

Restaurant, A-2

10. Proposed Use(s) on Site: _____

11. Total Square Footage of Existing and/or Proposed Buildings: 12,291

12. Current Zoning: Mall Road (MR) Overlay District *C-2/PD/MR*

13. 871 412 n/a *2040A*
Deed Book Page Group Number

14. Is the site subject to a zone change: Yes No
If yes, date of approval: _____

15. Have you submitted a Site Plan with this request: Yes No

16. Have you submitted a list of adjoining property owners with this request: Yes No

17. I, or we, understand and agree that this application and drawing(s) are being filed in accordance with the Boone County Zoning Regulations.

ORIGINAL Property Owner's Signature: Dana Meadowcroft, Agent Digitally signed by Haig B Buchakjian
DN: cn=Haig B Buchakjian, o=Boone County, ou=Boone County, email=Haig.B.Buchakjian@boonecountymt.com, c=US
(Faxed, Photocopied or Scanned Signatures will NOT be Accepted)

ORIGINAL Applicant's Signature: *Cathy West*
(Faxed, Photocopied or Scanned Signatures will NOT be Accepted)

SECTION B: (To be completed by Planning Commission staff)

1. Date Received: 11/16/21 Fee Received: \$ 966 Receipt #: 85152

2. Is application complete:

3. Staff Reviewer: T. Morgan

4. Scheduled Board Action Date: 12/16/21

5. Board Action: _____

- Approved
- Approved with Conditions (see #6)
- Denial (See #7)

6. Conditions of Approval: SEE STAFF COMMENTS
D1, D2, and D3 in STAFF Report

7. Reasons for Denial: _____

Boone County Planning Commission
Boone County Administration Building
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005
Phone: 859-334-2196 Fax: 859-334-2264
plancom@boonecountyky.org
www.boonecountyky.org

STAFF REPORT

APPLICANT: Cathy West for Chuck E. Cheese

LOCATION: 7635 Mall Road, Florence, Kentucky

ZONING: Commercial Two/Planned Development/Mall Road Overlay
(C-2/PD/MR)

DATE: December 16, 2021

PROPOSAL

The applicant has submitted an application to amend a June 9, 2010 variance condition. The condition was imposed by the Florence Board of Adjustment and required Chuck E. Cheese restaurant to be improved per specific building elevations and signage drawings. Chuck E. Cheese is looking to rebrand the restaurant with a new paint scheme, awnings, and signage package.

The proposed building elevations show the building would be painted five different colors and that red awning (eyebrows) would be installed on the front and rear facades. The elevations and sign drawings show the front façade would contain two permanent building mounted signs that are 49 and 33.96 square feet in area and the rear façade (viewable from Mall Road) would contain two permanent building mounted signs that are 64 and 68.71 square feet in area.

PERTINENT SITE HISTORY

- A. On February 13, 2008, the Florence Board of Adjustment approved two changes in Non-Conforming Use to allow additional building mounted signage on the front and rear facades of the building.

At this time, the Mall Road Commercial Sign District only allowed Chuck E. Cheese to have one building mounted sign on each façade. The permitted sign area was two square feet of sign per linear foot of the given building façade. The following chart was included in the Staff Report.

	Permitted Signage	Existing Signage	Proposed Signage
Front Façade (Facing Service Road)	160 Sq. Feet	596.25 Sq. Feet	960 Sq. Feet
Rear Façade (Facing Mall Road)	160 Sq. Feet	420 Sq. Feet	459 Sq. Feet
North Façade	239.5 Sq. Feet	0	0
South Facade	239.5 Sq. Feet	54 Sq. Feet	54 Sq. Feet

The following conditions were imposed on the approval:

- There are to be masonry knee walls on the entire length of the front and rear facades.
- The new sign package is to be as presented.
- The new sign package shall not be installed unless the other façade improvements are made to the building.
- No additional signage or modifications to the signage shall be permitted on the building without approval from the Florence Board of Adjustment.
- The checkerboard theme is permitted on the front and rear elevations on the parapet wall and the two pillars. See the picture attached to the Staff Report marked "picture of similar building".

B. On June 9, 2010, the Florence Board of Adjustment approved the following Variances:

1. Modifications to the permitted building mounted signage. The following chart was included in the Staff Report.

	Permitted Signage	2/13/08 Approval	Proposed Sign Area
Front Façade Facing Service Road	160 Sq. Feet	960 Sq. Feet	1,820 Sq. Feet
Rear Façade Facing Mall Road	160 Sq. Feet	459 Sq. Feet	1,820 Sq. Feet
North Facade Facing Men's Warehouse	305 Sq. Feet	0 Sq. Feet	2,772 Sq. Feet
South Facade	305 Sq. Feet	54 Sq. Feet	2,772 Sq. Feet

2. Reduce the 10 foot perimeter landscaping buffer requirements where a proposed 2,584 square foot building addition matches up with the side and rear lease lines.

The following conditions were imposed on the approval:

- The signage and façade improvements shall be consistent with the submitted elevation drawings.
- The new signage package shall not be installed unless the other façade improvements are made to the building.
- The dumpster enclosure shall be replaced and meet the applicable zoning regulations.
- The landscaping areas shall be installed as submitted. The following planting are required:

One large tree from Plant List A shall be installed in the proposed landscaping island

unless there is written documentation from the applicable utility companies saying otherwise. Alternative plantings shall be installed in the island in the event that a large tree cannot be planted.

The area around the dumpster enclosure shall be screened with large evergreen shrubs from Plant List C.

- C. On 8/4/10, Boone County Planning Commission approved a Major Site Plan allowing the building addition, façade improvements, and landscaping improvements.
- D. On March 13, 2012, the City of Florence adopted the Mall Road District Study. The study contained new sign regulations. See the applicable regulations below.

APPLICABLE REGULATIONS

- A. Section 250 of the Boone County Zoning Regulations states that one duty of the Board of Adjustment is to hear and decide on applications for variances.
- B. Section 250 of the Boone County Zoning Regulations defines a variance as a departure from dimensional terms of the zoning regulation pertaining to the height, width, or location of structures, and the size of yards and open spaces where such departure meets the requirements of KRS 100.241 to 100.247.
- C. The Board should evaluate the request as it relates to the criteria necessary for granting a Variance as stated in Section 251 of the Boone County Zoning Regulations.

Findings listed in Section 251:

Before any variance is granted, the Board must find that the granting of the variance will not adversely affect the public health, safety or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations. In making these findings, the board shall consider whether:

- (1) The requested variance arises from special circumstances which do not generally apply to land in the general vicinity, or in the same zone;
- (2) The strict application of the provisions of the regulations would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant;
- (3) The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.

The Board shall deny any request for a variance arising from circumstances that are the result of willful violations of the zoning regulation by the applicant subsequent to the adoption of the zoning regulation from which relief is sought.

- D. The Mall Road District Study contains the following architectural design standard that relates to the application:

Exterior Wall Colors: Exterior walls shall primarily use colors which are reflective of rich, natural tones such as those in the red, red-brown/terra cotta, brown, clay, beige/tan/blond, mustard, and/or warm gray ranges. White or exceptionally dark colors are not permitted. Other colors may be used for trim and detailing.

E. The Mall Road District Study's Special Sign Regulations state that Sections 3402 and 3413 of the Boone County Zoning Regulations shall be used in determining permitted locations and the amount of building mounted signage that is permitted on a business. Permitted exceptions to Section 3413 are noted in Subsection 2 below.

(1) The following standards shall apply to building mounted signage in the Mall Road (MR) Overlay Sign District:

Channel letters, sandblasted redwood, individual pin mounted letters, neon copy, neon or L.E.D. accent bands, fabric awnings, and similar signs as determined by the Zoning Administrator shall be permitted.

Manually changeable copy, electronically changeable copy, board signs, plexi-faced panels, internally illuminated awnings, firmly structured awnings with an "inflated" or plastic appearance, and similar signs shall not be permitted unless they are replacing an existing sign of like kind that is the same size or smaller.

Building mounted signage shall not be permitted in residential developments. Exceptions are professional name plates, addresses, and building numbers.

(2) Permitted Exceptions to the building mounted signage regulations found in Section 3413 of the Boone County Zoning Regulations are as follows:

Projecting, shingle, or blade signs shall be permitted when a main building entrance is in close proximity to a street, private access drive, or shared private development street. Projecting signs will not be treated as one of the three permitted sign areas on a primary or secondary facade but the sign area shall be factored into the total square footage that is permitted on that given facade. The maximum size of a projecting sign shall not be more than 32 square feet in size. Projecting signs shall have a minimum clearance of 10 feet over sidewalks and shall not be permitted to project over vehicular ways.

Restaurants and entertainment uses (limited to night clubs and live performance venues) shall be allowed to have neon or L.E.D. accent banding along cornice lines and main entrances. The accent banding shall not be treated as one of the three permitted sign areas on a primary or secondary facade but the sign area shall be factored into the total square footage that is permitted on a given facade. The neon or L.E.D. banding shall be limited to 2 inches in height.

F. Section 3413 of the Boone County Zoning Regulations states that a business establishment may be permitted building mounted signage for each building elevation directly on, or with high visibility from, any arterial, collector, or marginal access street, including areas of major internal traffic circulation of a development. The primary building elevation shall be permitted two square feet of sign area per lineal foot of building width

for the elevation upon which it is mounted, or in multi-tenant buildings, the width of the portion of the building frontage occupied by an individual establishment. Any additional elevations shall be permitted one (1) square foot of sign area per lineal foot of width for the same elevation on which it is mounted.

Under no circumstances shall any establishment be allowed more than three (3) elevations of building mounted signage. The square footage allotted for any one elevation may be divided into three (3) separate sign areas. For the purpose of this order, signs on awnings are considered in the total square footage of building mounted signage permitted for that elevation. Any copy area and/or illuminated areas on the awnings will be calculated for square footage. Up to fifty percent of the area of any permitted building mounted sign may be used for a manually changeable copy sign to display messages relating to the occupants of the development.

SURROUNDING LAND USES AND ZONING

North: Men's Wearhouse and Pearle Vision (C-2/PD/MR)

South: Izzy's - Currently Under Construction (C-2/PD/MR)

East: Mall Road and Village at the Mall Shopping Center (C-2/PD/MR)

West: T.J. Maxx, Home Goods, and Overstock Furniture and Mattress (C-2/PD/MR)

SITE CHARACTERISTICS

The subject property (lease area) fronts on Mall Road and is accessed from a service road that goes through Florence Square Subdivision. The August 4, 2010, approved Site Plan shows the building is 12,291 square feet in area and the lease area contains 62 parking spaces.

STAFF COMMENTS

- A. Staff would like the applicant to address the following:
1. Is the border lighting at the top of the building being removed?
 2. Can the red eyebrows be discussed in more detail?
 - Are they proposed on the front and rear façade? The architectural drawings show them on both facades and the sign drawings do not.
 - Are they internally illuminated?
 - Does any lighting project upwards from these fixtures?
- B. The Board needs to analyze the Variance criteria before acting on the requests.
- C. Staff believes the proposed improvements are a substantial upgrade to the existing building and signage conditions based on the following:
1. The majority of the building will be painted a natural color (Balboa Mist).

2. The solid green features on the front and rear facades of the building are not objectionable.
3. The checker board pattern from the EIFS will be removed.
4. The internally illuminated blue and red awnings will be removed and some will be replaced with the proposed eyebrows.
5. The amount of building mounted signage does not seem excessive. The applicant has worked with Staff and eliminated a multi-colored green façade feature and Swiss cheese pattern from the proposed design.

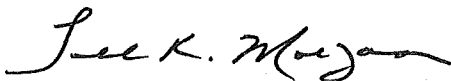
D. Staff recommends the following conditions if the request is approved:

1. The signage and façade improvements shall be consistent with the submitted elevation and signage drawings.
2. The applicant and Staff shall analyze whether a sidewalk connection can be provided between the public sidewalks on Mall Road and Chuck E. Cheese parking lot. This determination shall be made when the Minor Site Plan is submitted to make the building improvements.
3. The landscaping that was shown on the 8/4/10 Major Site Plan shall be reinstalled.

CONCLUSION

KRS 100.241 and Section 220 of the Boone County Zoning Regulations gives the Florence Board of Adjustment and Zoning Appeals the authority to act on the request.

Respectfully submitted,



Todd K. Morgan, AICP
Senior Planner

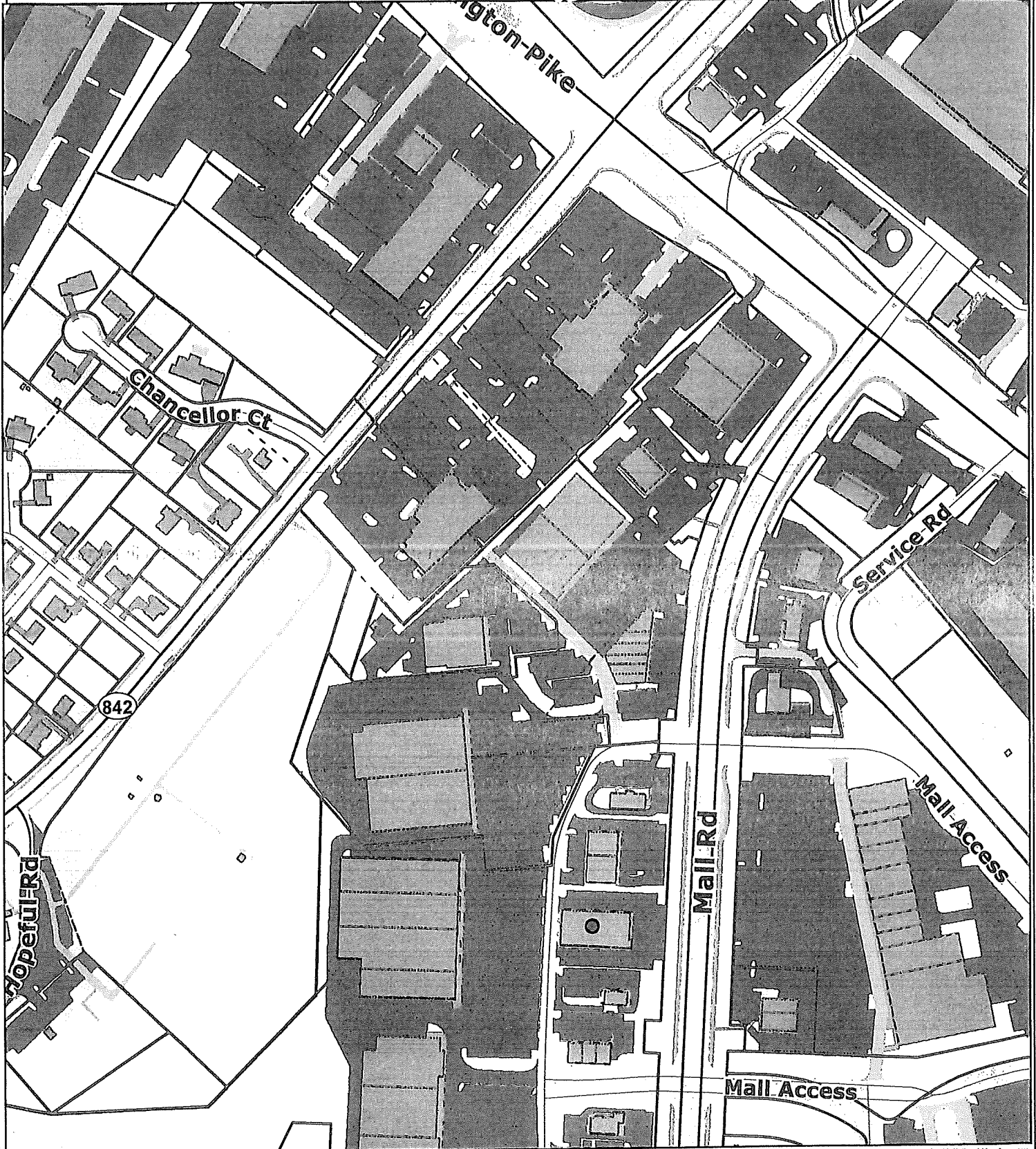
TKM/ss

Attachments

- *Site Vicinity Map
- *Zoning Map
- *Topographical Map
- *2020 Aerial Map
- *2/13/08 FBOA Drawings
- *6/9/10 FBOA Drawings
- *8/4/10 Landscaping Plan
- *Proposed Drawings
- *Application

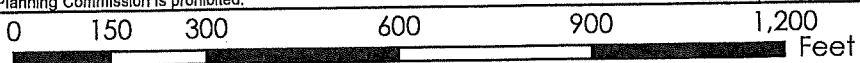
SITE VICINITY MAP

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1 inch = 300 feet

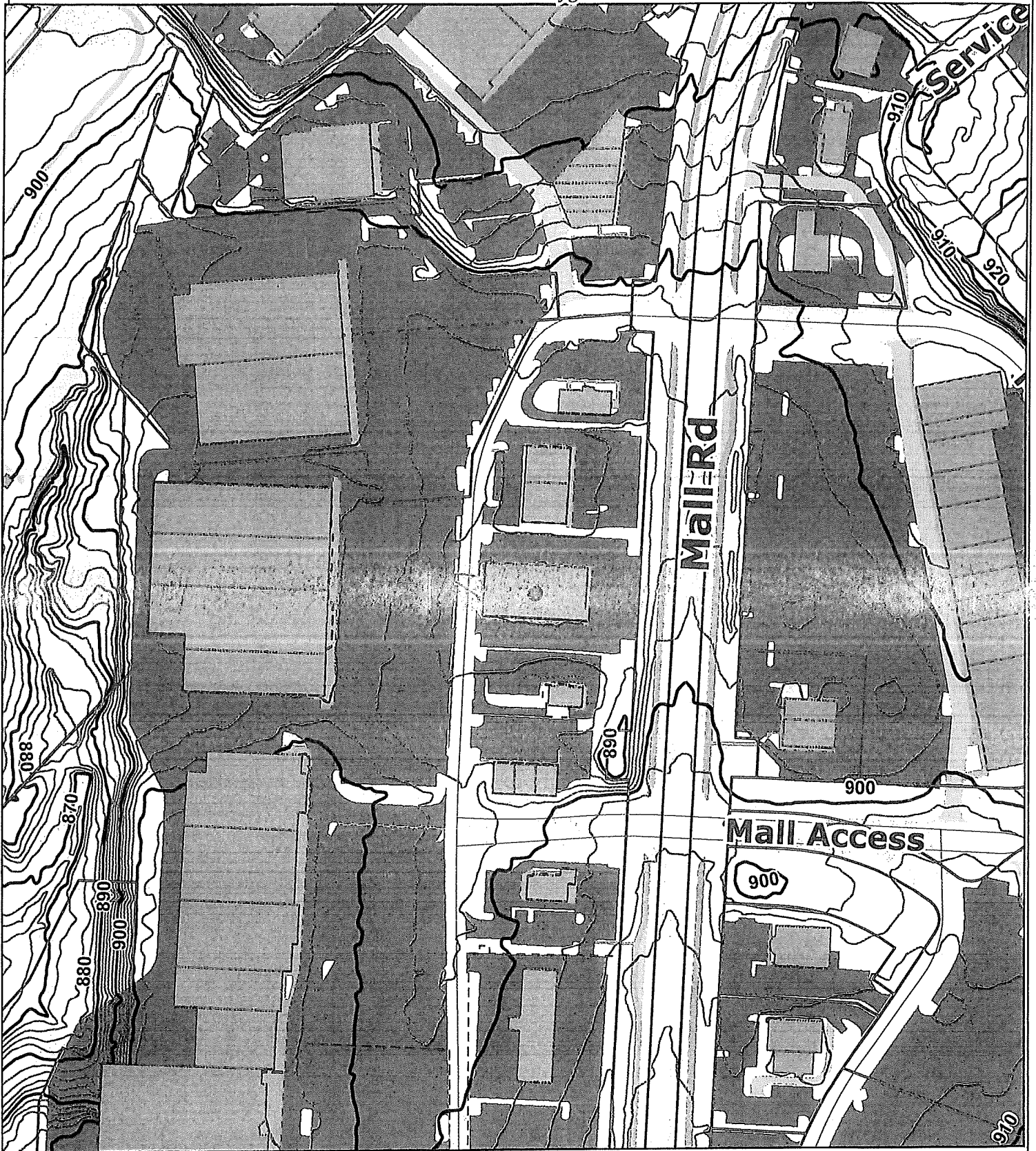


Boone County GIS - Putting Northern Kentucky on the Map



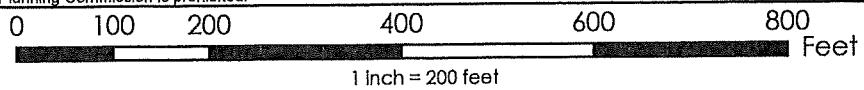
TOPOGRAPHICAL MAP

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Boone County GIS - Putting Northern Kentucky on the Map

Map Created: 10/09/2020

Map Document: *.mxd

2020 AERIAL MAP

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0 100 200 400 600 800 Feet

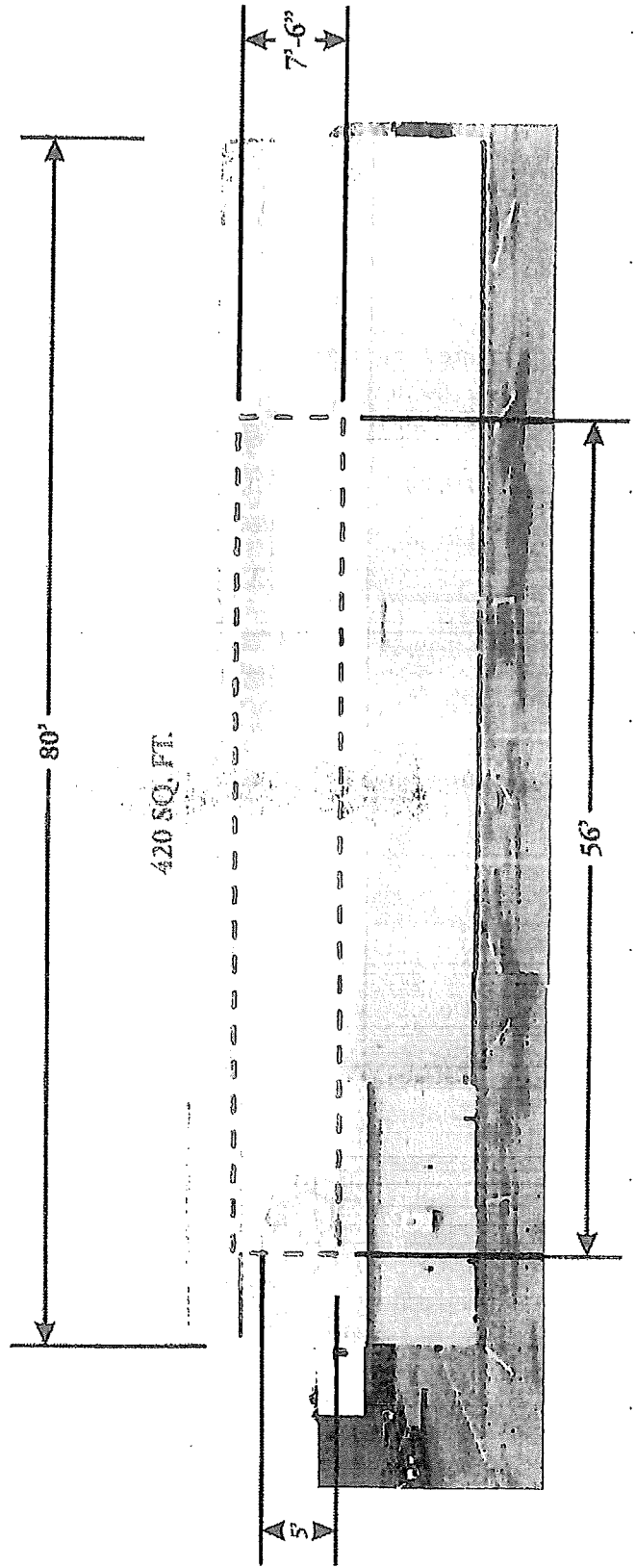
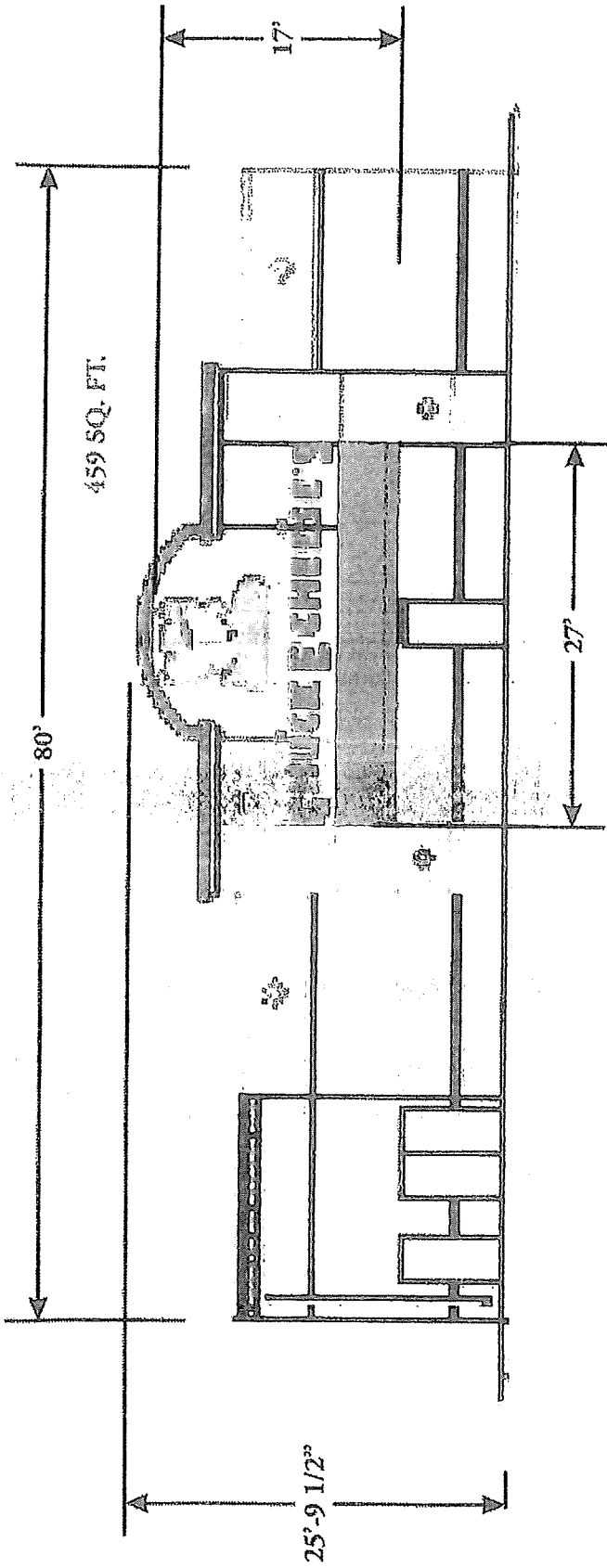
1 inch = 200 feet

