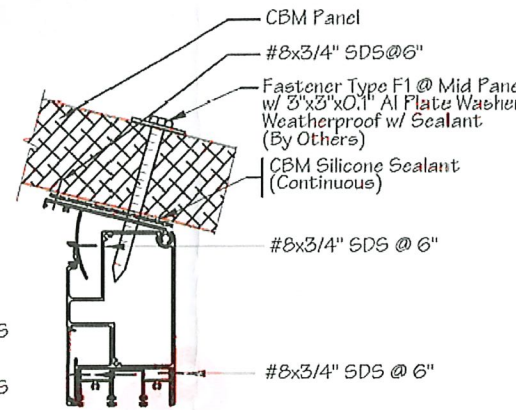
SECTION 112A (AT ROOF / WING GLASS)



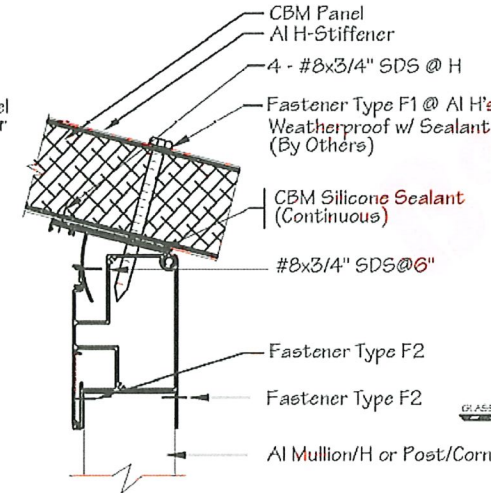
SECTION 112B (AT WING / HEADER)



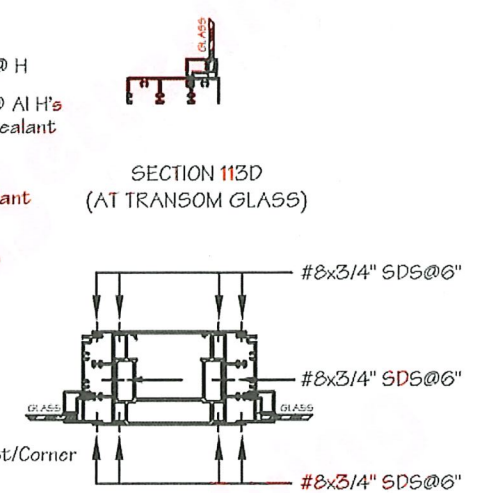
SECTION 112C (AT FLOOR TRACK)



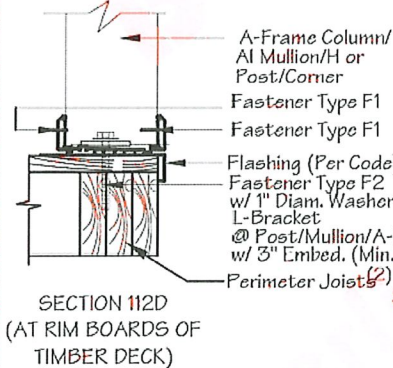
SECTION 113B (HEADER IN BETWEEN POSTS)



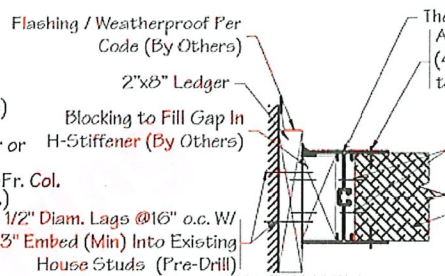
SECTION 113C (HEADER AT MULLION/POST)



SECTION 113D (AT TRANSOM GLASS)