Boone County GIS - Putting Northern Kentucky on the Map

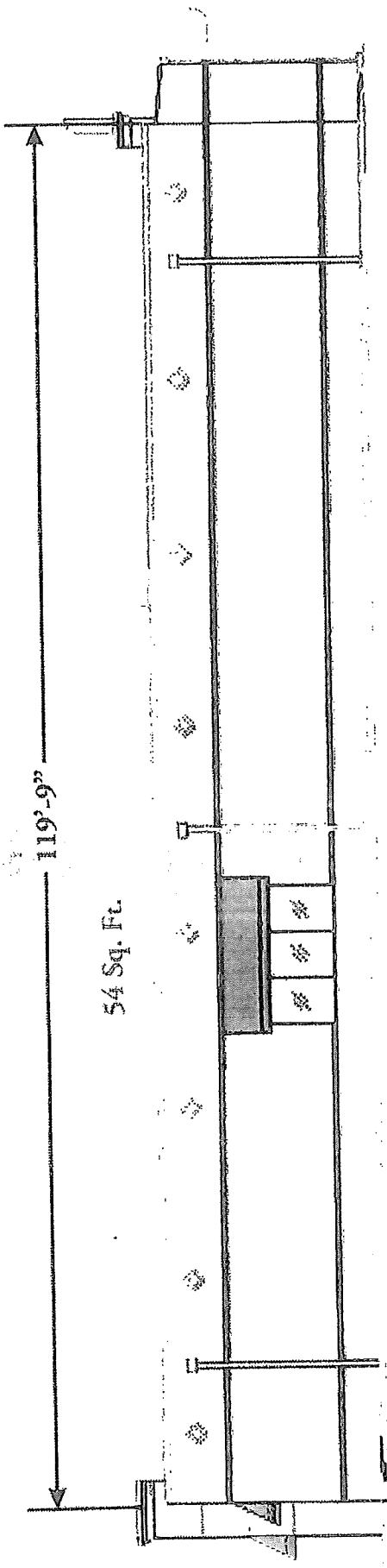
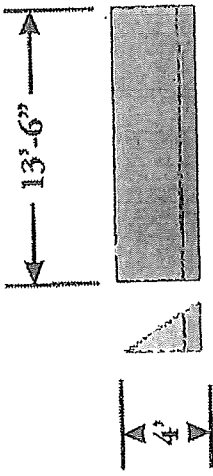


Rear Elevation

2/13/08

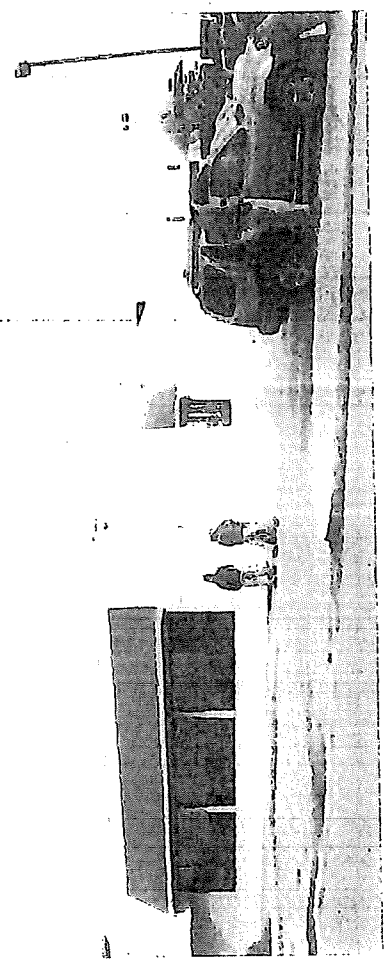


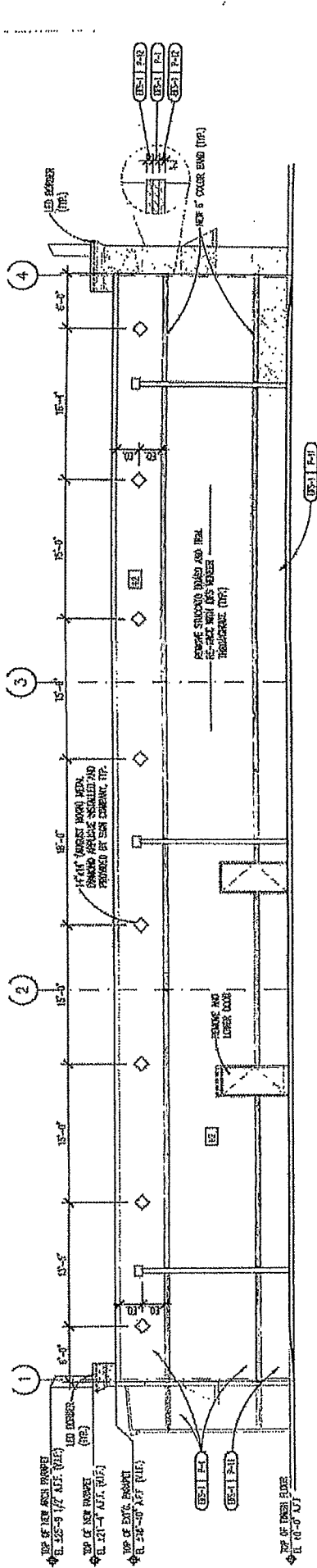
Proposed



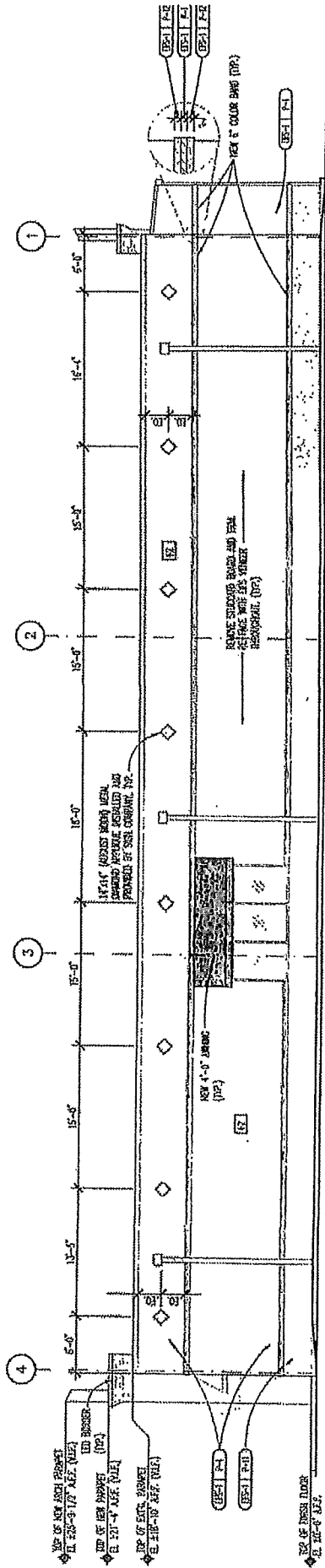
Side Elevation

2/13/08





04 SIDE - NORTH ELEVATION
SCALE: 1/8"=1'-0"

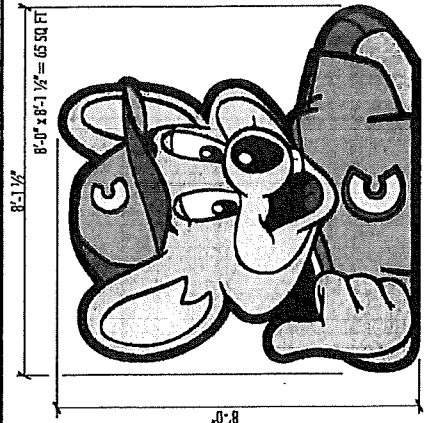


02 SIDE - SOUTH ELEVATION
SCALE: 1/8"=1'-0"

2/13/08

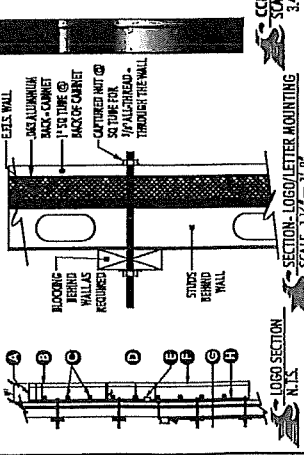
6/9/10

- R 5" DIA ALUM. RETURN PRE-INSTALLED BLACK
- S 1/2" ALUM. BACK- INTERIOR PTD. REFLECTIVE WHITE
- T BLACK RETAINER (SEE SIGN FOR TYPE & SIZE)
- U 1/4" CRD SS #27-0 RED ACRYLIC FACE
- V 1/4" DIA ALUM. LETTERS WITH BUSH-BOULTS IN WALL
- W 3/16" DIA ALUM. LETTERS WITH BUSH-BOULTS IN WALL
- X SUPPLY WIRE
- Y SUBMERGED POWER SUPPLY
- Z PREP HOLES FOR DRAINAGE

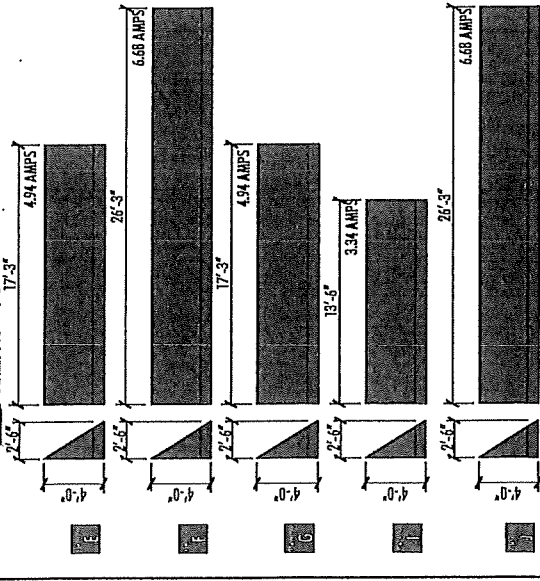


CCB-65 STD. 8" "COOL CHUCK" CHANNEL LOGO (2 REQUIRED)
SCALE: 3/4" = 1'-0"
3.4 AMPS - (1) 20 AMP 720V CIRCUIT REQUIRED SHARED WITH LETTERS

- A 1/2" DIA ALUM. F. RETURNS PRE-FINISHED BLACK
- B 25" CLEAR CRYLEX W/2ND SURFACE WITH GRAPHICS
- C 1/2" DIA CRYLEX W/2ND SURFACE WITH GRAPHICS
- D 800 MA FLUORESCENT LAMP
- E LAMP BALLAST
- F RETAINER (SEE SIGN FOR TYPE & SIZE)
- G ELECTRICAL PRIMARY TO JUNCTION BOX (HOOKUP BY CONTRACTOR)
- H 2063 ALUM. BACK W/1" SQ. TUBESTIFFERS (INTERIOR PTD. WHITE)



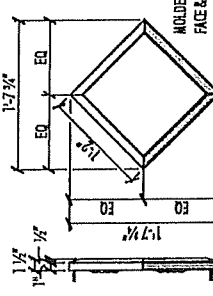
SECTION - LOGO/LETTER MOUNTING
SCALE: 1/2" = 1'-0"
N.T.S.



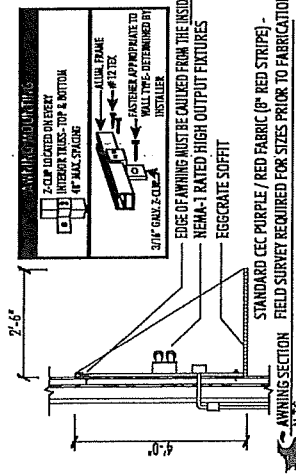
INTERNALLY ILLUMINATED AWNINGS (5 TOTAL REQUIRED)
SCALE: 1/4" = 1'-0"

CHUCK CHEESE'S

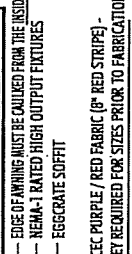
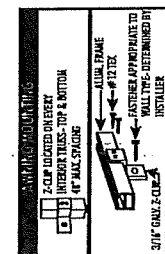
CCB-36 STD. 36" CHANNEL LETTERS (2 SETS REQUIRED)
SCALE: 3/4" = 1'-0"
6 AMPS - (1) 20 AMP 720V CIRCUIT REQUIRED SHARED WITH LOGO



AWNING SECTION
SCALE: 3/4" = 1'-0"



AWNING SECTION
SCALE: 3/4" = 1'-0"



DETAILS
SCALE: 3/4" = 1'-0"

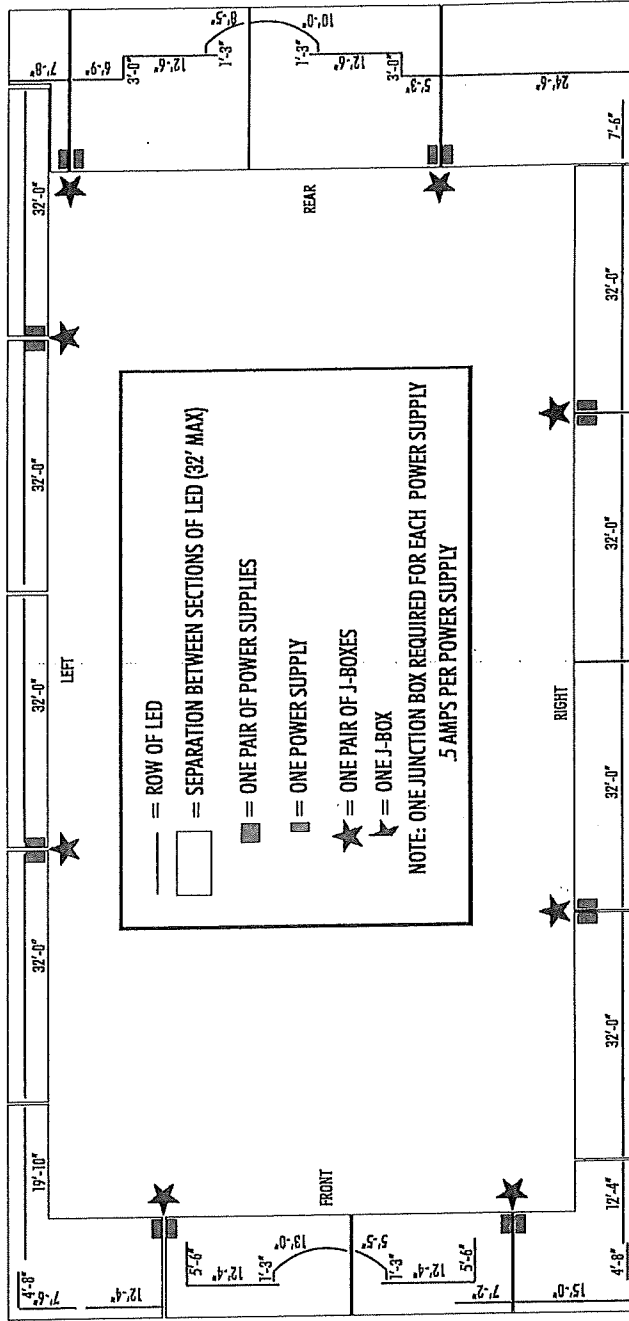
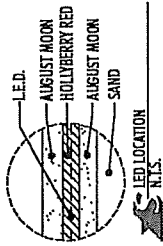
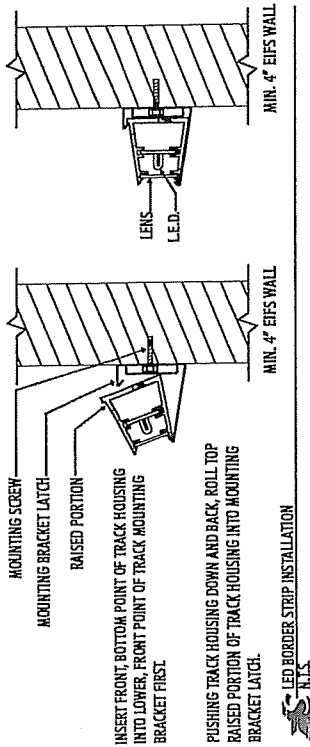
<p>www.starlightsign.com 7223 E. McQuay St. Denton, TX 76204 (940) 382-8850 Fax: (940) 387-0429</p>		<p>CUSTOMER: Chuck E Cheese's #112 LOCATION: 7635 Mall Rd. CITY/STATE: Florence, KY</p>	<p>TLS SQ. FT.: N/A DMG # 1000-073/3 PAGE 03 of 04 DATE 06-09-10</p>	<p>APPROVAL</p>
<p>StarlightSign</p>		<p>SALES: Mike Nguyen 10938</p>	<p>DATE: 06-09-10</p>	<p>CUSTOMER</p>
<p>StarlightSign</p>		<p>DATE: 06-09-10</p>	<p>DATE</p>	<p>LANDLORD</p>

NOTE: ALL AWNINGS MUST BE CALKULATED FROM INSIDE TO PREVENT LIGHT LEAKS
FIELD SURVEY REQUIRED FOR SIZES PRIOR TO FABRICATION

U/L LABELS REQUIRED

APPROVAL

6/9/10



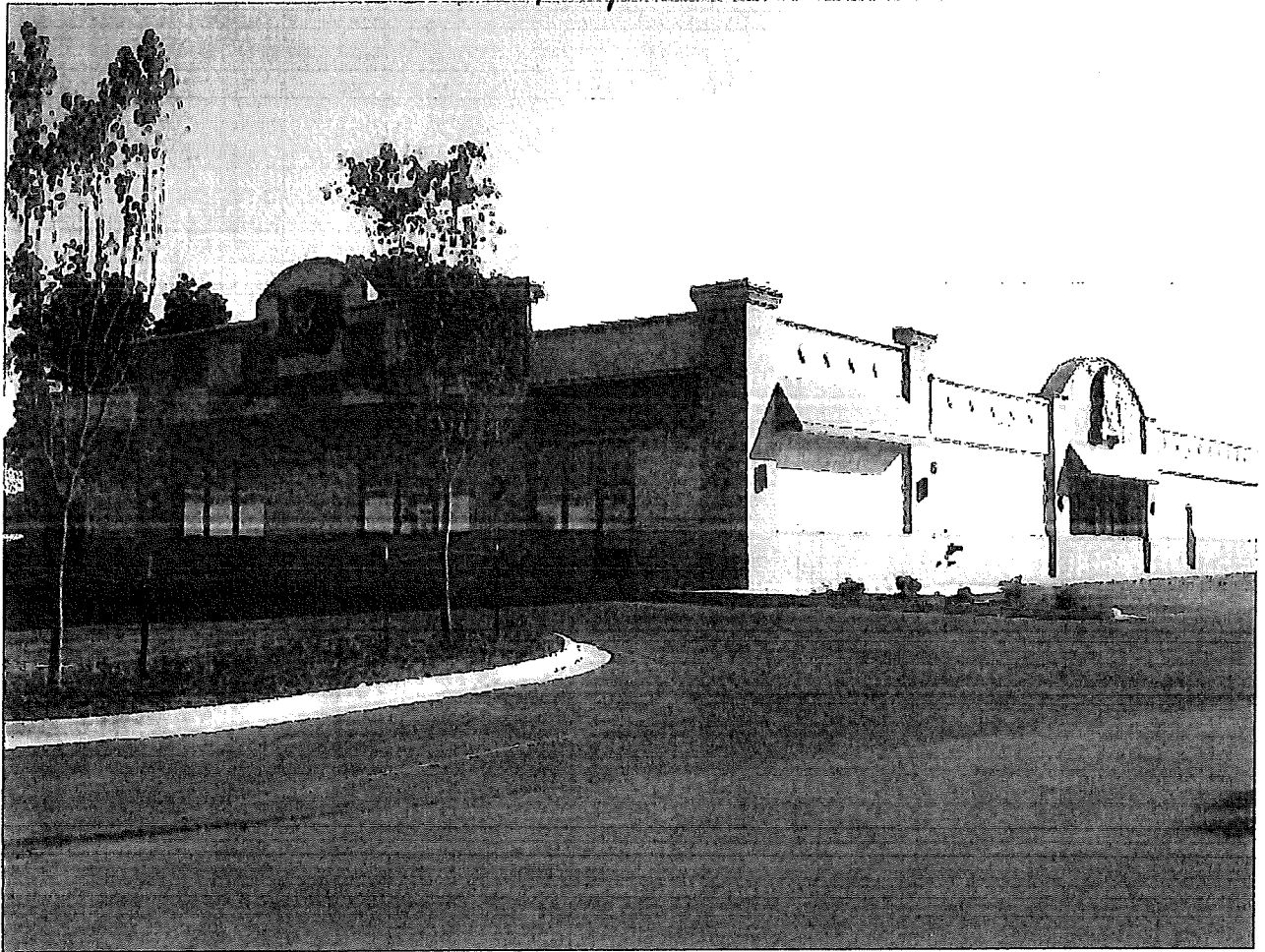
— = ROW OF LED
 □ = SEPARATION BETWEEN SECTIONS OF LED (32' MAX)
 ■ = ONE PAIR OF POWER SUPPLIES
 □ = ONE POWER SUPPLY
 ★ = ONE PAIR OF J-BOXES
 ★ = ONE J-BOX
 NOTE: ONE JUNCTION BOX REQUIRED FOR EACH POWER SUPPLY
 5 AMPS PER POWER SUPPLY

BORDER LED SCALE: 1/8" = 1'-0"
 FIELD SURVEY REQUIRED PRIOR TO FABRICATION
 586' EST. TOTAL LED REQUIRED
 16 POWER SUPPLIES REQUIRED @ 5 AMPS EA. (TOTAL 8 AMPS)

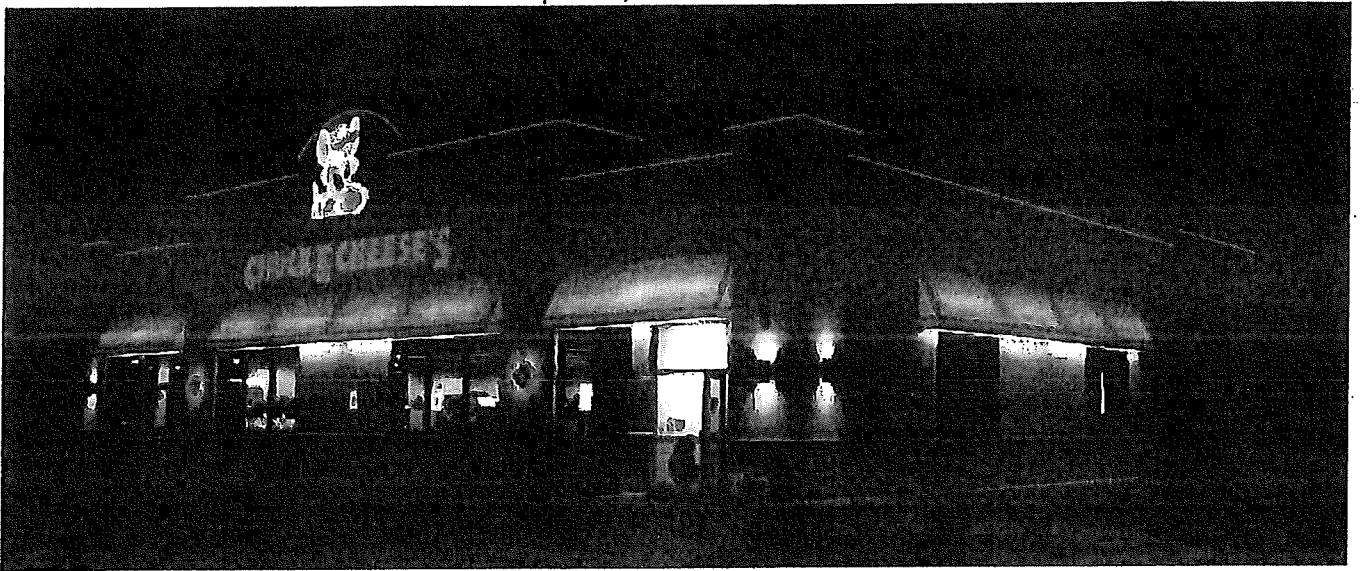
		APPROVAL CUSTOMER LANDLORD DATE DATE	
www.starlitesign.com 7923 E. McKinney St. Denton, TX 76208 (940) 382-4850 Fax: (940) 387-0474		DWG# 1002-07313 PAGE 04 of 04 DATE 06-08-10	
CUSTOMER: Chuck E. Cheese's #112 LOCATION: 7635 Wall Rd. CITY/STATE: Florence, KY		SALES/OWNER: Debbie Stellar DATE: 06-08-10 DATE: 06-08-10	
FIELD SURVEY REQUIRED PRIOR TO FABRICATION 586' EST. TOTAL LED REQUIRED 16 POWER SUPPLIES REQUIRED @ 5 AMPS EA. (TOTAL 8 AMPS)			
U/L LABELS REQUIRED			

This drawing is the property of Starlite Sign, which reserves all rights to its reproduction and display.
 Bids are good if accepted within 30 days of proposal.

6/9/10



6/9/10



1/4" SPACES AT 8'-0" DIA

EXT'G. LIGHT POLE

(GRASS)

SEE ENLARGED PLAN "A"



STRIPING

RAMP UP 1:12

CHEESE'S
12

N 241' 20" E 175'-0" C.I. OF INTERNAL DRIVE

8/4/10 Landscaping Plan

ENTRANCE

SEE ENLARGED PLAN "B"

STRIPING

RAMP UP

NEW SIDEWALK FLUSH WITH PAVING

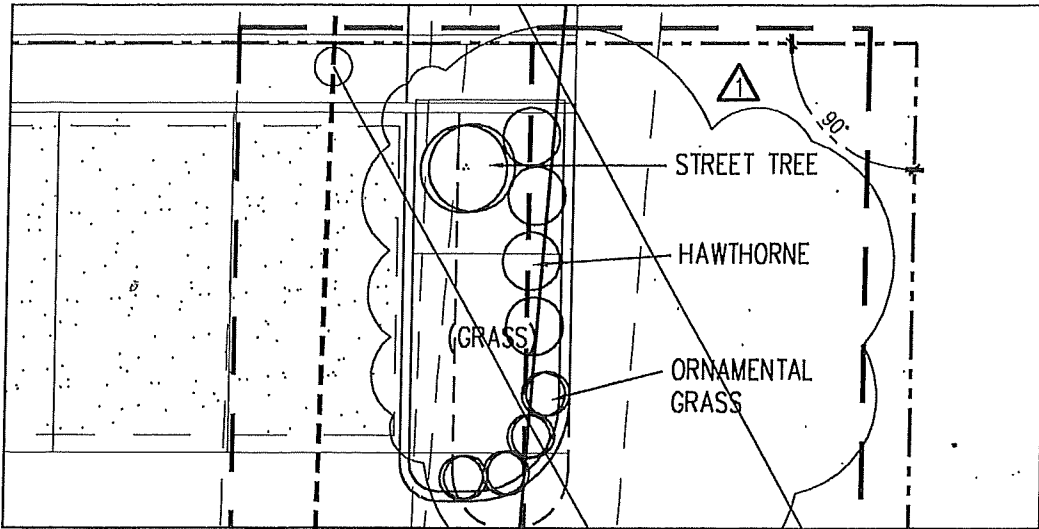
RAMP UP



SEE ENLARGED PLAN "C"

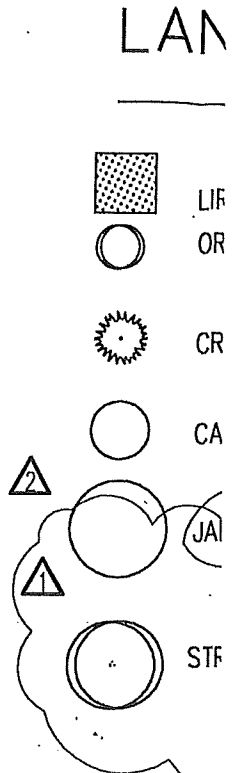
TRASH ENCLOSURE

EXT'G. LIGHT POLE



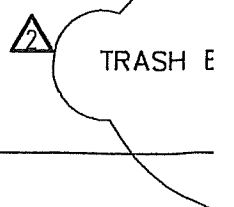
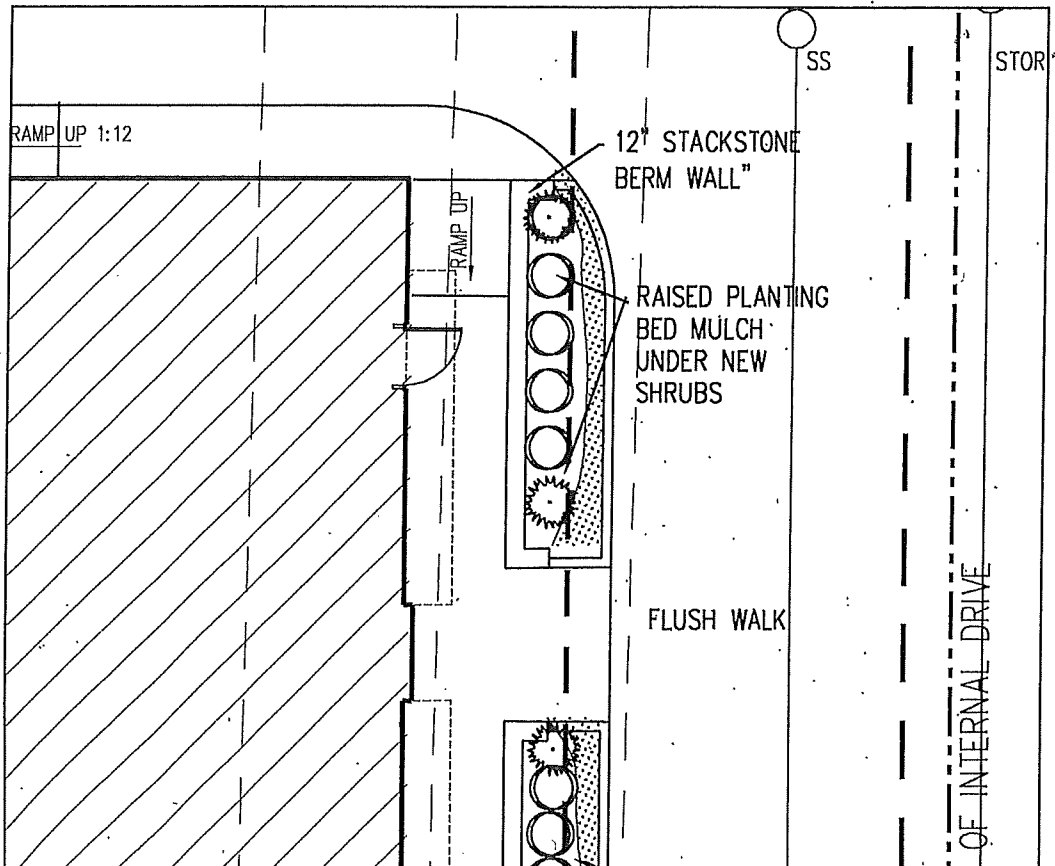
A NEW ISLAND PLANTING
SCALE: 1:10

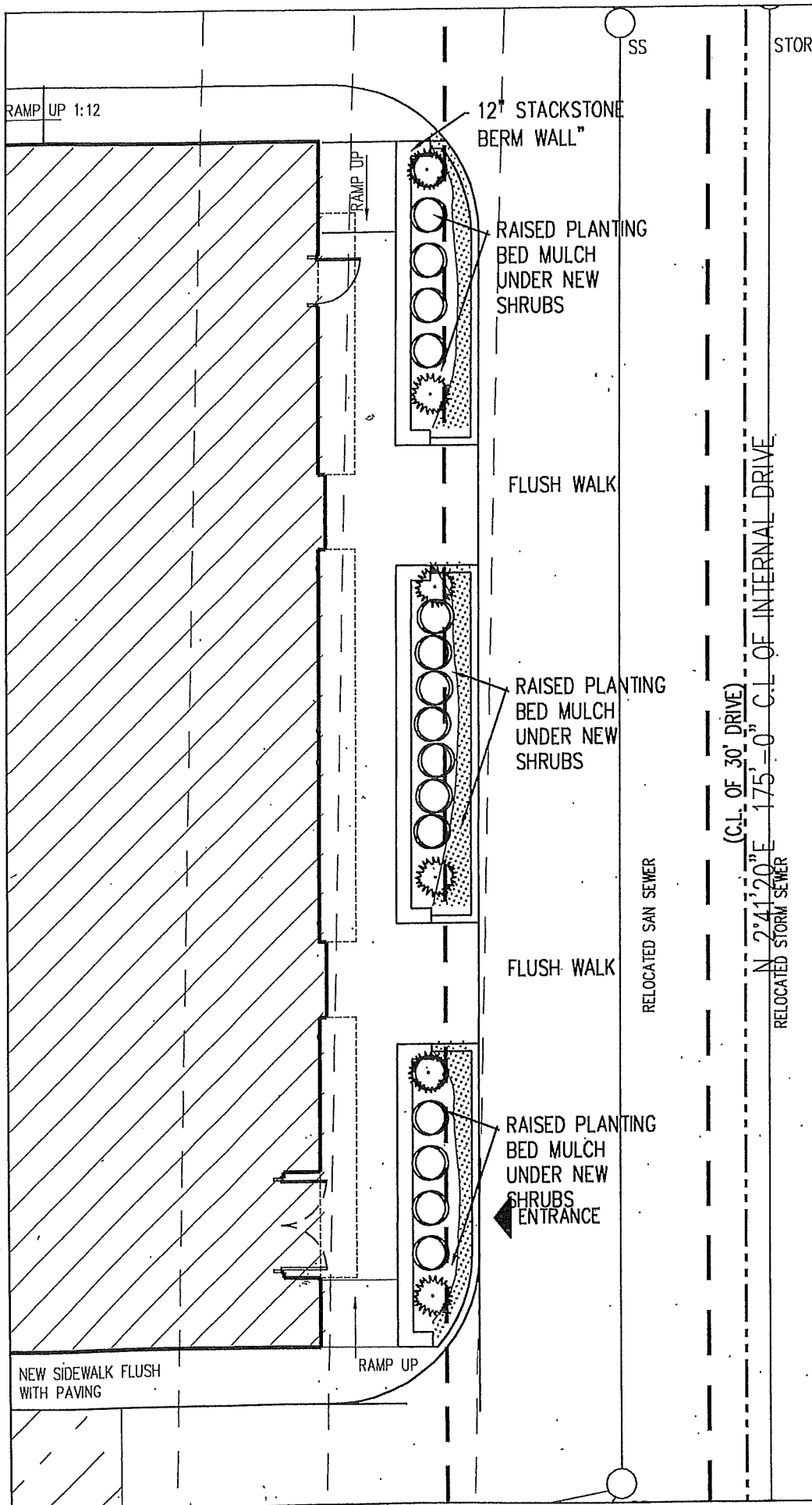
8/4/10 Landscaping Plan



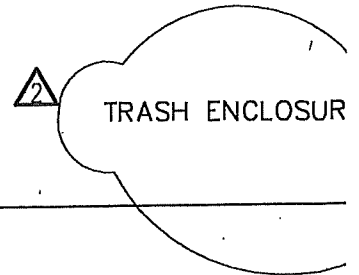
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2. EXIS EXP
3. IT S LAN
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6. CON



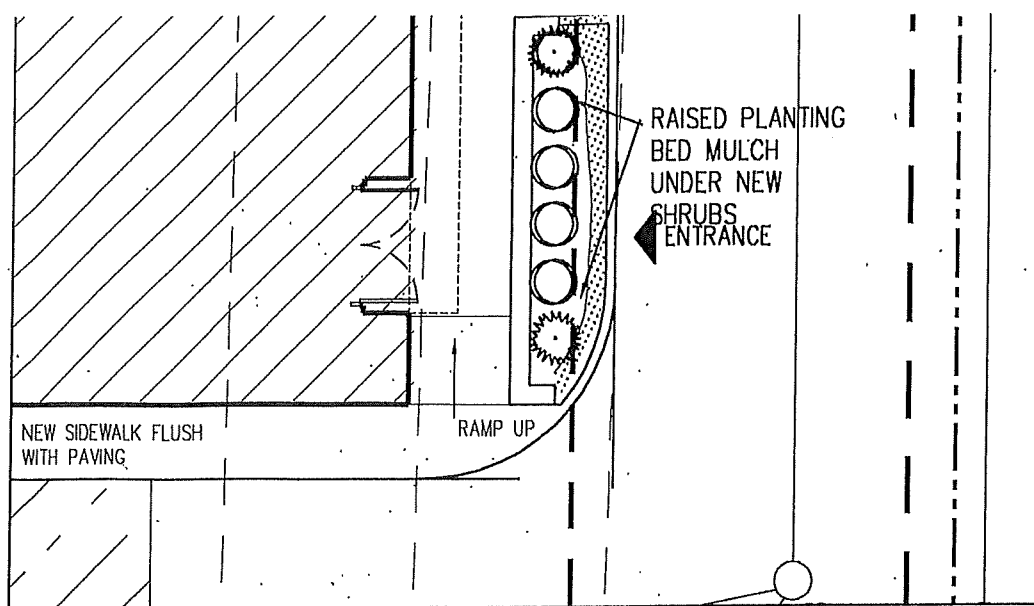


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2. EXISTING LANE EXPANSION AI
3. IT SHALL BE LANDSCAPING
4. LANDSCAPING
5. LANDSCAPE C PURPOSES OF HEALTHY HAR THE APPROVA
6. CONTRACTOR

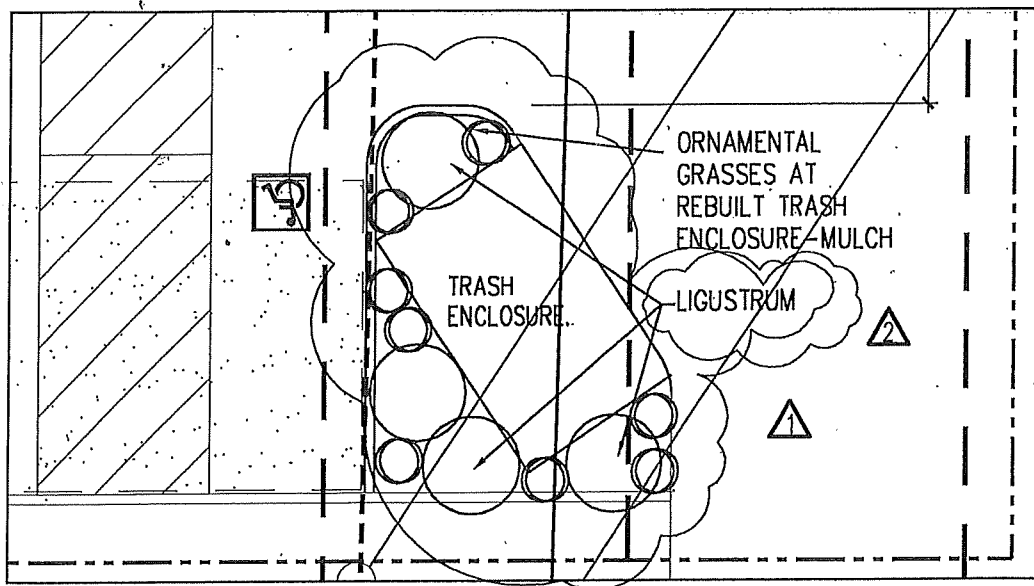


8/4/10
 Landscaping
 Plan

NEW BERM PLANTING



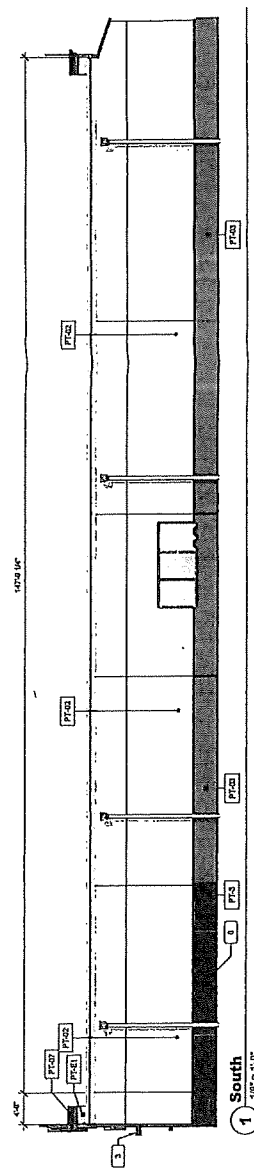
B NEW BERM PLANTING
SCALE:1:10



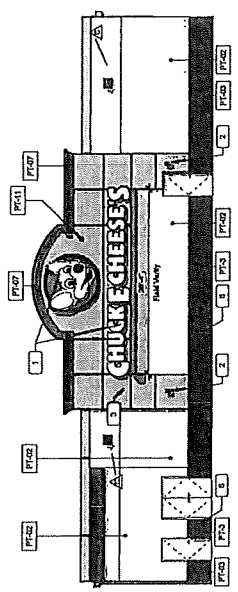
C NEW TRASH ENCLOSURE SCREEN
SCALE:1:10

8/4/10 Landscaping Plan

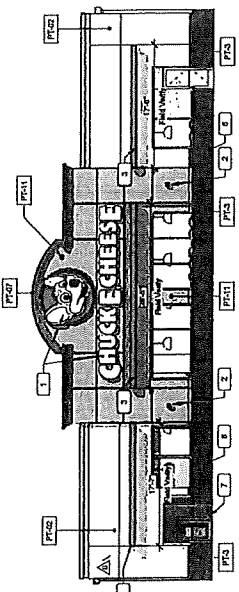
Proposed



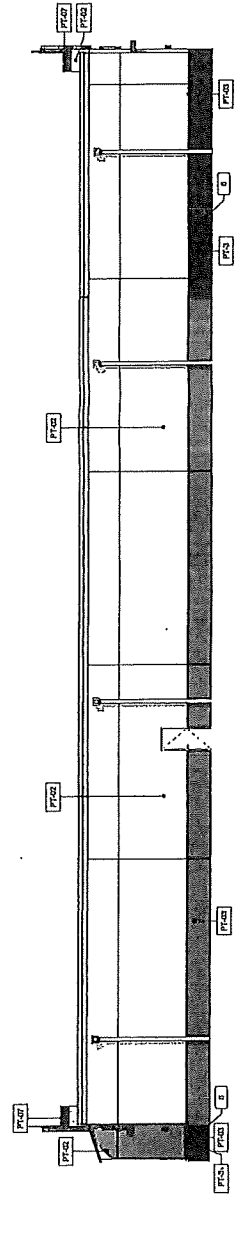
1 South
1/8" = 1'-0"



2 East
1/8" = 1'-0"



3 West
1/8" = 1'-0"



4 North
1/8" = 1'-0"

General Notes - Elevation

1. THIS ELEVATION IS A PROPOSED DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT AND SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.
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10. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT AND SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.

Scope Notes - Exterior Elevations

1. THIS ELEVATION IS A PROPOSED DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT AND SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.
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Paint Colors - Exterior

REF	MANUFACTURER	COLOR NAME	CRUISE #
PF01	Benjamin Moore	Advanced White	146
PF02	Benjamin Moore	White Dove	146
PF03	Benjamin Moore	White Dove	146
PF04	Benjamin Moore	White Dove	146
PF05	Benjamin Moore	White Dove	146
PF06	Benjamin Moore	White Dove	146
PF07	Benjamin Moore	White Dove	146
PF08	Benjamin Moore	White Dove	146
PF09	Benjamin Moore	White Dove	146
PF10	Benjamin Moore	White Dove	146
PF11	Benjamin Moore	White Dove	146
PF12	Benjamin Moore	White Dove	146
PF13	Benjamin Moore	White Dove	146
PF14	Benjamin Moore	White Dove	146
PF15	Benjamin Moore	White Dove	146
PF16	Benjamin Moore	White Dove	146
PF17	Benjamin Moore	White Dove	146
PF18	Benjamin Moore	White Dove	146
PF19	Benjamin Moore	White Dove	146
PF20	Benjamin Moore	White Dove	146
PF21	Benjamin Moore	White Dove	146
PF22	Benjamin Moore	White Dove	146
PF23	Benjamin Moore	White Dove	146
PF24	Benjamin Moore	White Dove	146
PF25	Benjamin Moore	White Dove	146
PF26	Benjamin Moore	White Dove	146
PF27	Benjamin Moore	White Dove	146
PF28	Benjamin Moore	White Dove	146
PF29	Benjamin Moore	White Dove	146
PF30	Benjamin Moore	White Dove	146
PF31	Benjamin Moore	White Dove	146
PF32	Benjamin Moore	White Dove	146
PF33	Benjamin Moore	White Dove	146
PF34	Benjamin Moore	White Dove	146
PF35	Benjamin Moore	White Dove	146
PF36	Benjamin Moore	White Dove	146
PF37	Benjamin Moore	White Dove	146
PF38	Benjamin Moore	White Dove	146
PF39	Benjamin Moore	White Dove	146
PF40	Benjamin Moore	White Dove	146
PF41	Benjamin Moore	White Dove	146
PF42	Benjamin Moore	White Dove	146
PF43	Benjamin Moore	White Dove	146
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PF67	Benjamin Moore	White Dove	146
PF68	Benjamin Moore	White Dove	146
PF69	Benjamin Moore	White Dove	146
PF70	Benjamin Moore	White Dove	146
PF71	Benjamin Moore	White Dove	146
PF72	Benjamin Moore	White Dove	146
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PF74	Benjamin Moore	White Dove	146
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PF97	Benjamin Moore	White Dove	146
PF98	Benjamin Moore	White Dove	146
PF99	Benjamin Moore	White Dove	146
PF100	Benjamin Moore	White Dove	146

PARKWAY
CONSTRUCTION ARCHITECTURE
Parkway Co., LP
1000 Olive Circle, Irving, TX 75037
ph@parkway.com (972) 221-1919

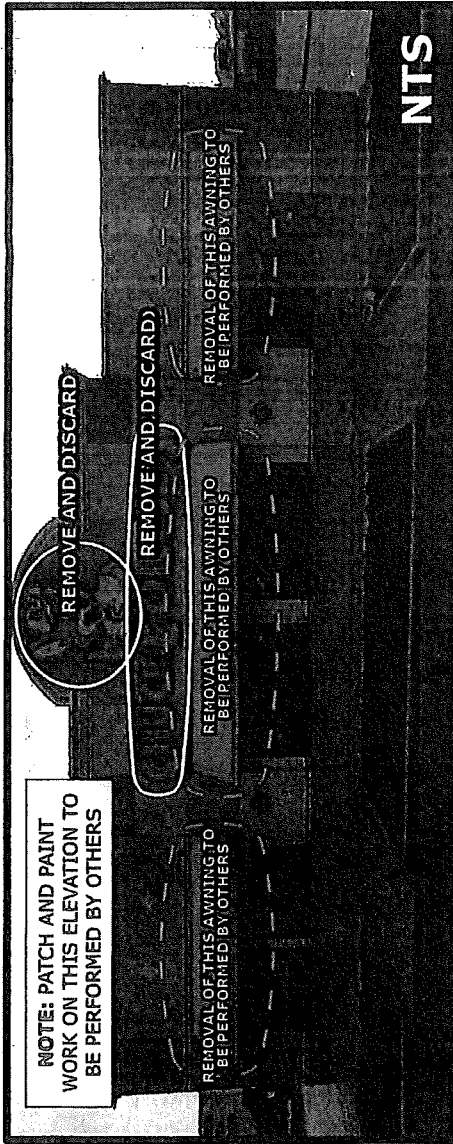


#112
7833 Mill Rd
Parsippany, NJ 07054

ARCHITECT
PARKWAY CONSTRUCTION ARCHITECTURE, LP
1000 Olive Circle
Irving, TX 75037
ph@parkway.com (972) 221-1919