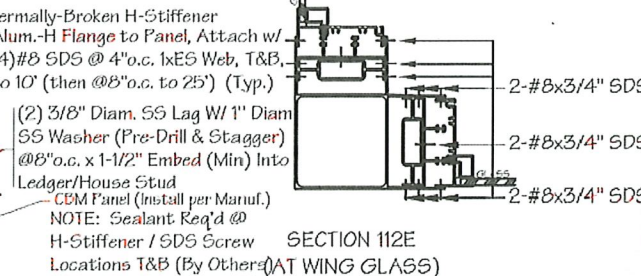


SECTION 112D (AT RIM BOARDS OF TIMBER DECK)

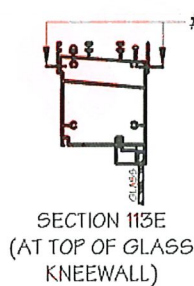


SECTION 112E (AT WING GLASS)

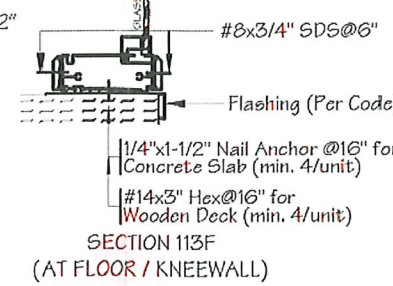
ROOF PANEL-WALL ATTACHMENT DETAIL (TYP.)



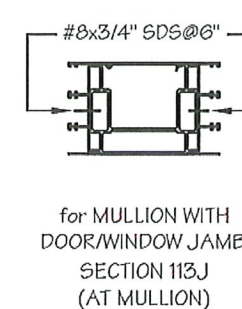
SECTION 112F (AT FLOOR LEVEL)



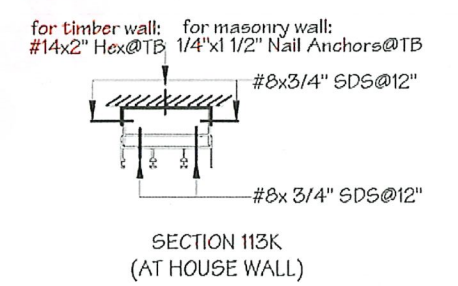
SECTION 113E (AT TOP OF GLASS KNEEWALL)



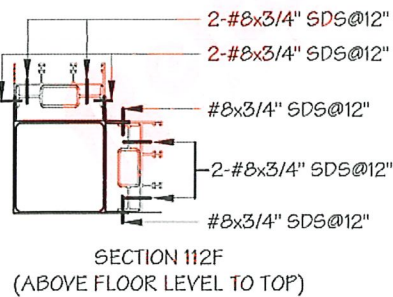
SECTION 113F (AT FLOOR / KNEEWALL)



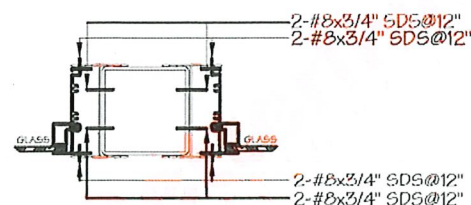
SECTION 113J (AT MULLION)



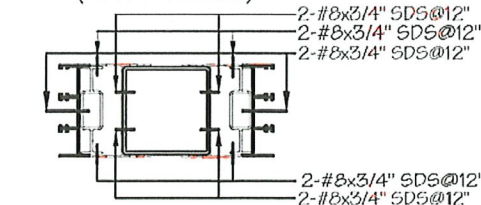
SECTION 113K (AT HOUSE WALL)



SECTION 112F (ABOVE FLOOR LEVEL TO TOP)



SECTION 112G (GBL POST AT TRANSOM GLASS)



SECTION 112H (GBL POST AT ROOM)