ARCHITECT
PARKWAY CONSTRUCTION ARCHITECTURE, LP
1000 Olive Circle
Irving, TX 75037
ph@parkway.com (972) 221-1919

EXISTING

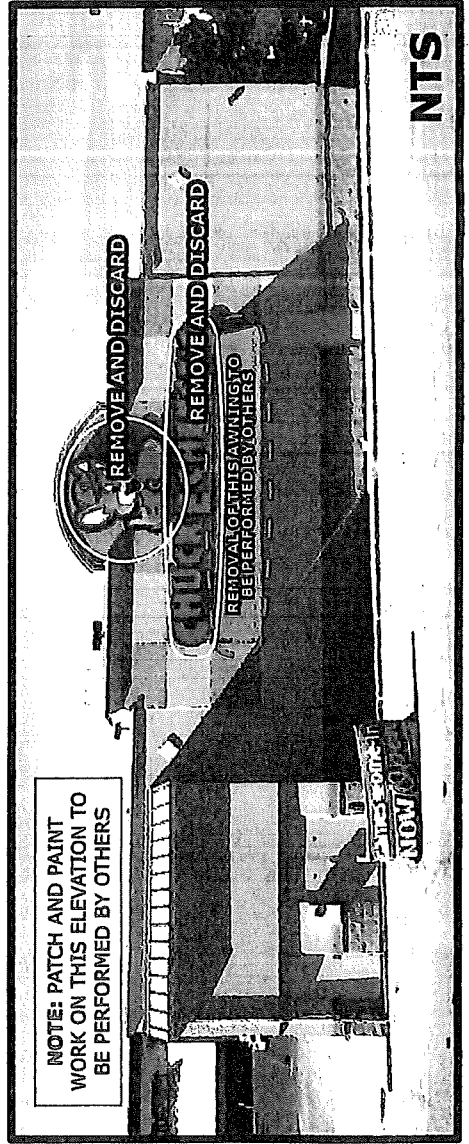


WEST (Front) Elevation

This rendering is shown for presentation purposes only

SCOPE OF WORK

- Remove existing signage
- Cap electrical connections
- Awnings to be removed by others



EAST (Rear) Elevation

This rendering is shown for presentation purposes only

SCOPE OF WORK

- Remove existing signage
- Cap electrical connections
- Awnings to be removed by others



CHUCK E. CHEESE

- Proposal Drawing
- Final Drawing

Client: Chuck E Cheese 112
 Location: 7635 Mall Rd,
 Florence, KY
 Salesperson: Pete
 Project Manager: Steven
 Date: 07/20/2021
 Designer: Bruce
 File Name: 21-0622 - CEC
 112 Exterior - Florence, KY
 FINAL R2
 Proposal #: 59739
 Job #: 21-0622



License #: 18010

Corporate Office
 5003 Senn Drive
 San Antonio, TX 78219
 (210) 348-7674
 2702 McCallum Lane
 Dallas, TX 75235
 (972) 878-1594
 Houston (State Sign)
 2974 Elicott Trail
 Houston, TX 77061
 (713) 945-1831

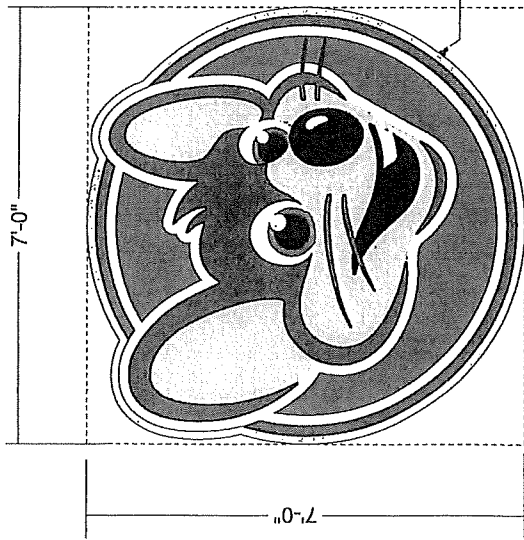
Austin (Custom Sign Creations)
 1120 S. Lamar Blvd. Ste 180
 Austin, TX 78705
 (512) 374-9300

Tyler (Design Center Signs)
 2974 Elicott Trail
 Houston, TX 77061
 (937) 357-4995



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AP-02 - EXTERIOR LOGO SIGNAGE - STACKED VERSION - DUAL LIT



TOGGLE SWITCH

49.00
SQUARE FEET
(SQUARE AREA CALCULATION)

A DUAL LIT LOGO CABINET

Scale: 1/2" = 1'-0"

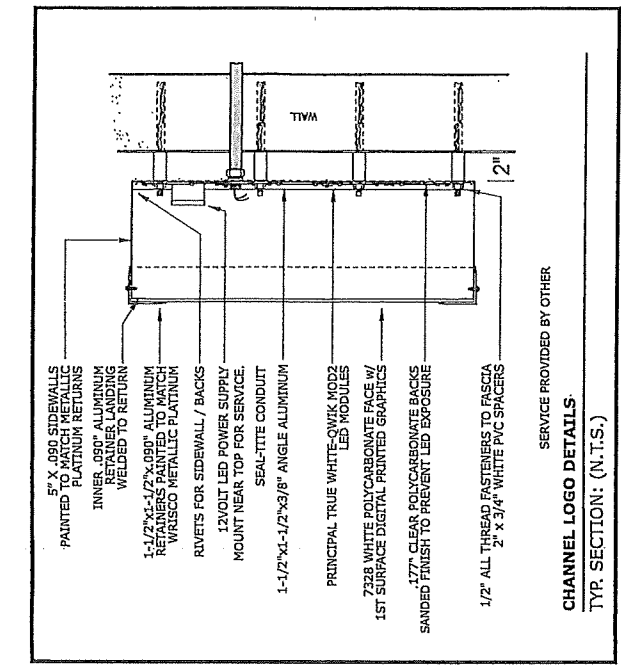
- ONE (1) Required
- 5" x .090" deep cabinet returns
- Aluminum returns - painted to match Wrisco Metallic Platinum
- .177" clear polycarbonate back
- Back to be sanded finish to prevent LED exposure
- 1 1/2" retainers painted to match Wrisco Metallic Platinum
- Principal True White Qwik Mod 2 LED modules
- Face to be 7328 White polycarbonate
- Faces to be first surface direct print w/ laminate

COLOR SCHEDULE:

- PMS WHITE ○ PMS 369
- PMS 199 ○ PMS 7520
- PMS WARM GRAY 8 ○ WRISCO METALLIC PLATINUM
- PMS WARM GRAY 1

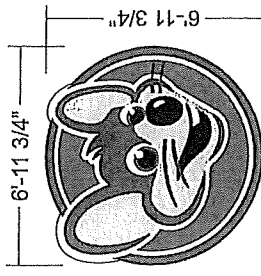
WIND LOAD: 000 MPH

© 2024 Comet Signs

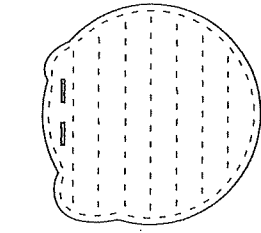


- 5" x .090 SIDEWALLS PAINTED TO MATCH METALLIC PLATINUM RETURNS
- INNER .090" ALUMINUM RETAINER LANDING WELDED TO RETURN
- 1-1/2" x 1-1/2" x .090" ALUMINUM RETAINERS PAINTED TO MATCH WRISCO METALLIC PLATINUM
- RIVETS FOR SIDEWALL / BACKS
- 12VOLT LED POWER SUPPLY MOUNT NEAR TOP FOR SERVICE.
- SEAL-TITE CONDUIT
- 1-1/2" x 1-1/2" x 3/8" ANGLE ALUMINUM
- PRINCIPAL TRUE WHITE-QWIK MOD2 LED MODULES
- 7328 WHITE POLYCARBONATE FACE W/ 1ST SURFACE DIGITAL PRINTED GRAPHICS
- .177" CLEAR POLYCARBONATE BACKS SANDED FINISH TO PREVENT LED EXPOSURE
- 1/2" ALL THREAD FASTENERS TO FASCIA 2 X 3/4" WHITE PVC SPACERS

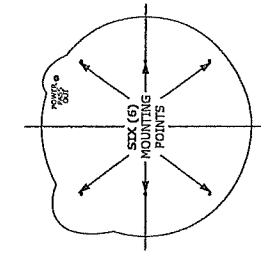
SERVICE PROVIDED BY OTHER
CHANNEL LOGO DETAILS
TYP. SECTION: (N.T.S.)



7'-0" LOGO FACE ART
Scale: 3/4" = 1'-0"



7'-0" LOGO LED LAYOUT
Scale: 3/4" = 1'-0"

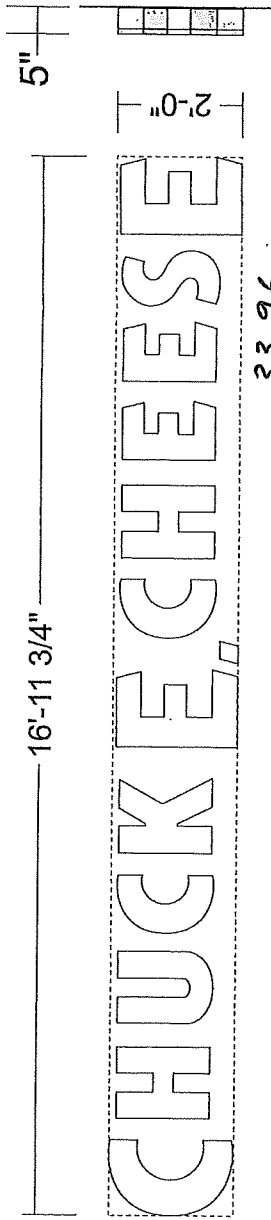


7'-0" LOGO MOUNTING POINTS and POWER
Scale: 3/4" = 1'-0"

SPACE ROWS @ 10" O.C. MAX
MAX MODS PER SERIES: 38
76 MODULES PER 60W PS
FACE/HALO LIT
(76 MODS PER BAG)
(120) TRUE WHITE QWIK MOD 2 MODULES (M-QMDX0-71)
(74FT) TRUE WHITE QWIK MOD 2 MODULES
(2) 60W POWER SUPPLIES (P-OH060-12-PL)

Client: Chuck E Cheese 112
Location: 7635 Mall Rd,
Florence, KY
Salesperson: Pete
Project Manager: Steven
Date: 07/20/2021
Designer: Bruce
File Name: 21-0622 - CEC
112 Exterior - Florence, KY
FINAL R2
Proposal #: 59739
Job #: 21-0622

16'-11 3/4"



NOTE:
This channel set
is custom for
this location

33.96

SQUARE FEET
33.96 SQ. FT. (CALCULATED)

FACE LIT CHANNEL LETTERS

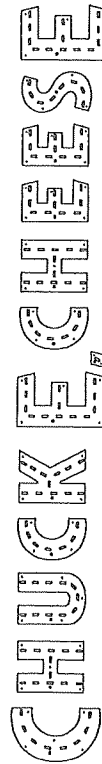
Scale: 1/2" = 1'-0"

- .040" aluminum returns Wrisco Metallic Platinum
- 3mm pre-finished white ACM backs
- 1" trim-cap Jewelite Metallic Silver
- Principal true white qwik mod2 LED modules
- Faces to be 7328 White acrylic
- Direct mount on sign band

COLOR SCHEDULE:

- White ○ PMS 199 ○ Wrisco Metallic Platinum

LED LAYOUT



Scale: 1/4" = 1'-0"

- 124 Modules: Principal LED - Qwik Mod 2 - PL-QM2-TW150-P
- 124 Total Modules
- 109.1 Watts
- 2 Power Supplies: Principal LED - Universal 60W





CHUCKE,CHEESE

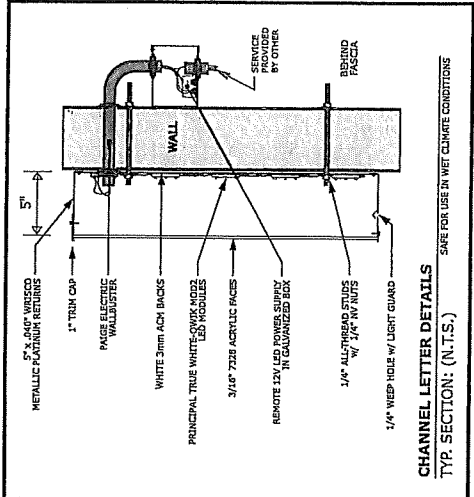
- Proposal Drawing
- Final Drawing

Client: Chuck E Cheese 112
 Location: 7635 Mall Rd,
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 Project Manager: Steven
 Date: 07/20/2021
 Designer: Bruce
 File Name: 21-0622 - CEC
 112 Exterior - Florence, KY
 FINAL R2
 Proposal #: 59739
 Job #: 21-0622




License #: 18010

Corporate Office
 San Antonio, TX 78219
 (210) 341-7244
 Dallas
 2298 Rockwood Lane
 Dallas, TX 75243
 (972) 976-1594
 Houston (Shops Sign)
 7430 Houston Road
 Houston, TX 77057
 (713) 949-1231
 Austin (Custom Sign Creation)
 1110 Kuesterweg, Suite 180
 Austin, TX 78753
 (512) 374-8888
 Tyler (Shops Sign)
 2976 Ellison Trce
 Tyler, TX 75702
 (903) 386-4955


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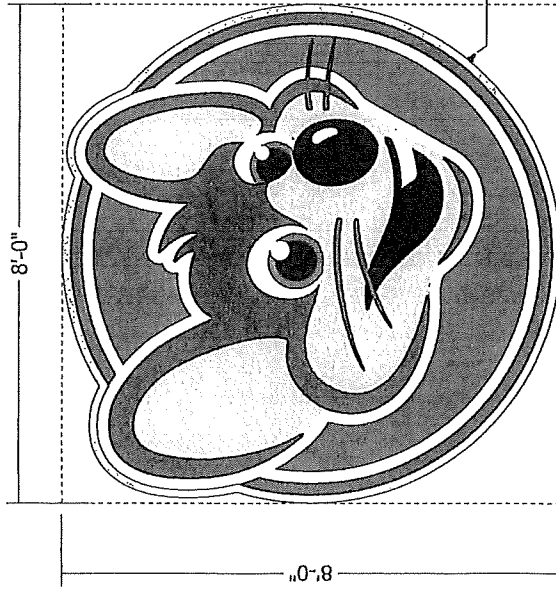


CHANNEL LETTER DETAILS
 TYP. SECTION: (N.T.S.)
 SAFE FOR USE IN WET CLIMATE CONDITIONS



ELECTRICAL
 • CIRCUITS: ONE (1)
 • VOLTAGE: 120V
 • CIRCUIT BREAKER: AMP: 20 AMPS
 • DRAW: 2.2 AMPS

AP-01 - EXTERIOR LOGO SIGNAGE - DUAL LIT



64.00
SQUARE FEET
(SQUARE AREA CALCULATION)

C DUAL LIT LOGO CABINET

Scale: 1/2" = 1'-0"

ONE (1) Required

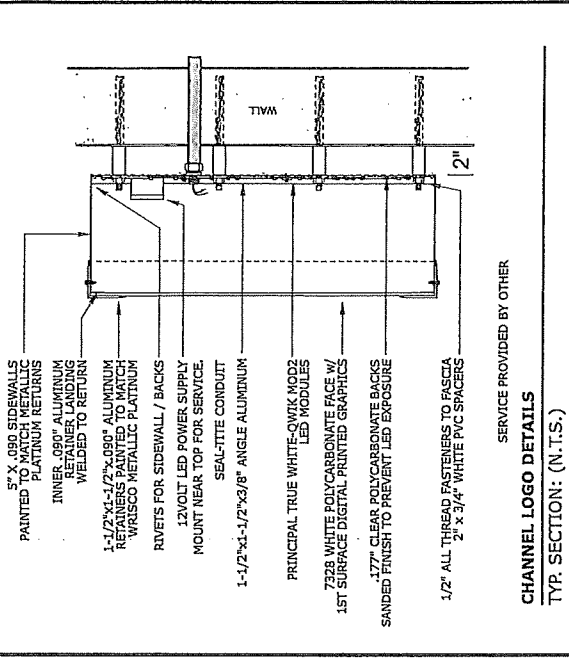
- 5" x .090" deep cabinet returns
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- .177" clear polycarbonate back
- Back to be sanded finish to prevent LED exposure
- 1 1/2" retainers painted to match Wrisco Metallic Platinum
- Principal True White Qwik Mod 2 LED modules
- Face to be 7328 White polycarbonate
- Faces to be first surface direct print w/ laminate

COLOR SCHEDULE:

- PMS WHITE
- PMS 199
- PMS WARM GRAY 8
- PMS WARM GRAY 1
- PMS 369
- PMS 7520
- WRISCO METALLIC PLATINUM

WIND LOAD: 000 MPH

© 2028 Cornet Signs



CHUCK E. CHEESE

- Proposal Drawing
- Final Drawing

Client: Chuck E Cheese 112
Location: 7635 Mall Rd,
Florence, KY
Salesperson: Pete
Project Manager: Steven
Date: 07/20/2021
Designer: Bruce
File Name: 21-0622 - CEC
112 Exterior - Florence, KY
FINAL R2
Proposal #: 59739
Job #: 21-0622

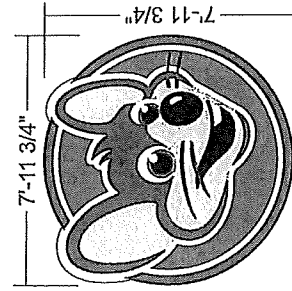


License #: 18010

Cornet Signs
5003 State Office
San Antonio, TX 78239
(214) 506-7244
Dallas
2703 Woodfield Lane
Dallas, TX 75235
(972) 876-1594
Houston (State Sign)
11000 Katy Rd
Houston, TX 77054
(713) 943-4451
Austin (Custom Sign Creations)
1376 S. Lamar Blvd
Austin, TX 78704
(512) 374-9300
Tyler (Design Center Signs)
2971 Elkton Trail
Tyler, TX 75701
(903) 563-4993

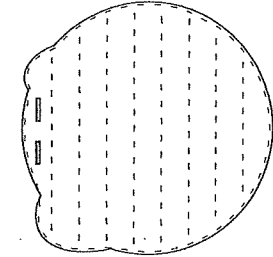


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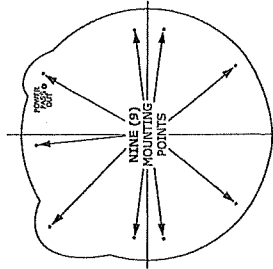
8'-0" LOGO FACE ART

Scale: 1/4" = 1'-0"



8'-0" LOGO LED LAYOUT

Scale: 1/4" = 1'-0"



8'-0" LOGO MOUNTING POINTS and POWER

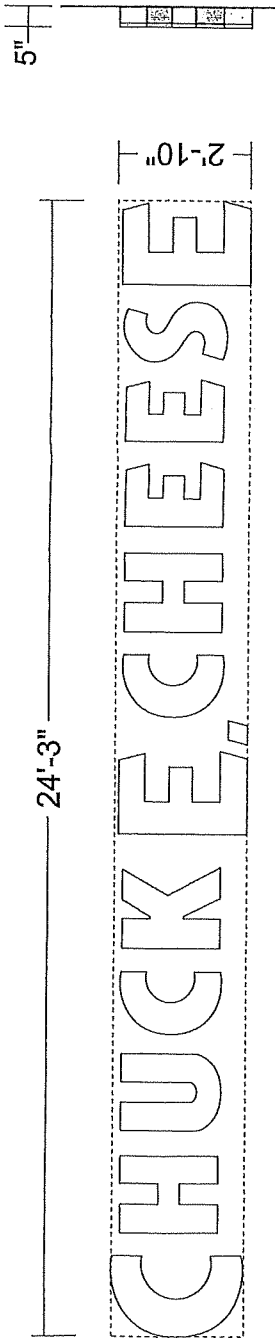
Scale: 1/4" = 1'-0"

SPACE ROWS @ 10" O.C. MAX
MAX MODS PER SERIES: 38
76 MODULES PER 60W PS

FACEHALO LIT
(76 MODS PER BAG)
(150) TRUE WHITE QWIK MOD 2 MODULES
(2) 60W POWER SUPPLIES (P-OH060-12-FL)

ELECTRICAL

- CIRCUITS: ONE (1)
- VOLTAGE: 120V
- CIRCUIT BREAKER: 20 AMP
- DRAW: 2.2 AMP



68.71

D **FACE LIT CHANNEL LETTERS**

ONE (1) Required Scale: 3/8"=1'-0"

- .040" aluminum returns Wrisco Metallic Platinum
- 3mm pre-finished white ACM backs
- 1" trim-cap Jewelite Metallic Silver
- Principal true white qwik mod2 LED modules
- Faces to be 7328 White acrylic
- Direct mount on sign band

COLOR SCHEDULE:

- White © Wrisco Metallic Platinum

WIND LOAD: 000 MPH

NOTE: See Page 10 for LED layouts and wiring



CHUCK E. CHEESE

- Proposal Drawing
- Final Drawing

Client: Chuck E Cheese 112
 Location: 7635 Mall Rd,
 Florence, KY
 Salesperson: Pete
 Project Manager: Steven
 Date: 07/20/2021
 Designer: Bruce
 File Name: 21-0622 - CEC
 112 Exterior - Florence, KY
 FINAL R2
 Proposal #: 59729
 Job #: 21-0622

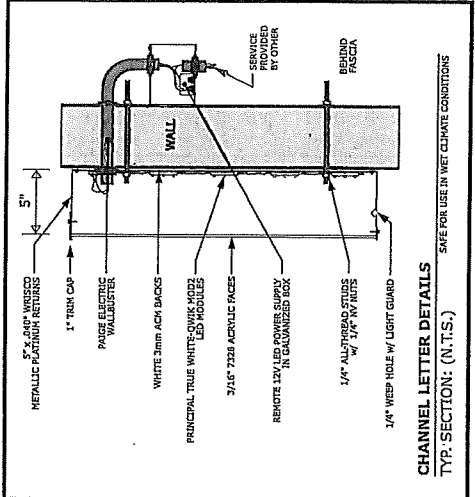


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 Dallas, TX 75235
 (972) 479-1594
 Houston (Gatz Sign)
 7630 Hansen Road
 Houston, TX 77058
 (713) 943-1831
 Austin (Custom Sign Creation)
 11350 Rubenford, Suite 180
 Austin, TX 78758
 (512) 374-2200
 Tyler (Comet Signs)
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CHANNEL LETTER DETAILS
 SAFE FOR USE IN WET CLIMATE CONDITIONS
 TYP. SECTION: (N.T.S.)

ELECTRICAL
 • CIRCUITS: ONE (1)
 • VOLTAGE: 12V
 • CIRCUIT BREAKER AMP: 20 AMP
 • DRAW: 2.2 AMPS

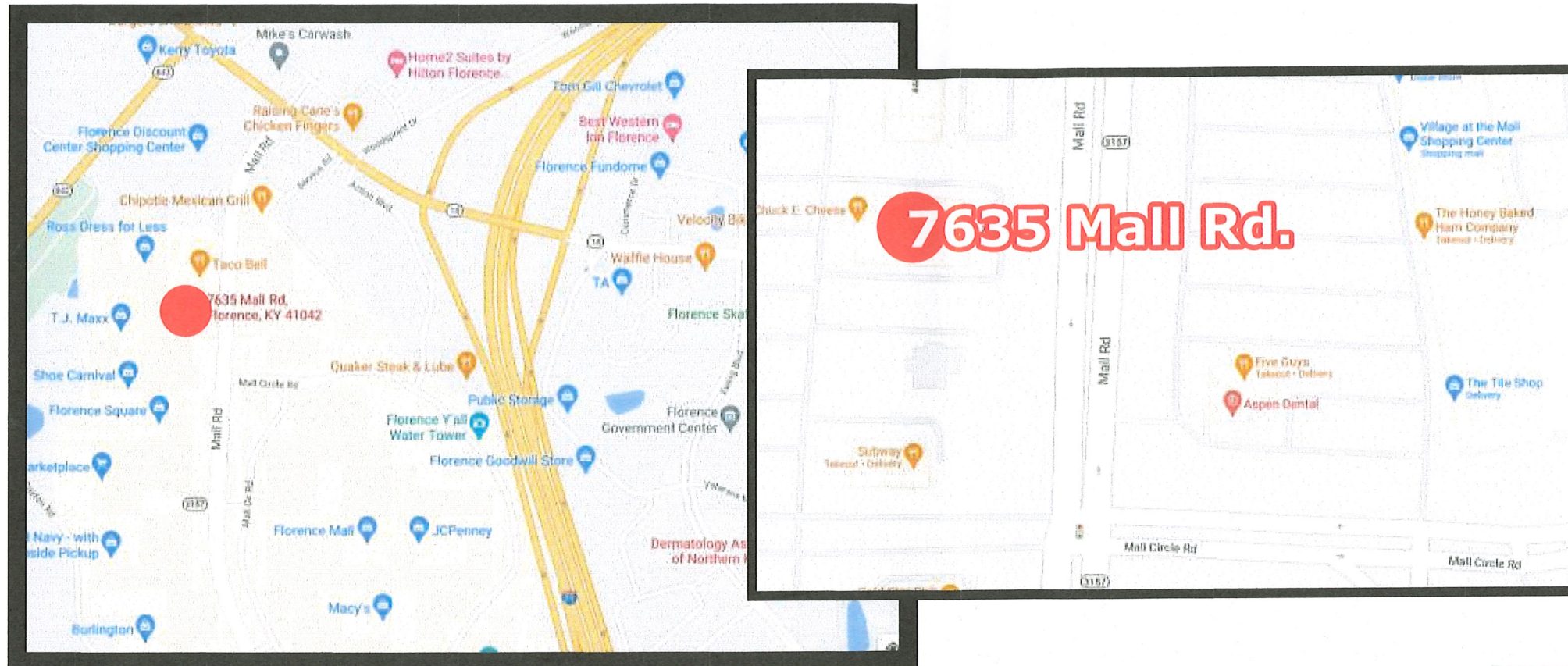


CHUCK E. CHEESE



CHUCK E. CHEESE

Proposal Drawing
 Final Drawing

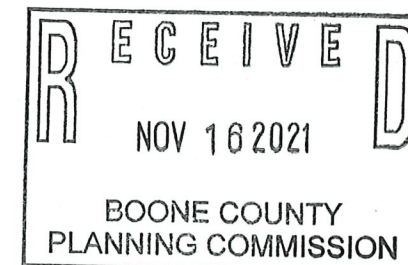


Client: Chuck E Cheese 112
Location: 7635 Mall Rd,
Florence, KY
Salesperson: Pete
Project Manager: Steven
Date: 07/20/2021
Designer: Bruce
File Name: 21-0622 - CEC
112 Exterior - Florence, KY
FINAL R2
Proposal #: 59739
Job #: 21-0622

#112 - Exterior - Florence, KY

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____



REVISIONS

- 1 07-30-2021/JH: Marked job Final
- 2 08-31-2021/BB: revised elevations for permitting
- 3 _____
- 4 _____
- 5 _____

- 6 _____
- 7 _____
- 8 _____
- 9 _____
- 10 _____



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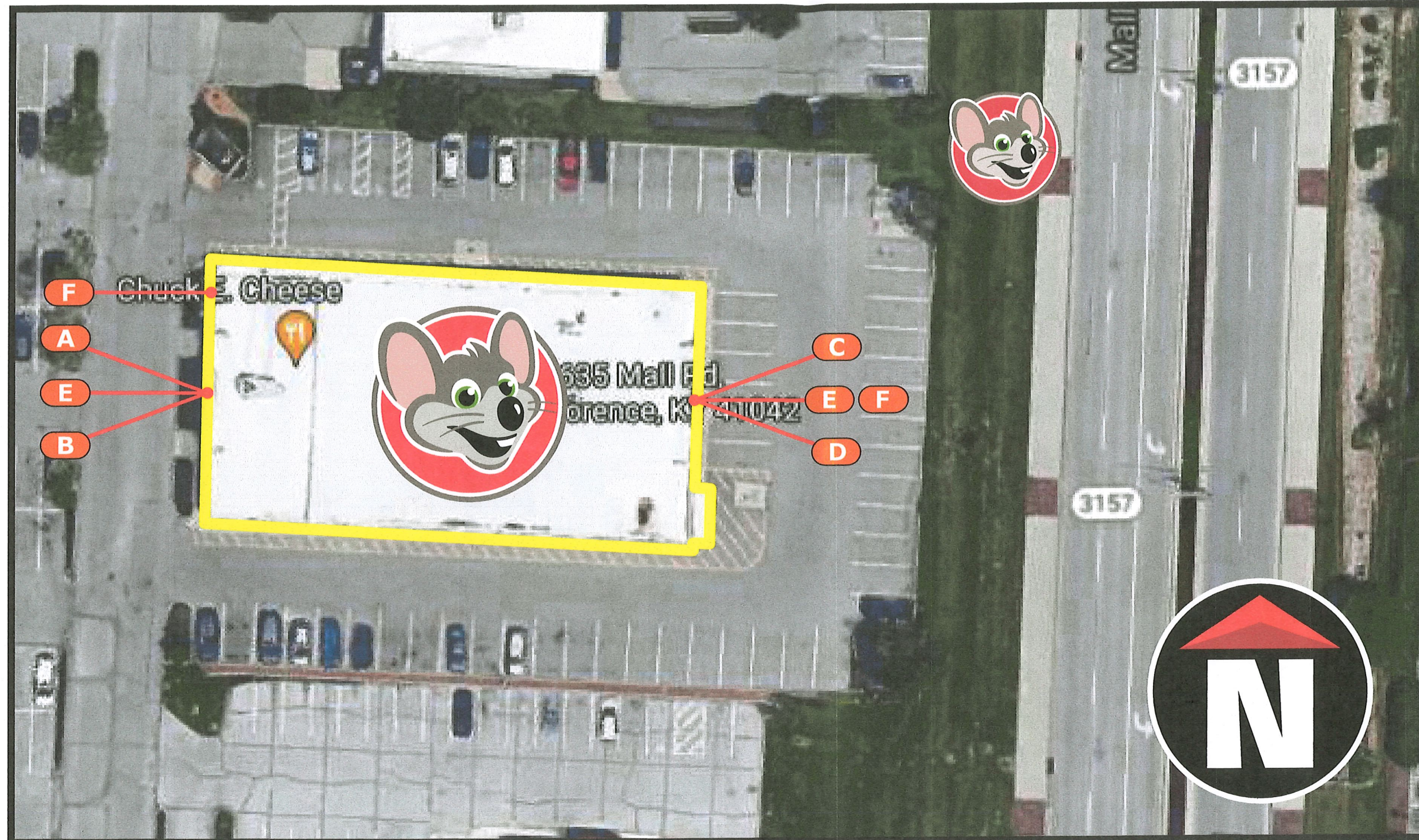
Houston (State Sign)
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1130 Rutherford, Suite 180
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SITE PLAN



CHUCK E. CHEESE

Proposal Drawing
 Final Drawing

Client: Chuck E Cheese 112
 Location: 7635 Mall Rd,
 Florence, KY
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 Date: 07/20/2021
 Designer: Bruce
 File Name: 21-0622 - CEC
 112 Exterior - Florence, KY
 FINAL R2
 Proposal #: 59739
 Job #: 21-0622



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EXISTING



WEST (Front) Elevation

This rendering is shown for presentation purposes only

SCOPE OF WORK

- Remove existing signage
- Cap electrical connections
- Awnings to be removed by others



EAST (Rear) Elevation

This rendering is shown for presentation purposes only

SCOPE OF WORK

- Remove existing signage
- Cap electrical connections
- Awnings to be removed by others



CHUCK E. CHEESE

Proposal Drawing
 Final Drawing

Client: Chuck E Cheese 112
 Location: 7635 Mall Rd,
 Florence, KY
 Salesperson: Pete
 Project Manager: Steven
 Date: 07/20/2021
 Designer: Bruce
 File Name: 21-0622 - CEC
 112 Exterior - Florence, KY
 FINAL R2
 Proposal #: 59739
 Job #: 21-0622



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 7630 Hansen Road
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 (713) 943-1831

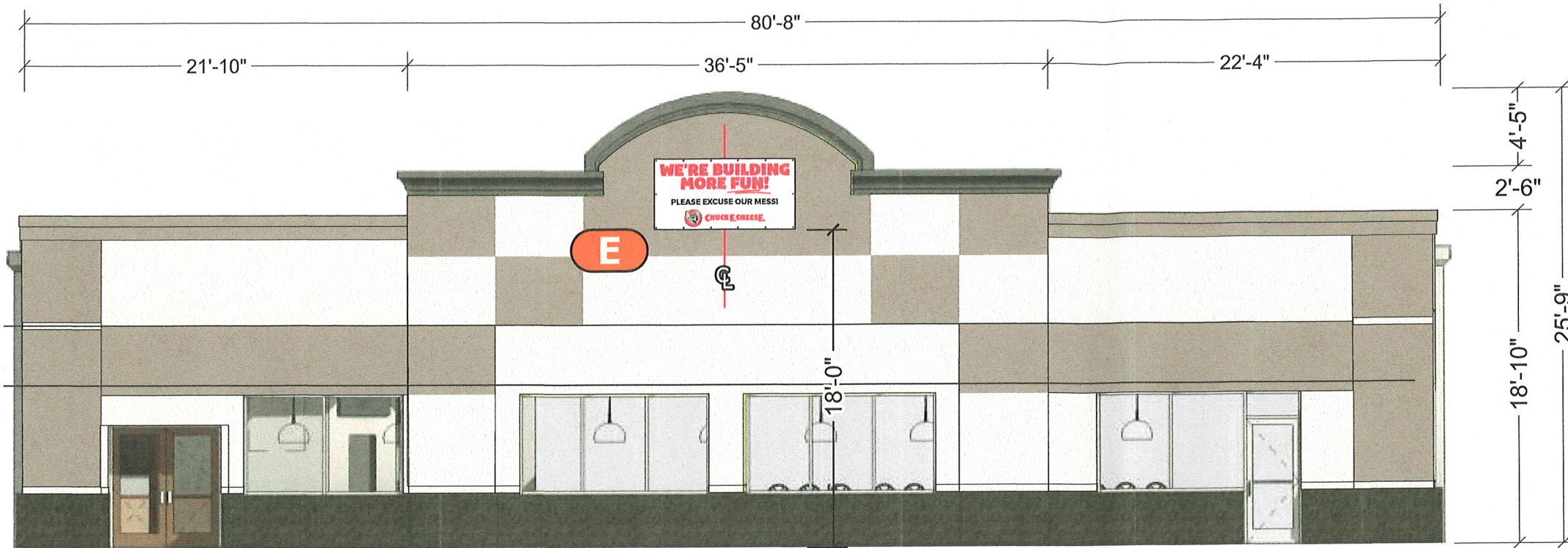
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RENOVATION



Scale: 1/8"=1'-0"

WEST (Front) Elevation

This rendering is shown for presentation purposes only

SCOPE OF WORK

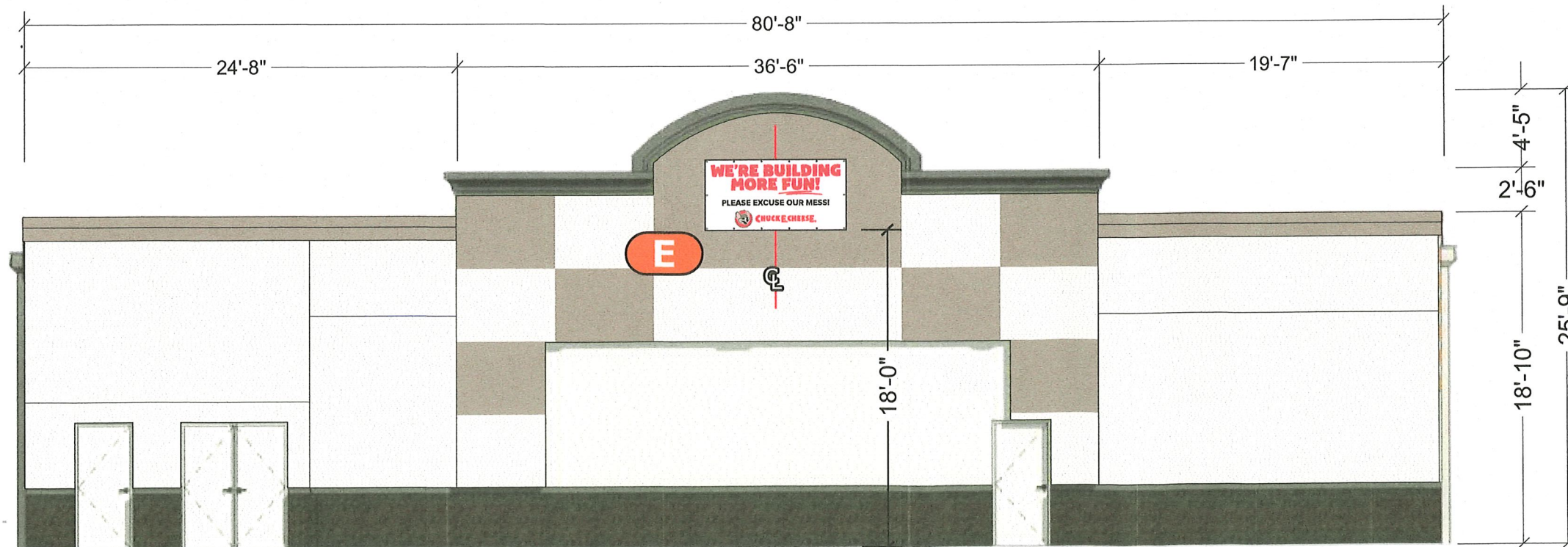
- Install new banner w/ buckets and ropes



CHUCK E. CHEESE

- Proposal Drawing
- Final Drawing

Client: Chuck E Cheese 112
 Location: 7635 Mall Rd,
 Florence, KY
 Salesperson: Pete
 Project Manager: Steven
 Date: 07/20/2021
 Designer: Bruce
 File Name: 21-0622 - CEC
 112 Exterior - Florence, KY
 FINAL R2
 Proposal #: 59739
 Job #: 21-0622



Scale: 1/8"=1'-0"

EAST (Rear) Elevation

This rendering is shown for presentation purposes only

SCOPE OF WORK

- Install new banner w/ buckets and ropes



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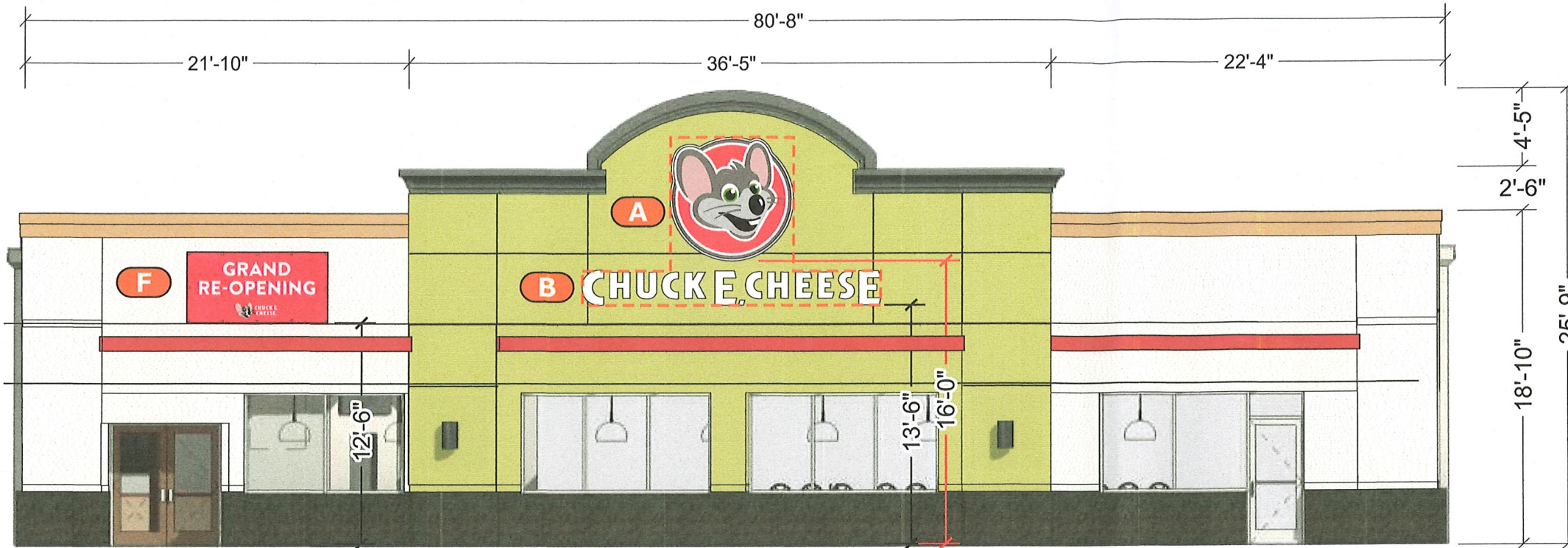
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PROPOSED



Scale: 1/8"=1'-0"

WEST (Front) Elevation

This rendering is shown for presentation purposes only

85.63
SQUARE FEET
SQUARE AREA CALCULATION
Six Line Rule

SCOPE OF WORK

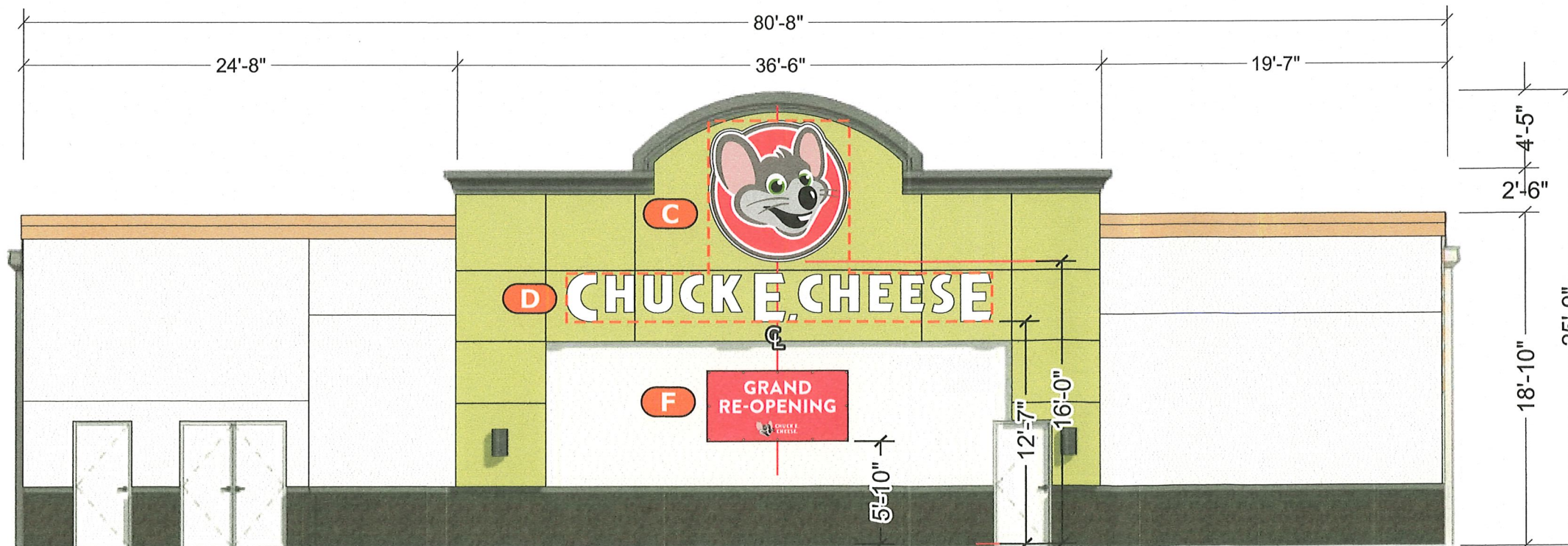
- Install new proposed signage
- Connect to existing electrical
- Install new banner w/ buckets and ropes



CHUCK E. CHEESE

- Proposal Drawing
- Final Drawing

Client: Chuck E Cheese 112
Location: 7635 Mall Rd,
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Salesperson: Pete
Project Manager: Steven
Date: 07/20/2021
Designer: Bruce
File Name: 21-0622 - CEC
112 Exterior - Florence, KY
FINAL R2
Proposal #: 59739
Job #: 21-0622



Scale: 1/8"=1'-0"

EAST (Rear) Elevation

This rendering is shown for presentation purposes only

135.12
SQUARE FEET
SQUARE AREA CALCULATION
Six Line Rule

SCOPE OF WORK

- Install new proposed signage
- Connect to existing electrical
- Install new banner w/ buckets and ropes



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(972) 870-1594

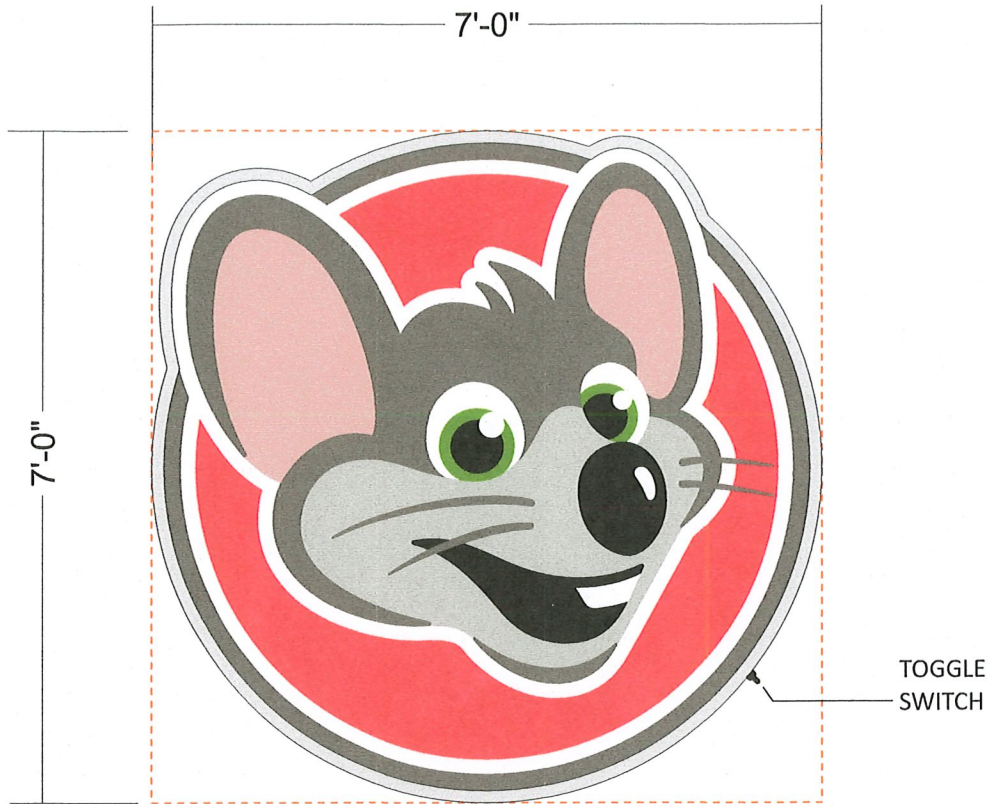
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(713) 943-1831

Austin (Custom Sign Creations)
1130 Rutherford, Suite 180
Austin, TX 78753
(512) 374-9300