FOR NOTES SEE SHEET 1 - PROJECT NOTES

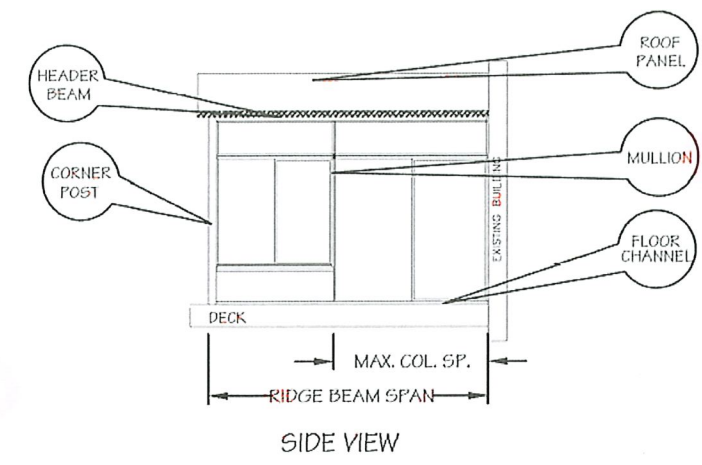
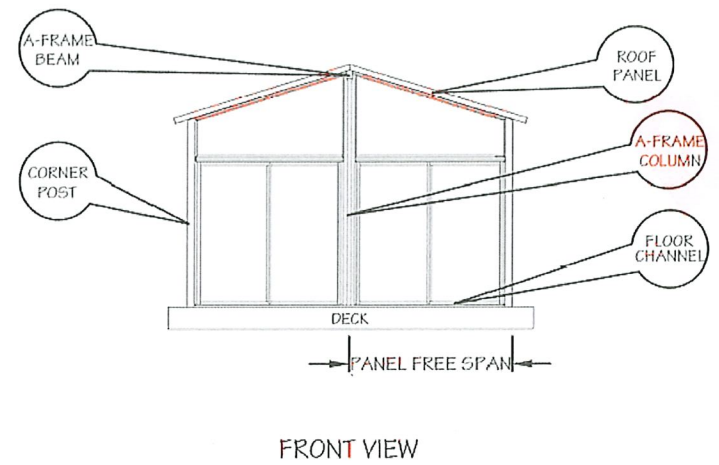


PROJECT: JUMP
 3112 BRANTLEY WAY
 FLORENCE, KY 41042
 DRAWN BY: LYF
 SCALE: N.T.S.

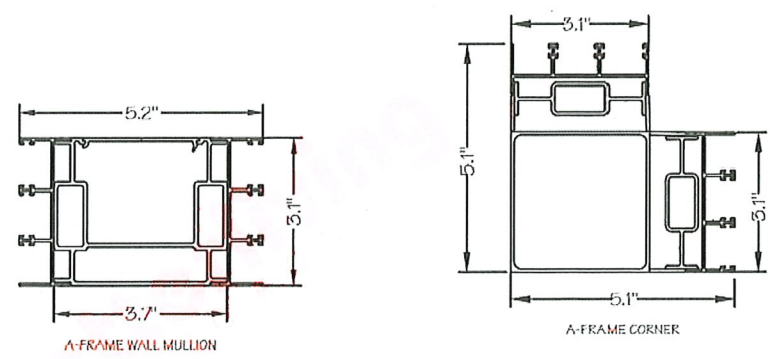
CONTRACTOR: CLARKE CONTRACTORS
 4475 MUHLHAUSER ROAD
 WEST CHESTER, OH 45011
 DWG NO.: SHEET 3 OF 4
 Alum-Gbl-Conn
 REV: R2 DATE: 4/19/2021