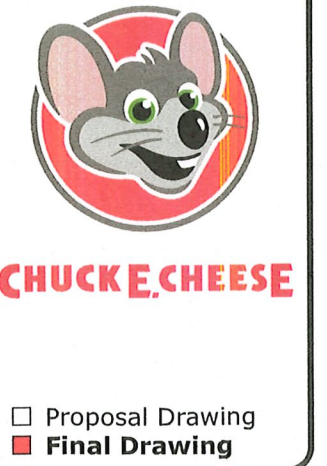
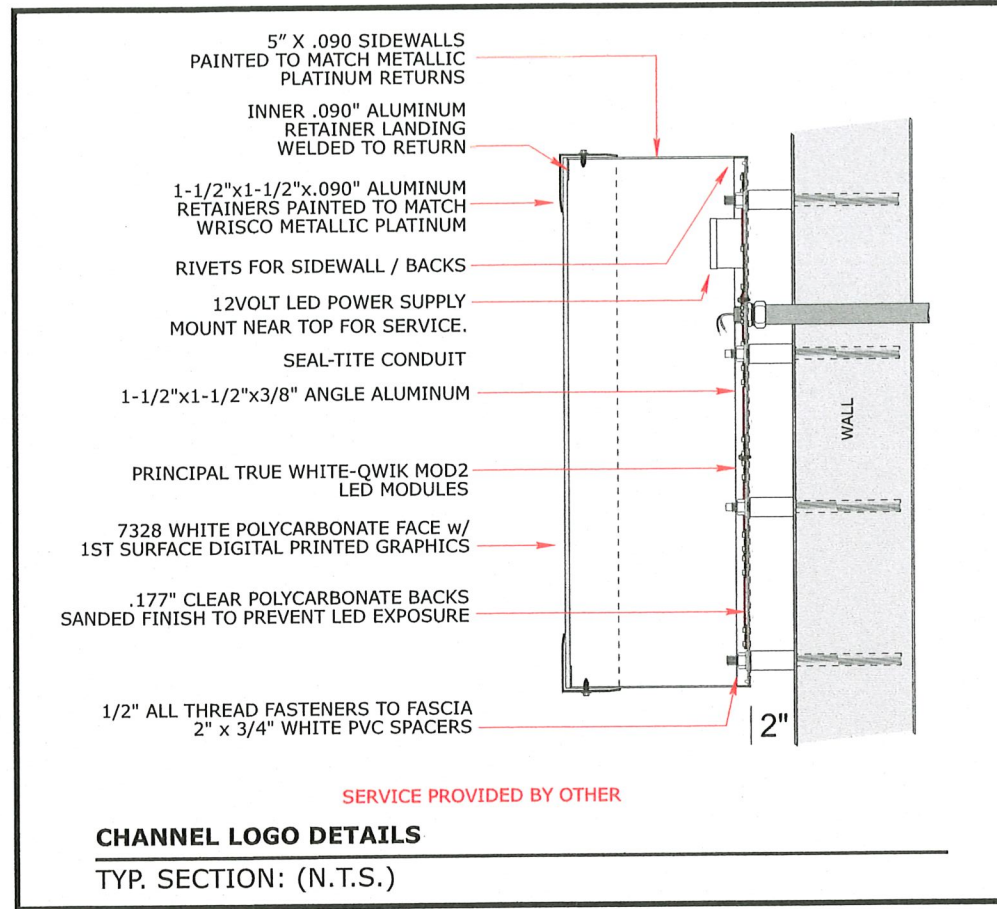
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Tyler, TX 75703
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49.00
SQUARE FEET
SQUARE AREA CALCULATION



Client: Chuck E Cheese 112
 Location: 7635 Mall Rd,
 Florence, KY
 Salesperson: Pete
 Project Manager: Steven
 Date: 07/20/2021
 Designer: Bruce
 File Name: 21-0622 - CEC
 112 Exterior - Florence, KY
 FINAL R2
 Proposal #: 59739
 Job #: 21-0622

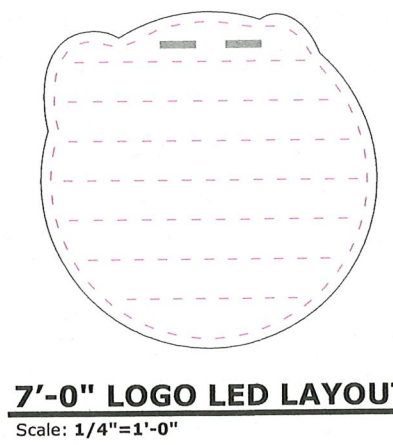
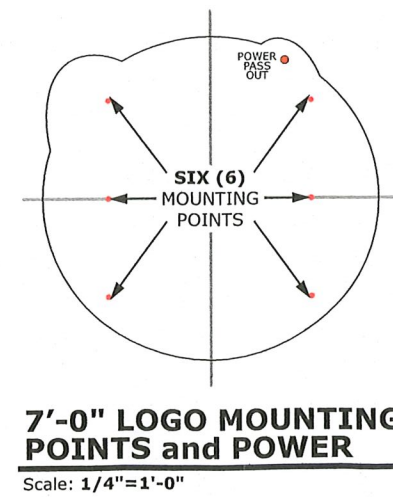
A DUAL LIT LOGO CABINET
ONE (1) Required Scale: 1/2"=1'-0"

- 5" x .090" deep cabinet returns
- Aluminum returns - painted to match Wrisco Metallic Platinum
- .177" clear polycarbonate back
- Back to be sanded finish to prevent LED exposure
- 1 1/2" retainers painted to match Wrisco Metallic Platinum
- Principal True White Qwik Mod 2 LED modules
- Face to be 7328 White polycarbonate
- Faces to be first surface direct print w/ laminate

COLOR SCHEDULE:

- PMS WHITE
- PMS 369
- PMS 199
- PMS 7520
- PMS WARM GRAY 8
- WRISCO METALLIC PLATINUM
- PMS WARM GRAY 1

WIND LOAD: 000 MPH



ELECTRICAL

- CIRCUITS: ONE (1)
- VOLTAGE: 120v
- CIRCUIT BREAKER AMP: 20 AMPS
- DRAW: 2.2 AMPS

SPACE ROWS @ 10" O.C. MAX
 MAX MODS PER SERIES: 38
 76 MODULES PER 60W PS

FACE/HALO LIT
 (76 MODS PER BAG)
 (120) TRUE WHITE QWIK MOD 2 MODULES (M-QMDX0-71)
 71FT TRUE WHITE QWIK MOD 2 MODULES
 (2) 60W POWER SUPPLIES (P-OH060-12-PL)

Comet SIGNS

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 5003 Stout Drive
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 (210) 341-7244

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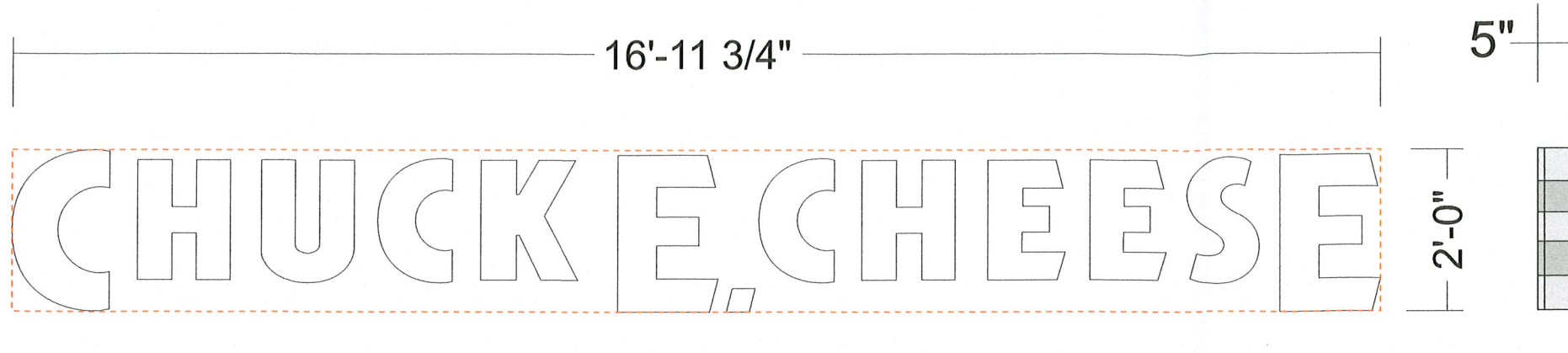
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INTERNATIONAL TRADEMARK ASSOCIATION
 TEXAS SIGN ASSOCIATION

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NOTE:
This channel set
is custom for
this location



CHUCK E. CHEESE

Proposal Drawing
 Final Drawing

Client: Chuck E Cheese 112
Location: 7635 Mall Rd,
Florence, KY
Salesperson: Pete
Project Manager: Steven
Date: 07/20/2021
Designer: Bruce
File Name: 21-0622 - CEC
112 Exterior - Florence, KY
FINAL R2
Proposal #: 59739
Job #: 21-0622

B **FACE LIT CHANNEL LETTERS**
ONE (1) Required Scale: 1/2"=1'-0"

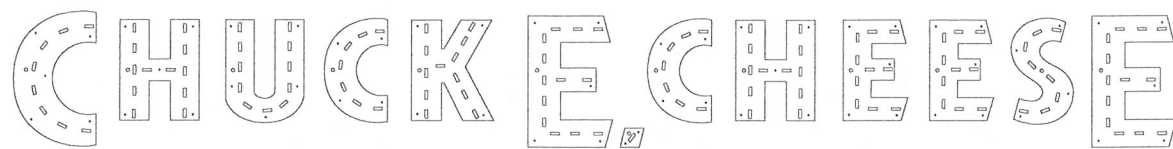
34.16
SQUARE FEET
SQUARE AREA CALCULATION

- .040" aluminum returns Wrisco Metallic Platinum
- 3mm pre-finished white ACM backs
- 1" trim-cap Jewelite Metallic Silver
- Principal true white qwik mod2 LED modules
- Faces to be 7328 White acrylic
- Direct mount on sign band

COLOR SCHEDULE:

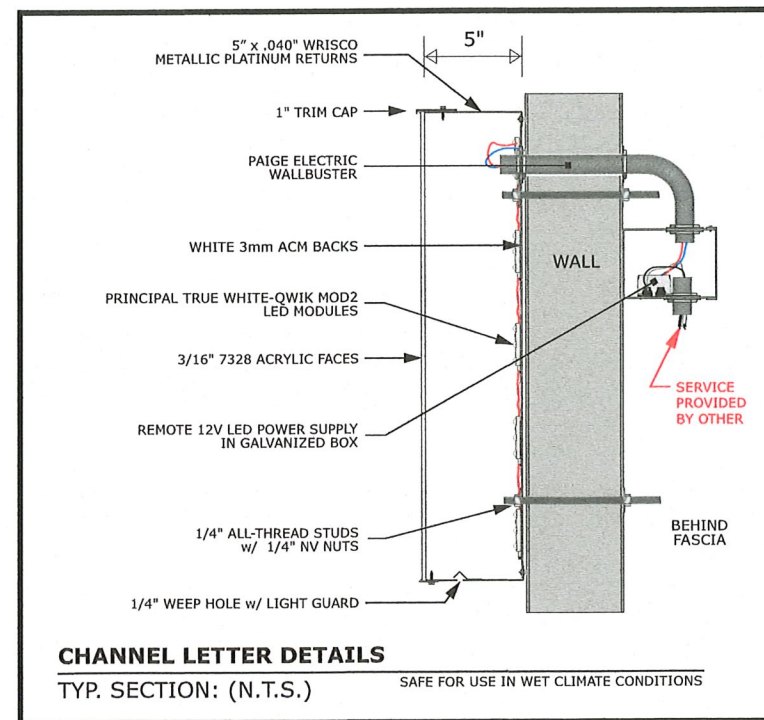
- White
- PMS 199
- Wrisco Metallic Platinum

LED LAYOUT



Scale: 1/4"=1'-0"

124 Modules: Principal LED - Qwik Mod 2 - PL-QM2-TW150-P
124 Total Modules
109.1 Watts
2 Power Supplies: Principal LED - Universal 60W



ELECTRICAL

- CIRCUITS: ONE (1)
- VOLTAGE: 120v
- CIRCUIT BREAKER AMP: 20 AMPS
- DRAW: 2.2 AMPS



License #: 18010

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Dallas, TX 75235
(972) 870-1594

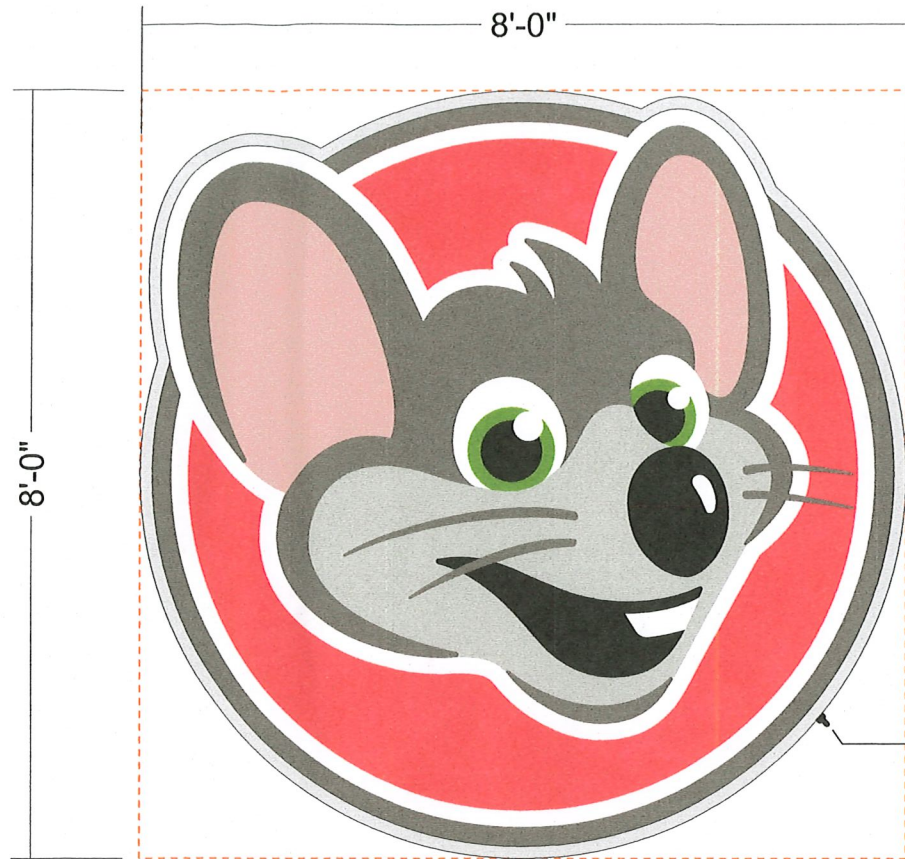
Houston (State Sign)
7630 Hansen Road
Houston, TX 77061
(713) 943-1831

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1130 Rutherford, Suite 180
Austin, TX 78753
(512) 374-9300

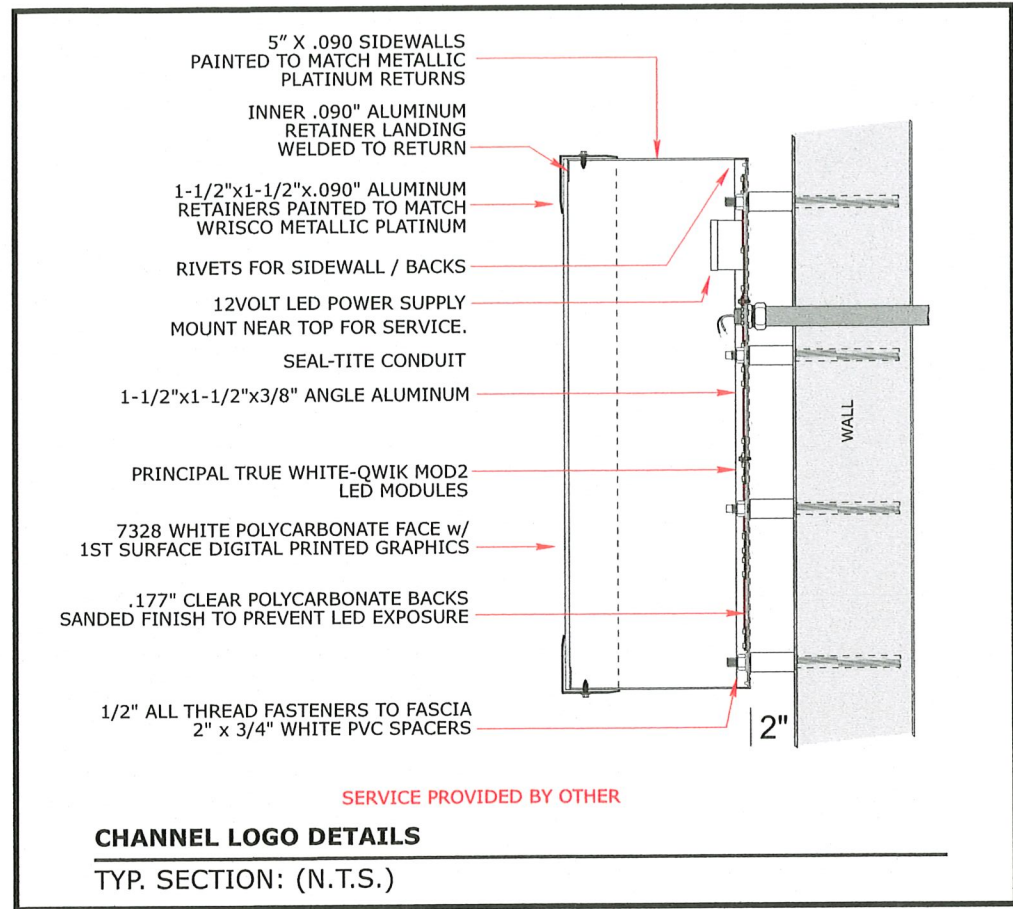
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TOGGLE SWITCH
64.00
 SQUARE FEET
SQUARE AREA CALCULATION



CHUCK E. CHEESE

Proposal Drawing
 Final Drawing

Client: Chuck E Cheese 112
 Location: 7635 Mall Rd, Florence, KY
 Salesperson: Pete
 Project Manager: Steven
 Date: 07/20/2021
 Designer: Bruce
 File Name: 21-0622 - CEC
 112 Exterior - Florence, KY
 FINAL R2
 Proposal #: 59739
 Job #: 21-0622

C DUAL LIT LOGO CABINET

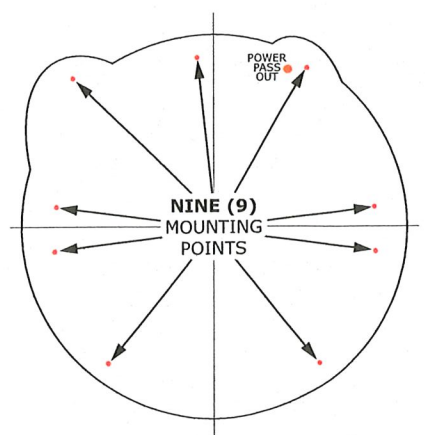
ONE (1) Required Scale: 1/2"=1'-0"

- 5" x .090" deep cabinet returns
- Aluminum returns - painted to match Wrisco Metallic Platinum
- .177" clear polycarbonate back
- Back to be sanded finish to prevent LED exposure
- 1 1/2" retainers painted to match Wrisco Metallic Platinum
- Principal True White Qwik Mod 2 LED modules
- Face to be 7328 White polycarbonate
- Faces to be first surface direct print w/ laminate

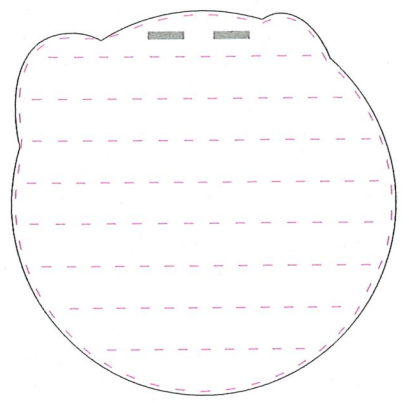
COLOR SCHEDULE:

- PMS WHITE
- PMS 369
- PMS 199
- PMS 7520
- PMS WARM GRAY 8
- WRISCO METALLIC PLATINUM
- PMS WARM GRAY 1

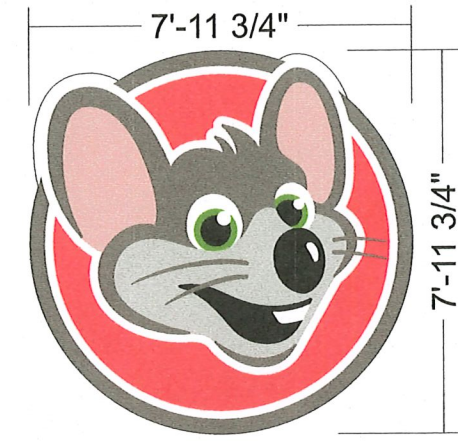
WIND LOAD: 000 MPH



8'-0" LOGO MOUNTING POINTS and POWER
 Scale: 1/4"=1'-0"



8'-0" LOGO LED LAYOUT
 Scale: 1/4"=1'-0"



8'-0" LOGO FACE ART
 Scale: 1/4"=1'-0"

ELECTRICAL

- CIRCUITS: ONE (1)
- VOLTAGE: 120v
- CIRCUIT BREAKER AMP: 20 AMPS
- DRAW: 2.2 AMPS

SPACE ROWS @ 10" O.C. MAX
 MAX MODS PER SERIES: 38
 76 MODULES PER 60W PS

FACE/HALO LIT
 (76 MODS PER BAG)
 (150) TRUE WHITE QWIK MOD 2 MODULES (M-QMDX0-71)
 89FT TRUE WHITE QWIK MOD 2 MODULES
 (2) 60W POWER SUPPLIES (P-OH060-12-PL)



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 (972) 870-1594

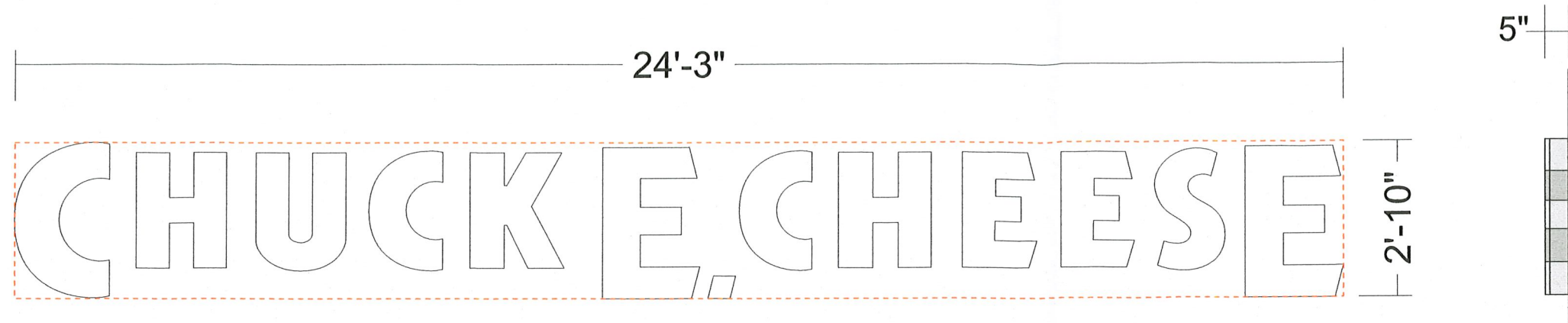
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 Houston, TX 77061
 (713) 943-1831

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D **FACE LIT CHANNEL LETTERS**
ONE (1) Required Scale: 3/8"=1'-0"

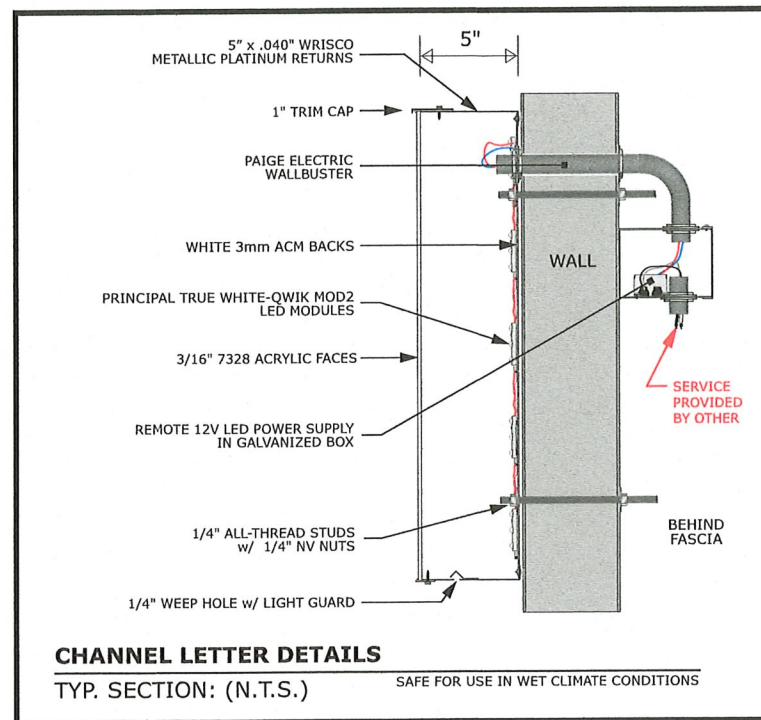
68.70
 SQUARE FEET
SQUARE AREA CALCULATION

- .040" aluminum returns Wrisco Metallic Platinum
- 3mm pre-finished white ACM backs
- 1" trim-cap Jewelite Metallic Silver
- Principal true white qwik mod2 LED modules
- Faces to be 7328 White acrylic
- Direct mount on sign band

COLOR SCHEDULE:

- White
- Wrisco Metallic Platinum

WIND LOAD: 000 MPH



ELECTRICAL

- CIRCUITS: ONE (1)
- VOLTAGE: 120v
- CIRCUIT BREAKER AMP: 20 AMPS
- DRAW: 2.2 AMPS

CHUCK E. CHEESE

Proposal Drawing
 Final Drawing

Client: Chuck E Cheese 112
 Location: 7635 Mall Rd,
 Florence, KY
 Salesperson: Pete
 Project Manager: Steven
 Date: 07/20/2021
 Designer: Bruce
 File Name: 21-0622 - CEC
 112 Exterior - Florence, KY
 FINAL R2
 Proposal #: 59739
 Job #: 21-0622

License #: 18010

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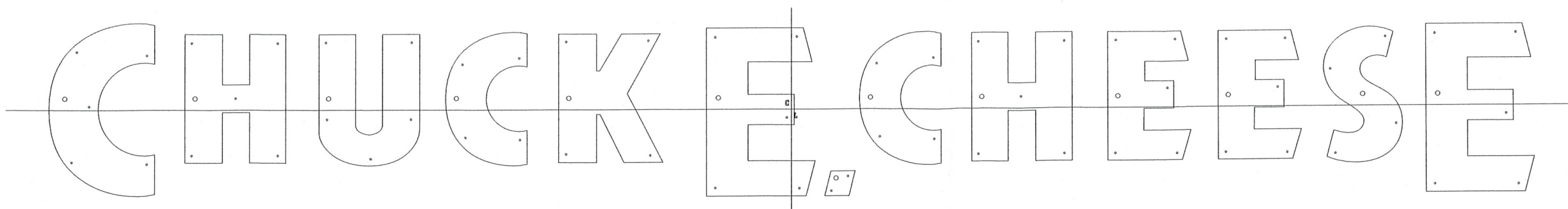
INTERNATIONAL SIGN ASSOCIATION TEXAS SIGN ASSOCIATION

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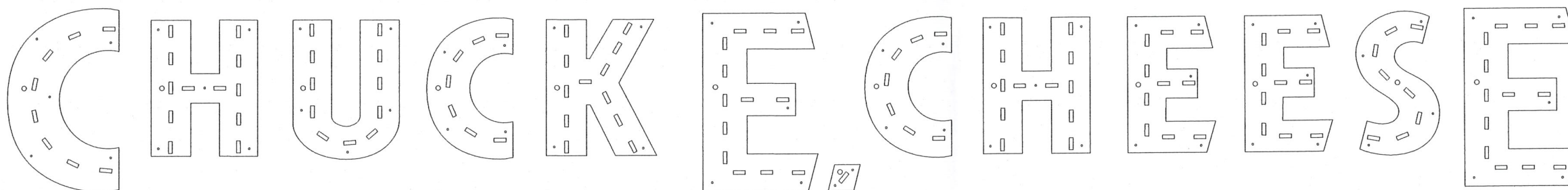
Page 9-of-12

NOTE: See Page 10 for LED layouts and wiring

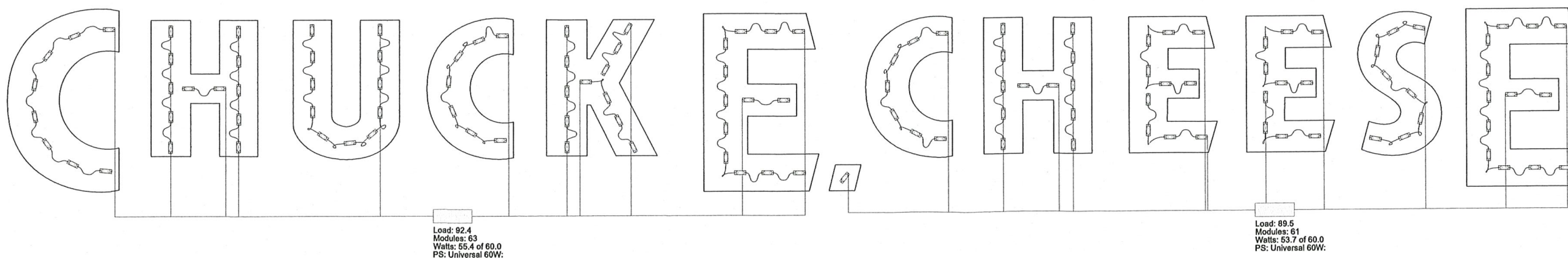
INSTALL PATTERN



LED LAYOUT



LED w/ WIRING LAYOUT



CHUCK E. CHEESE

Proposal Drawing
 Final Drawing

Client: Chuck E Cheese 112
Location: 7635 Mall Rd,
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Salesperson: Pete
Project Manager: Steven
Date: 07/20/2021
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Houston (State Sign)
7630 Hansen Road
Houston, TX 77061
(713) 943-1831

Austin (Custom Sign Creations)
1130 Rutherford, Suite 180
Austin, TX 78753
(512) 374-9300

Tyler (Design Center Signs)
2971 Elkton Trail
Tyler, TX 75703
(903) 561-4995



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Scale: 1/2" = 1'-0"



James Heath
07.30.21



VINYL BANNERS

TWO (2) Required

Scale: 3/4" = 1'-0"

- Manufacture and install two (2) vinyl banners
- Banners to be hemmed and grommeted
- Banners to be installed w/ ropes and buckets

COLOR SCHEDULE:

- PMS WHITE
- PMS 369
- PMS 199
- PMS 7520
- PMS WARM GRAY 8
- PMS WARM GRAY 1
- PMS WARM GRAY 1



CHUCK E. CHEESE

Proposal Drawing
 Final Drawing

Client: Chuck E Cheese 112
Location: 7635 Mall Rd,
Florence, KY
Salesperson: Pete
Project Manager: Steven
Date: 07/20/2021
Designer: Bruce
File Name: 21-0622 - CEC
112 Exterior - Florence, KY
FINAL R2
Proposal #: 59739
Job #: 21-0622



License #: 18010

Corporate Office
5003 Stout Drive
San Antonio, TX 78219
(210) 341-7244

Dallas
2703 Mockingbird Lane
Dallas, TX 75235
(972) 870-1594

Houston (State Sign)
7630 Hansen Road
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(713) 943-1831

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F

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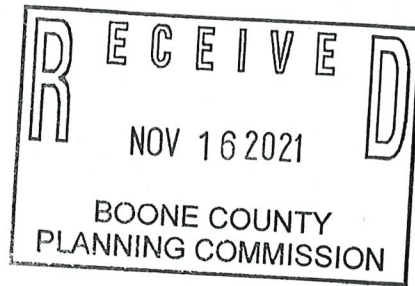
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CHUCK E. CHEESE



7635 Mall Rd, Florence, KY 41042

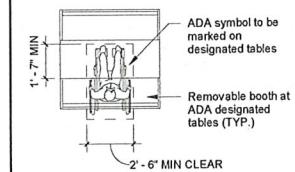


Accessible Seating

At least 5%, but not less than 1 of the dining surfaces shall be accessible. Accessible seating shall be identified by a sign or a marker.

24 Tables x 42" = 1,008"/24" = 42 x .05 = 2
 24 Tables x 60" = 1,440"/24" = 60 x .05 = 3
 28 Tables x 56" = 1,568"/24" = 65 x .05 = 3
 4 Tables x 90" = 360"/24" = 15 x .05 = 1

Total Accessible Tables Required: 9



General Notes - Life Safety

- A Provide fire extinguishers within travel distance of 75'-0"
- B All penetrations through rated assemblies shall be installed per U.L. standard details and applicable codes as required to maintain the integrity of rated assemblies

Material Flame Spread

Material	Flame Spread
FRP Panels	175
Plastic Laminate	190
Carpet	30
LT-1 Ceiling Tile	25
LT-2 Ceiling Tile	10
Sheet Vinyl	.45 Watts/CM
VCT	.45 Watts/CM
Vinyl Base	75 or less
Paint	8.5 or less
Slat Wall	115

Life Safety Plan Legend

	EXIT	Exit Light
	Egress Pathway	Egress Pathway
	Travel Distance (in Feet) to Exist Access.	Travel Distance (in Feet) to Exist Access.
	Maximum Travel Distance	Maximum Travel Distance
	Diagonal Distance	Diagonal Distance
	FEC	Fire Extinguisher Cabinet
	Direction of Egress	Direction of Egress
	Seat count tag	Seat count tag
	Accessible Seating Location	Accessible Seating Location

OCCUPANCY LOAD

Kiddle/Games Standing Area:		Proposed:
A) Gross Area:		3,728 SF
B) Area Covered By Games:		1,405 SF
C) Net Area For Occupancy:		2,323 SF
D) Occupant Load Factory:		15 SF/Person
E) Occupancy:		155 People
Occupancy Calculations:		
A) Kiddle/Games Standing (per above):		155 People
B) Games Seating:		64 People
C) Kiddle Seating:		72 People
D) Showroom Seating @ 24"		154 People
E) Kitchen Occupancy (1,897sf @ 200sf/person)		10 People
Total Occupancy=		455 People

General Notes - Cover Sheet

A	No water, no sewer, no structural, no changes to occupancy SF, no work in the kitchen
B	No part of these documents precedes the other, any discrepancies require clarification from the Architect.
C	All disciplines are referenced to each other, any discrepancies require clarification from the Architect.
D	Verify all existing conditions with the drawings, any discrepancies require clarification from the Architect.
E	OFI means "Owner Furnished and Contractor Installed", identifies items that are provided by the owner and installed by the contractor as part of this contract.
F	NIC means "Not In Contract", identifies items that are provided and installed under a separate contract. Shown for reference only.
G	Alternate items that are identified shall be priced separately, pricing shall include item and installation cost for inclusion into the contract if selected by the owner.
H	Signage will be submitted for a separate permit by sign company.
I	Wood used for blocking in a rated wall must be fire treated.
J	Adequate exit signage shall be provided and readily visible from any direction of egress travel. Additional exit signage may be required if the need for such is determined during the final inspection. (Section 1013) 2018 Kentucky Building Code

PROJECT SCOPE

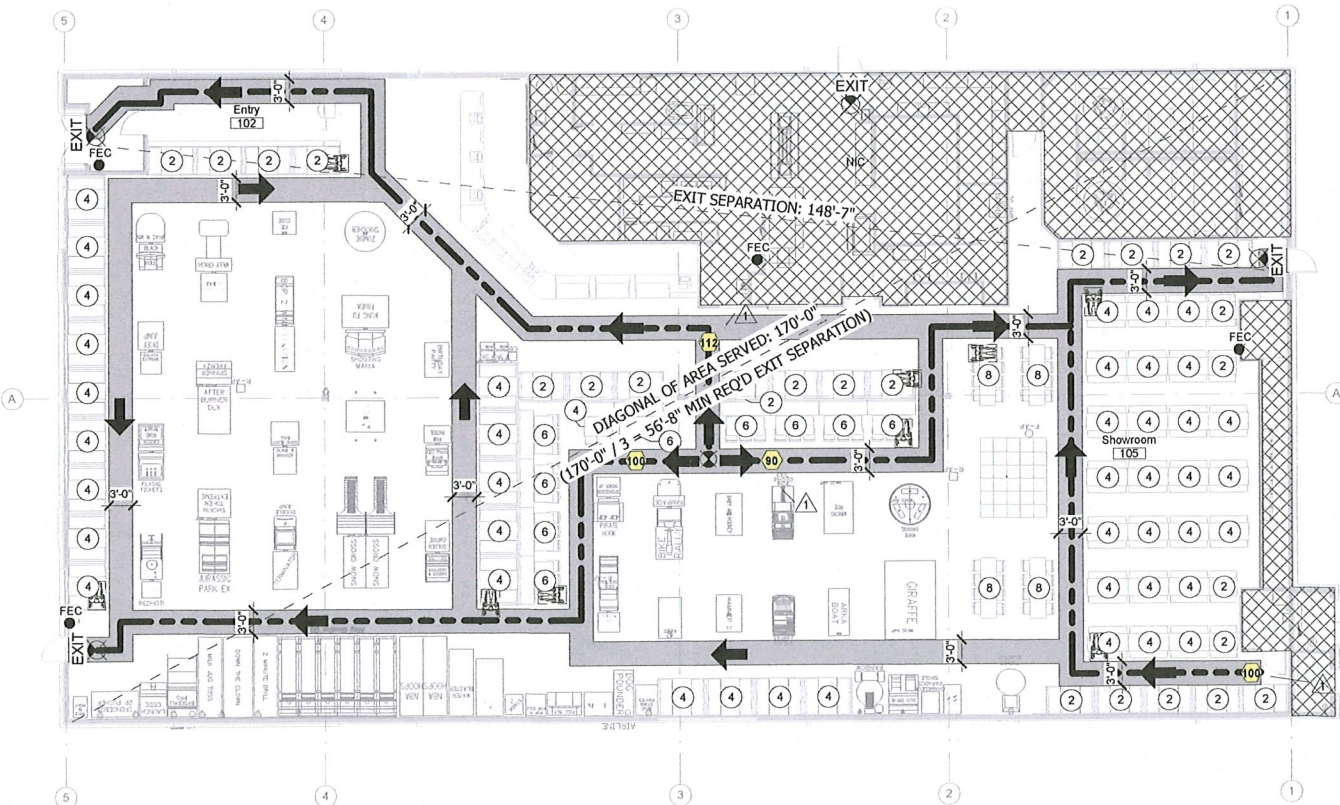
This is a reimage of an existing freestanding building currently operating as a Chuck E Cheese (CEC) store. Exterior scope includes, painting building, replacing lighting, no structural modifications. Interior scope includes painting, replacing seating, tables, games, wall finishes, and minimal lighting. Excluded from the project is new signage, permitted and installed by a separate scope.

CODE SUMMARY

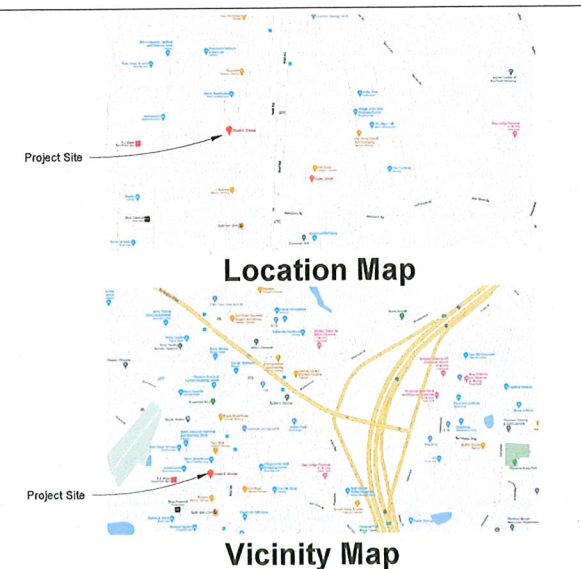
Use:	Restaurant
Occupancy Class:	A-2 (Restaurant)
Construction Type:	V-B, Sprinkled
Fire Alarm System:	Yes
Building Area:	12,291 SF
Occupants:	455 Occupants
Exit:	Required: 455 occupants x 0.15 = 69" Total Provided: 3 Public = 144" Total
Building:	2018 Kentucky Building Code
Mechanical:	2015 International Mechanical Code
Electrical:	2017 NFPA 70 - National Electrical Code
Plumbing:	2020 Kentucky State Plumbing Code
Fire:	2015 International Fire Code
Accessibility:	2009 ICC/ANSI A117.1 Accessible and Usable Buildings and Facilities
Energy:	2012 International Energy Conservation Code

Index of Drawings

Sheet Number	Sheet Name	Current Revision	Current Revision Date
General			
CS1.0	Cover Sheet	2	2021.11.11
CS2.0	Accessibility Standard	A	2021.06.11
CS3.0	Accessibility Standard	A	2021.06.11
CS4.0	Existing Elevations	1	2021.07.21
CS7.0	Site Plan	2	2021.11.11
Demolition			
D1.0	Demolition Floor Plan	B	2021.07.26
D1.1	Demolition RCP Plan	A	2021.06.11
D1.2	Demolition Elevations	1	2021.07.21
Architectural			
A1.0	Floor Plan	B	2021.07.26
A1.2	Dimension Outlet Plan	B	2021.07.26
A2.0	Floor Finish Plan	C	2021.10.15
A3.0	Reflected Ceiling Plan	C	2021.10.15
A4.0	Exterior Elevations	B	2021.07.26
A5.0	Interior Elevations	A	2021.06.11
A5.1	Interior Elevations	A	2021.06.11
A7.4	Interior Details	A	2021.06.11
A8.0	Schedules	1	2021.07.21
Electrical			
AV1	Speaker Plan	1	2021.07.21
E0.0	Legend & Keynotes	A	2021.06.11
E1.0	Lighting Floor Plan	A	2021.10.15
E2.0	Power Floor Plan	C	2021.06.11
E3.0	Electrical Details	1	2021.07.21



1 Egress Plan
3/32" = 1'-0"



CONSTRUCTION • ARCHITECTURE
PARKWAY
 Parkway C&A, LP
 1000 Civic Circle, Louisville, KY 40202
 pkwycon.com (972) 221-1979



#112

7635 Mall Rd
 Florence, KY 41042

Owner:
 CEC ENTERTAINMENT, INC.
 1707 Market Place Blvd, Suite 200
 Irving, TX 77063
 Ph: 972-258-5521
 Contact: Walter Boyd

Architect:
 Parkway C&A, LP
 1000 Civic Circle
 Louisville, KY 40202
 Ph: 972-221-1979
 Contact: Michael Orr

MEP Engineer:
 Dialectic Engineering
 310 W 20th Street 200
 Kansas City, MO 64108
 Ph: (816) 927-8627
 Contact: Joe Hillebrenner, P.E.

Design Directive: 43



Architect: William D. Pounds, Jr.

No.	Description	Date
2	Planning Review	2021.11.11
C	Addendum 1	2021.10.15
1	City Comments	2021.07.21
A	Permit Set	2021.06.11

DRAWN BY: BR
 CHECKED BY: VG
 PROJ. NO: 94-21761
 Copyright Parkway C&A, LP 2021 ©

Cover Sheet

CS1.0

301 General
301.1 Scope. The provisions of Chapter 3 shall apply where required by Chapter 2 or where referenced by a requirement in this document.

302 Floor or Ground Surfaces

Figure 302.2 Carpet Pile Height

302.3 Openings. Openings in floor or ground surfaces shall not allow passage of a sphere more than 1/2 inch (13 mm) diameter except as allowed in 407.4.3, 409.4.3, 410.4, 810.5.3 and 810.10. Elongated openings shall be placed so that the long dimension is perpendicular to the dominant direction of travel.

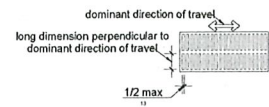


Figure 302.3 Elongated Openings in Floor or Ground Surfaces

303 Changes in Level
303.1 General. Where changes in level are permitted in floor or ground surfaces, they shall comply with 302.
EXCEPTIONS:
 1. Animal containment areas shall not be required to comply with 303.
 2. Areas of sport activity shall not be required to comply with 303.
303.2 Vertical. Changes in level of 1/4 inch (6.4 mm) high maximum shall be permitted to be vertical.

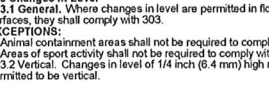


Figure 303.2 Vertical Change in Level

303.3 Beveled. Changes in level between 1/4 inch (6.4 mm) high minimum and 1/2 inch (13 mm) high maximum shall be beveled with a slope not steeper than 1:2.

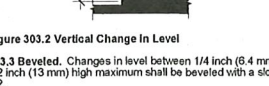


Figure 303.3 Beveled Change in Level

303.4 Ramps. Changes in level greater than 1/2 inch (13 mm) high shall be ramped, and shall comply with 405 or 406.

304 Turning Space

304.1 General. Turning space shall comply with 304.
304.2 Size. Turning space shall comply with 304.3.1 or 304.3.2.

304.3.1 Circular Space. The turning space shall be a space of 60 inches (1525 mm) diameter minimum. The space shall be permitted to include knee and toe clearance complying with 306.

304.3.2 T-Shaped Space. The turning space shall be a T-shaped space within a 60 inch (1525 mm) square minimum with arms and base 36 inches (915 mm) wide minimum. Each arm of the T shall be clear of obstructions 12 inches (305 mm) minimum in each direction and the base shall be clear of obstructions 24 inches (610 mm) minimum. The space shall be permitted to include knee and toe clearance complying with 306 only at the end of either the base or one arm.

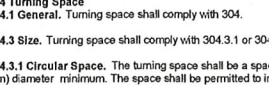


Figure 304.3.2 T-Shaped Turning Space

304.4 Door Swing. Doors shall be permitted to swing into turning spaces.

305 Clear Floor or Ground Space

305.1 General. Clear floor or ground space shall comply with 305.
305.2 Floor or Ground Surfaces. Floor or ground surfaces of a clear floor or ground space shall comply with 302. Changes in level are not permitted.
EXCEPTION: Slopes not steeper than 1:48 shall be permitted.
305.3 Size. The clear floor or ground space shall be 30 inches (760 mm) minimum by 48 inches (1220 mm) minimum.

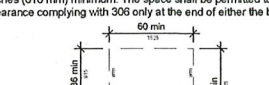


Figure 305.3 Clear Floor or Ground Space

305.4 Knee and Toe Clearance. Unless otherwise specified, clear floor or ground space shall be permitted to include knee and toe clearance complying with 306.

305.5 Position. Unless otherwise specified, clear floor or ground space shall be positioned for either forward or parallel approach to an element.

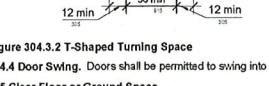


Figure 305.5 Position of Clear Floor or Ground Space

305.6 Approach. One full unobstructed side of the clear floor or ground space shall adjoin an accessible route or adjoin another clear floor or ground space.

305.7 Maneuvering Clearance. Where a clear floor or ground space is located in an alcove or otherwise confined on all or part of three sides, additional maneuvering clearance shall be provided in accordance with 305.7.1 and 305.7.2.

306 Knee and Toe Clearance
306.1 General. Where space beneath an element is included as part of clear floor or ground space or turning space, the space shall comply with 302. Additional space shall not be prohibited beneath an element but shall not be considered as part of the clear floor or ground space or turning space.

306.2 Toe Clearance.
306.2.1 General. Space under an element between the finish floor or ground and 9 inches (230 mm) above the finish floor or ground shall be considered toe clearance and shall comply with 306.3.
306.2.2 Maximum Depth. Toe clearance shall extend 25 inches (635 mm) maximum under an element.
306.2.3 Minimum Required Depth. Where toe clearance is required at an element as part of a clear floor space, the toe clearance shall extend 17 inches (430 mm) minimum under the element.
306.2.4 Additional Clearance. Space extending greater than 6 inches (150 mm) beyond the available knee clearance at 9 inches (230 mm) above the finish floor or ground shall not be considered toe clearance.
306.2.5 Width. Toe clearance shall be 30 inches (760 mm) wide minimum.

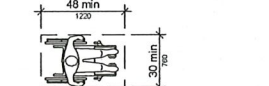


Figure 306.2 Toe Clearance

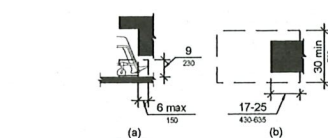


Figure 306.2 Toe Clearance

306.3 Knee Clearance.
306.3.1 General. Space under an element between 9 inches (230 mm) and 27 inches (685 mm) above the finish floor or ground shall be considered knee clearance and shall comply with 306.3.
306.3.2 Maximum Depth. Knee clearance shall extend 25 inches (635 mm) maximum under an element at 9 inches (230 mm) above the finish floor or ground.
306.3.3 Minimum Required Depth. Where knee clearance is required under an element as part of a clear floor space, the knee clearance shall be permitted to reduce at a rate of 1 inch (25 mm) in depth for each 6 inches (150 mm) in height.
306.3.4 Clearance Reduction. Between 9 inches (230 mm) and 27 inches (685 mm) above the finish floor or ground, the knee clearance shall be permitted to reduce at a rate of 1 inch (25 mm) in depth for each 6 inches (150 mm) in height.
306.3.5 Width. Knee clearance shall be 30 inches (760 mm) wide minimum.

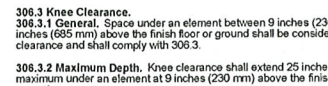


Figure 306.3 Knee Clearance

404 Doors, Doorways, and Gates
404.1 General. Doors, doorways, and gates that are part of an accessible route shall comply with 404.
EXCEPTION: Doors, doorways, and gates designed to be operated only by security personnel shall not be required to comply with 404.2.7, 404.2.8, 404.2.9, 404.3.2 and 404.3.4 through 404.3.7.