ALUMINIUM GABLE ENCLOSURE CONNECTION DETAILS
 120 MPH - EXP B & 20 PSF SNOW

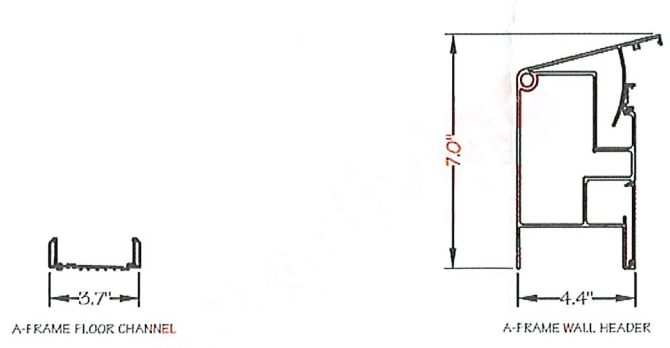
TYPICAL GABLE ENCLOSURE



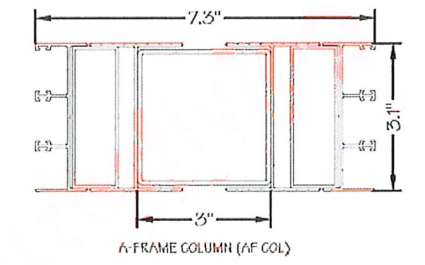
A-FRAME WALL MULLIONS / CORNER



FLOOR / HEADER / RIDGE BEAM OPTIONS



A-FRAME COLUMNS



AF WALL MULLION - ELEC MULLION + 2-JAMBS (MAX HT 7 FT - INTERIOR)

MULLION SPACING (FT)	MAX ALLOWABLE GROUND SNOW LOAD (PSF)					
	PANEL FREE SPAN (FT)					
	5'	6'	7'	8'	9'	10'
5'	100	100	100	100	100	100
5.5'	100	100	100	100	100	100
6'	100	100	100	100	100	100
6.5'	100	100	100	100	100	100
7'	100	100	100	100	100	100
7.5'	100	100	100	100	100	100

AF WALL CORNER + 2-MULLIONS + 2-JAMBS (MAX HT 7 FT - CORNER)

MULLION SPACING (FT)	MAX ALLOWABLE GROUND SNOW LOAD (PSF)					
	PANEL FREE SPAN (FT)					
	5'	6'	7'	8'	9'	10'
5'	100	100	100	100	100	100
5.5'	100	100	100	100	100	100
6'	100	100	100	100	100	100
6.5'	100	100	100	100	100	100
7'	100	100	100	100	100	100
7.5'	100	100	100	100	100	100

AF FLOOR CHANNEL

MULLION SPACING (FT)	MAX ALLOWABLE GROUND SNOW LOAD (PSF)					
	PANEL FREE SPAN (FT)					
	5'	6'	7'	8'	9'	10'
5'	100	100	100	100	100	100
5.5'	100	100	100	100	100	100
6'	100	100	100	100	100	100
6.5'	100	100	100	100	100	100
7'	100	100	100	100	100	100
7.5'	100	100	100	100	100	100

AF WALL HEADER + ARM (MAX SPAN 7.5 FT)

MULLION SPACING (FT)	MAX ALLOWABLE GROUND SNOW LOAD (PSF)					
	PANEL FREE SPAN (FT)					
	5'	6'	7'	8'	9'	10'
5'	100	100	100	100	100	100
5.5'	100	100	100	100	100	99
6'	100	100	100	100	100	100
6.5'	100	100	100	100	100	100
7'	100	100	100	100	100	100
7.5'	100	100	100	100	100	100

AF COL - 3x3 + 2H + 2-1x3 + 2-JAMBS (MAX HT 9 FT)

RIDGE BEAM SPAN (FT)	MAX ALLOWABLE GROUND SNOW LOAD (PSF)					
	PANEL FREE SPAN (FT)					
	5'	6'	7'	8'	9'	10'
8'	100	100	100	100	100	100
10'	100	100	100	100	100	100
12'	100	100	100	100	100	100
14'	100	100	100	100	100	100
16'	100	100	100	100	100	100
18'	100	100	100	100	100	94

FOR NOTES SEE SHEET 1 - PROJECT NOTES



PROJECT: JUMP 912 BRANTLEY WAY FLORENCE, KY 41042	CONTRACTOR: CLARKE CONTRACTORS 4475 MUHLHAUSER ROAD WEST CHESTER, OH 45011	ALUMINIUM GABLE ENCLOSURE STRUCTURAL FRAMING UPTO 120MPH - EXP B
DRAWN BY: LYF	DWG NO.: SHEET 4 OF 4	
SCALE: N.T.S.	REV: R2 DATE: 4/19/2021	