404.2.1 Maneuvering Clearances. Minimum maneuvering clearances at doors and gates shall comply with 404.2.4. Maneuvering clearances shall extend the full width of the doorway and the required latch side or hinge side clearance.
EXCEPTION: Entry doors to hospital patient rooms shall not be required to provide the clearance beyond the latch side of the door.
404.2.4.1 Swinging Doors and Gates. Swinging doors and gates shall have maneuvering clearances complying with Table 404.2.4.1.

Table 404.2.4.1. Maneuvering Clearances at Manual Swinging Doors and Gates

Type of Use	Approach Direction	Door or Gate Side	Perpendicular to Doorway	Parallel to Doorway (beyond latch side unless noted)
From front	Pull	60 inches (1525 mm)	18 inches (455 mm)	
		Push	48 inches (1220 mm)	0 inches (0 mm)
From hinge side	Pull	60 inches (1525 mm)	36 inches (915 mm)	
		Push	54 inches (1370 mm)	42 inches (1065 mm)
From latch side	Pull	42 inches (1065 mm)	22 inches (560 mm)	
		Push	48 inches (1220 mm)	24 inches (610 mm)
From latch side	Push	42 inches (1065 mm)	24 inches (610 mm)	
		Push	42 inches (1065 mm)	24 inches (610 mm)

1. Add 12 inches (305 mm) if closer and latch are provided.
2. Add 6 inches (150 mm) if closer and latch are provided.
3. Beyond hinge side.
4. Add 6 inches (150 mm) if closer is provided.

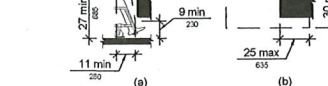


Figure 404.2.4.1 Maneuvering Clearances at Manual Swinging Doors and Gates

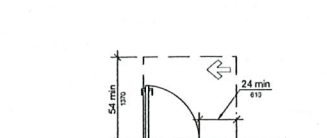


Figure 306.2 Toe Clearance

306.3 Knee Clearance.
306.3.1 General. Space under an element between 9 inches (230 mm) and 27 inches (685 mm) above the finish floor or ground shall be considered knee clearance and shall comply with 306.3.
306.3.2 Maximum Depth. Knee clearance shall extend 25 inches (635 mm) maximum under an element at 9 inches (230 mm) above the finish floor or ground.
306.3.3 Minimum Required Depth. Where knee clearance is required under an element as part of a clear floor space, the knee clearance shall be permitted to reduce at a rate of 1 inch (25 mm) in depth for each 6 inches (150 mm) in height.
306.3.4 Clearance Reduction. Between 9 inches (230 mm) and 27 inches (685 mm) above the finish floor or ground, the knee clearance shall be permitted to reduce at a rate of 1 inch (25 mm) in depth for each 6 inches (150 mm) in height.
306.3.5 Width. Knee clearance shall be 30 inches (760 mm) wide minimum.



Figure 306.3 Knee Clearance

404 Doors, Doorways, and Gates
404.1 General. Doors, doorways, and gates that are part of an accessible route shall comply with 404.
EXCEPTION: Doors, doorways, and gates designed to be operated only by security personnel shall not be required to comply with 404.2.7, 404.2.8, 404.2.9, 404.3.2 and 404.3.4 through 404.3.7.

404.2.1 Maneuvering Clearances. Minimum maneuvering clearances at doors and gates shall comply with 404.2.4. Maneuvering clearances shall extend the full width of the doorway and the required latch side or hinge side clearance.
EXCEPTION: Entry doors to hospital patient rooms shall not be required to provide the clearance beyond the latch side of the door.
404.2.4.1 Swinging Doors and Gates. Swinging doors and gates shall have maneuvering clearances complying with Table 404.2.4.1.

Table 404.2.4.1. Maneuvering Clearances at Manual Swinging Doors and Gates

Type of Use	Approach Direction	Door or Gate Side	Perpendicular to Doorway	Parallel to Doorway (beyond latch side unless noted)
From front	Pull	60 inches (1525 mm)	18 inches (455 mm)	
		Push	48 inches (1220 mm)	0 inches (0 mm)
From hinge side	Pull	60 inches (1525 mm)	36 inches (915 mm)	
		Push	54 inches (1370 mm)	42 inches (1065 mm)
From latch side	Pull	42 inches (1065 mm)	22 inches (560 mm)	
		Push	48 inches (1220 mm)	24 inches (610 mm)
From latch side	Push	42 inches (1065 mm)	24 inches (610 mm)	
		Push	42 inches (1065 mm)	24 inches (610 mm)

1. Add 12 inches (305 mm) if closer and latch are provided.
2. Add 6 inches (150 mm) if closer and latch are provided.
3. Beyond hinge side.
4. Add 6 inches (150 mm) if closer is provided.

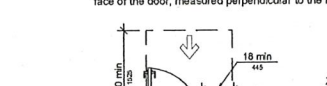


Figure 404.2.4.1 Maneuvering Clearances at Manual Swinging Doors and Gates

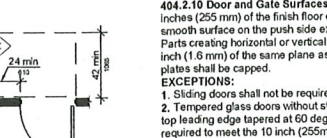


Figure 306.2 Toe Clearance

306.3 Knee Clearance.
306.3.1 General. Space under an element between 9 inches (230 mm) and 27 inches (685 mm) above the finish floor or ground shall be considered knee clearance and shall comply with 306.3.
306.3.2 Maximum Depth. Knee clearance shall extend 25 inches (635 mm) maximum under an element at 9 inches (230 mm) above the finish floor or ground.
306.3.3 Minimum Required Depth. Where knee clearance is required under an element as part of a clear floor space, the knee clearance shall be permitted to reduce at a rate of 1 inch (25 mm) in depth for each 6 inches (150 mm) in height.
306.3.4 Clearance Reduction. Between 9 inches (230 mm) and 27 inches (685 mm) above the finish floor or ground, the knee clearance shall be permitted to reduce at a rate of 1 inch (25 mm) in depth for each 6 inches (150 mm) in height.
306.3.5 Width. Knee clearance shall be 30 inches (760 mm) wide minimum.

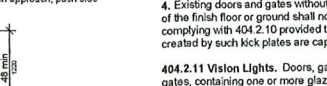


Figure 306.3 Knee Clearance

404 Doors, Doorways, and Gates
404.1 General. Doors, doorways, and gates that are part of an accessible route shall comply with 404.
EXCEPTION: Doors, doorways, and gates designed to be operated only by security personnel shall not be required to comply with 404.2.7, 404.2.8, 404.2.9, 404.3.2 and 404.3.4 through 404.3.7.

404.2.1 Maneuvering Clearances. Minimum maneuvering clearances at doors and gates shall comply with 404.2.4. Maneuvering clearances shall extend the full width of the doorway and the required latch side or hinge side clearance.
EXCEPTION: Entry doors to hospital patient rooms shall not be required to provide the clearance beyond the latch side of the door.
404.2.4.1 Swinging Doors and Gates. Swinging doors and gates shall have maneuvering clearances complying with Table 404.2.4.1.

Table 404.2.4.1. Maneuvering Clearances at Manual Swinging Doors and Gates

Type of Use	Approach Direction	Door or Gate Side	Perpendicular to Doorway	Parallel to Doorway (beyond latch side unless noted)
From front	Pull	60 inches (1525 mm)	18 inches (455 mm)	
		Push	48 inches (1220 mm)	0 inches (0 mm)
From hinge side	Pull	60 inches (1525 mm)	36 inches (915 mm)	
		Push	54 inches (1370 mm)	42 inches (1065 mm)
From latch side	Pull	42 inches (1065 mm)	22 inches (560 mm)	
		Push	48 inches (1220 mm)	24 inches (610 mm)
From latch side	Push	42 inches (1065 mm)	24 inches (610 mm)	
		Push	42 inches (1065 mm)	24 inches (610 mm)

1. Add 12 inches (305 mm) if closer and latch are provided.
2. Add 6 inches (150 mm) if closer and latch are provided.
3. Beyond hinge side.
4. Add 6 inches (150 mm) if closer is provided.

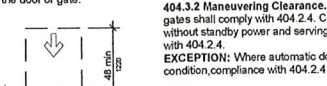


Figure 404.2.4.1 Maneuvering Clearances at Manual Swinging Doors and Gates

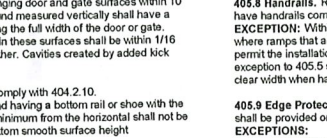


Figure 306.2 Toe Clearance

306.3 Knee Clearance.
306.3.1 General. Space under an element between 9 inches (230 mm) and 27 inches (685 mm) above the finish floor or ground shall be considered knee clearance and shall comply with 306.3.
306.3.2 Maximum Depth. Knee clearance shall extend 25 inches (635 mm) maximum under an element at 9 inches (230 mm) above the finish floor or ground.
306.3.3 Minimum Required Depth. Where knee clearance is required under an element as part of a clear floor space, the knee clearance shall be permitted to reduce at a rate of 1 inch (25 mm) in depth for each 6 inches (150 mm) in height.
306.3.4 Clearance Reduction. Between 9 inches (230 mm) and 27 inches (685 mm) above the finish floor or ground, the knee clearance shall be permitted to reduce at a rate of 1 inch (25 mm) in depth for each 6 inches (150 mm) in height.
306.3.5 Width. Knee clearance shall be 30 inches (760 mm) wide minimum.

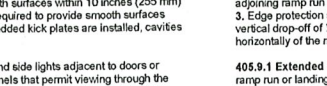


Figure 306.3 Knee Clearance

404 Doors, Doorways, and Gates
404.1 General. Doors, doorways, and gates that are part of an accessible route shall comply with 404.
EXCEPTION: Doors, doorways, and gates designed to be operated only by security personnel shall not be required to comply with 404.2.7, 404.2.8, 404.2.9, 404.3.2 and 404.3.4 through 404.3.7.

404.2.1 Maneuvering Clearances. Minimum maneuvering clearances at doors and gates shall comply with 404.2.4. Maneuvering clearances shall extend the full width of the doorway and the required latch side or hinge side clearance.
EXCEPTION: Entry doors to hospital patient rooms shall not be required to provide the clearance beyond the latch side of the door.
404.2.4.1 Swinging Doors and Gates. Swinging doors and gates shall have maneuvering clearances complying with Table 404.2.4.1.

Table 404.2.4.1. Maneuvering Clearances at Manual Swinging Doors and Gates

Type of Use	Approach Direction	Door or Gate Side	Perpendicular to Doorway	Parallel to Doorway (beyond latch side unless noted)
From front	Pull	60 inches (1525 mm)	18 inches (455 mm)	
		Push	48 inches (1220 mm)	0 inches (0 mm)
From hinge side	Pull	60 inches (1525 mm)	36 inches (915 mm)	
		Push	54 inches (1370 mm)	42 inches (1065 mm)
From latch side	Pull	42 inches (1065 mm)	22 inches (560 mm)	
		Push	48 inches (1220 mm)	24 inches (610 mm)
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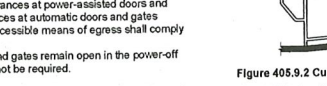


Figure 404.2.4.1 Maneuvering Clearances at Manual Swinging Doors and Gates

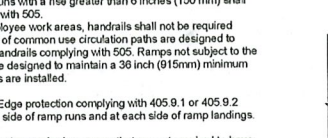


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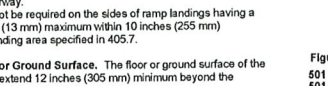


Figure 306.3 Knee Clearance

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1. Add 12 inches (305 mm) if closer and latch are provided.
2. Add 6 inches (150 mm) if closer and latch are provided.
3. Beyond hinge side.
4. Add 6 inches (150 mm) if closer is provided.



Figure 404.2.4.1 Maneuvering Clearances at Manual Swinging Doors and Gates

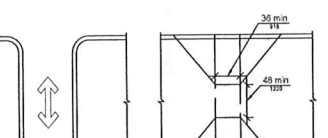
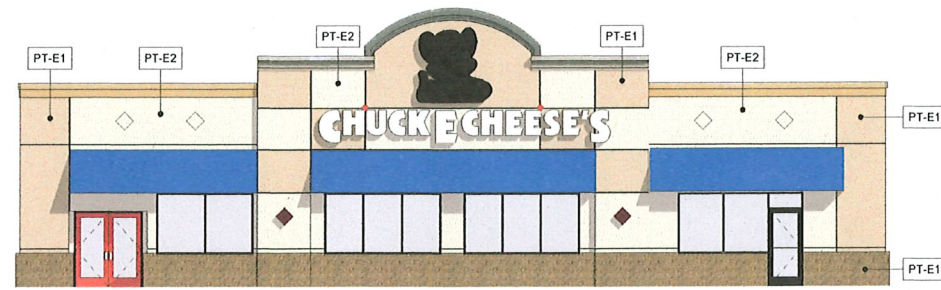
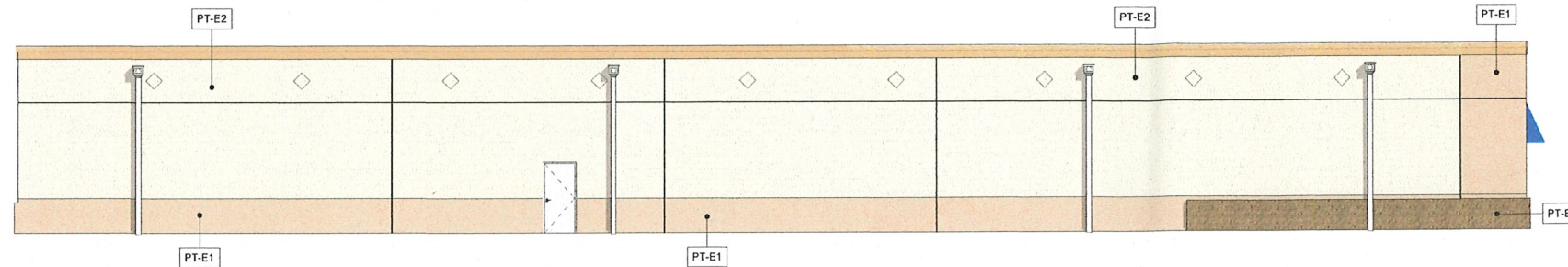


Figure 306.2 Toe Clearance

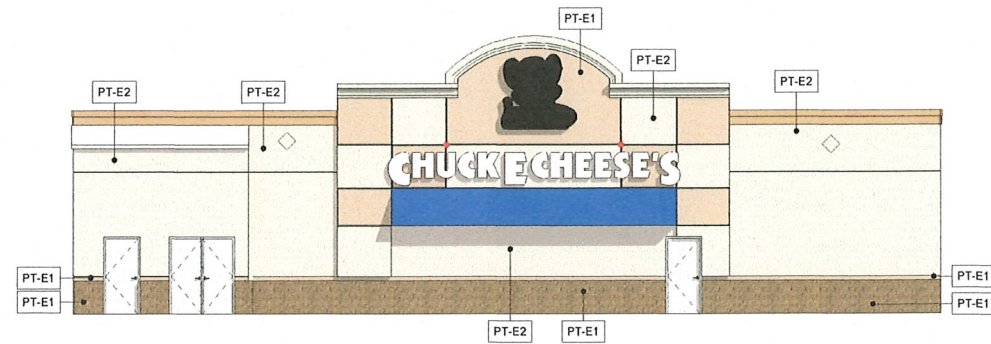
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30



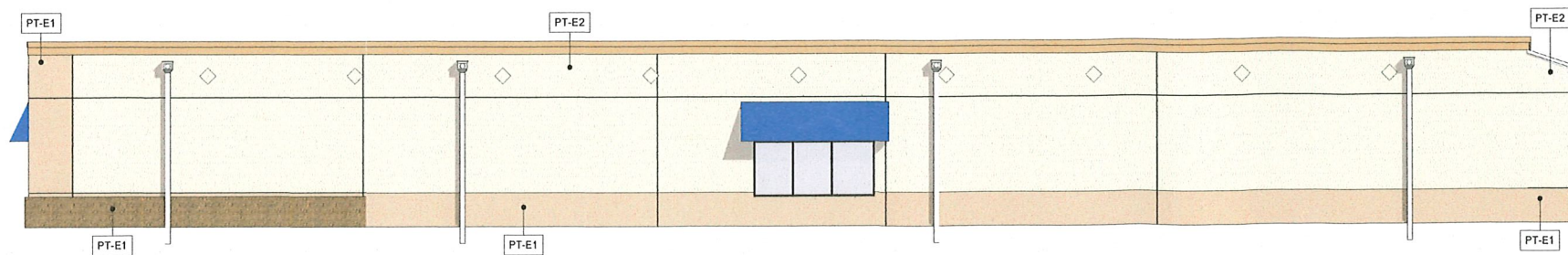
1 Existing West Elevation
1/8" = 1'-0"



2 Existing North Elevation
1/8" = 1'-0"

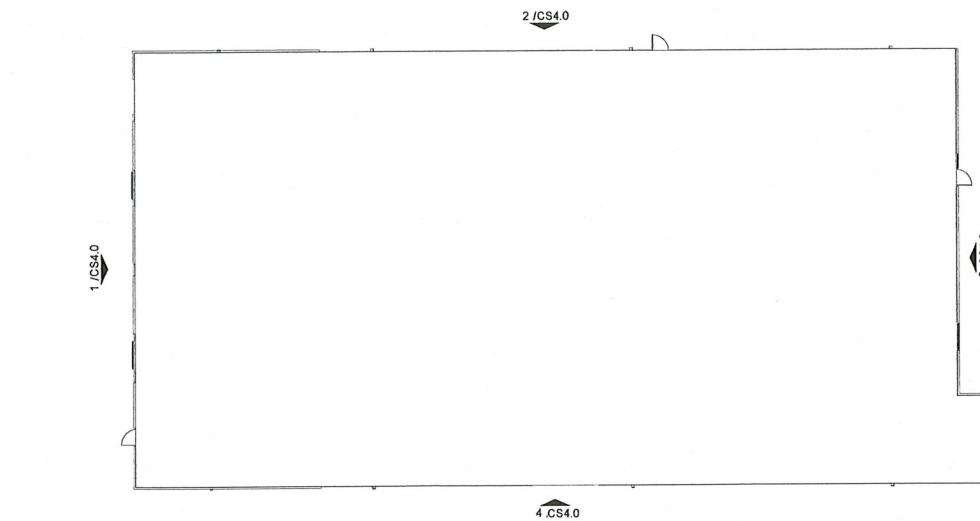


3 Existing East Elevation
1/8" = 1'-0"



4 Existing South Elevation
1/8" = 1'-0"

Paint Colors - Exterior			
WT	Manufacturer	Color	Color #
PT-02	Benjamin Moore	Balboa Mist	1549
PT-03	Benjamin Moore	Ashwood Moss	1484
PT-06	Benjamin Moore	Etruscan	AF-355
PT-07	Benjamin Moore	Iron Mountain	2134-30
PT-09	Benjamin Moore	Cabot Trail	998
PT-11	Benjamin Moore	Sycamore Tree	539
PT-12	Benjamin Moore	Shades of Spring	537
PT-13	Benjamin Moore	Huntington Green	406
PT-E1	Sherwin Williams	Match Existing - Canoe	SW2043
PT-E2	Sherwin Williams	Match Existing - Sand	SW2059



5 Existing Building
1/16" = 1'-0"



#112
7635 Mall Rd
Florence, KY 41042

Owner:
CEC ENTERTAINMENT, INC.
1707 Market Place Blvd, Suite 200
Irving, TX 77033
Ph: 972-258-5521
Contact: Walter Boyd

Architect:
Parkway C&A, LP
1000 Civic Circle
Lewisville, TX 75067
Ph: 972-221-1979
Contact: Michael Orr

MEP Engineer:
Dialectic Engineering
310 W 20th Street 200
Kansas City, MO 64108
Ph: (816)997-9827
Contact: Joe Hillebrenner, P.E.

Design Directive: 43



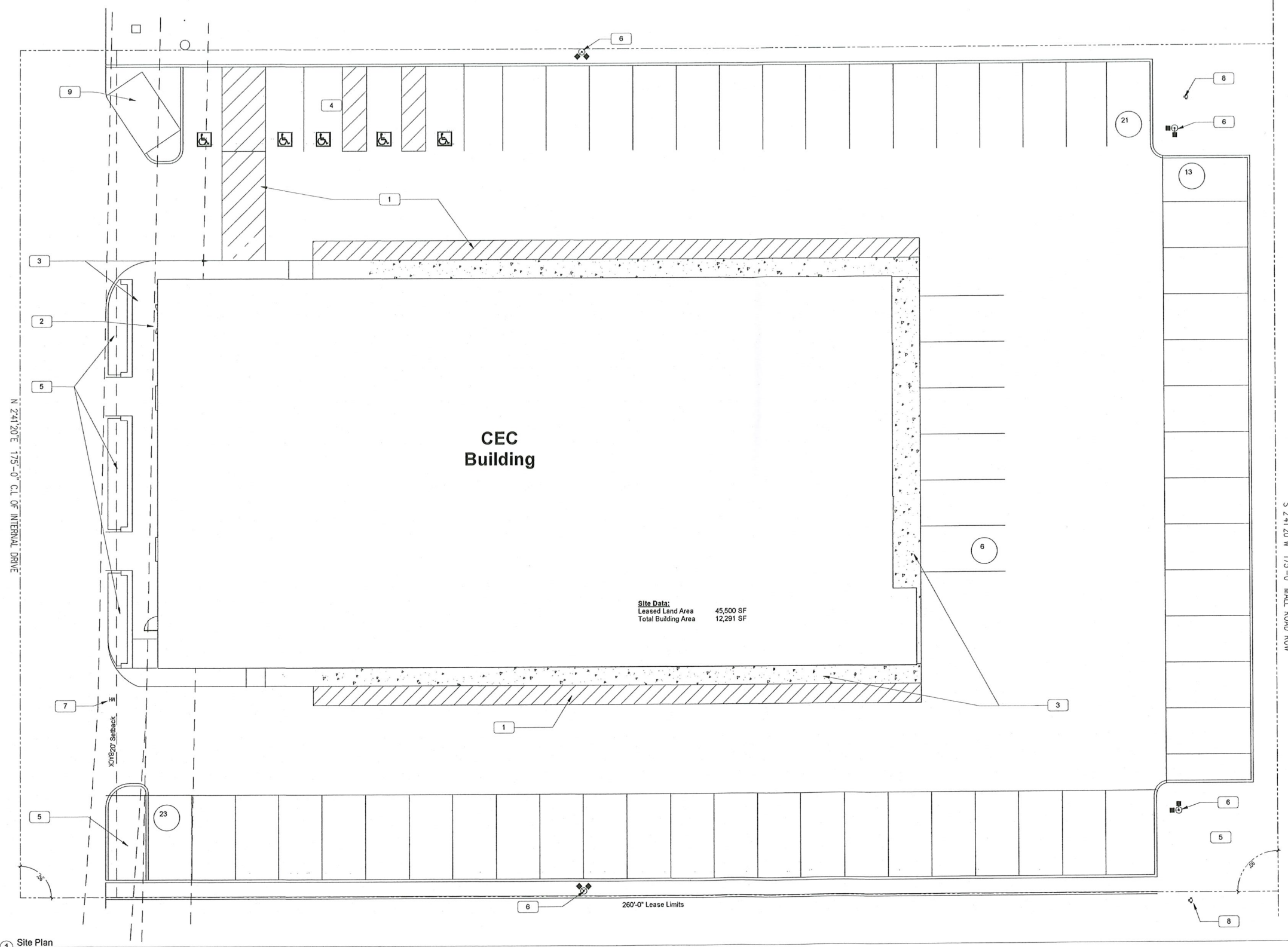
Architect: William D. Pounds, Jr.

No.	City Comments	Description	Date
1			2021.07.21

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CHECKED BY: Checker
PROJ. NO: 94-21761
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Existing Elevations

CS4.0



Site Data:
 Leased Land Area 45,500 SF
 Total Building Area 12,291 SF

1 Site Plan
 3/32" = 1'-0"

Scope Notes - Site Plan	
1	Existing Striping
2	Main entry
3	Existing sidewalk
4	Existing handicap parking
5	Existing landscape to remain
6	Existing light pole
7	Existing manhole
8	Existing fire hydrant
9	Existing Trash Dumpster

(For Reference Only)



#112
 7635 Mall Rd
 Florence, KY 41042

Owner:
 CEC ENTERTAINMENT, INC.
 1707 Market Place Blvd, Suite 200
 Irving, TX 77063
 Ph: 972-258-5521
 Contact: Walter Boyd

Architect:
 Parkway C&A, LP
 1000 Civic Circle
 Lewisville, TX 75067
 Ph: 972-221-1979
 Contact: Michael Orr

MEP Engineer:
 Dialectic Engineering
 310 W 20th Street 200
 Kansas City, MO 64108
 Ph: (816)997-9627
 Contact: Joe Hillebrenner, P.E.

Design Directive: 43



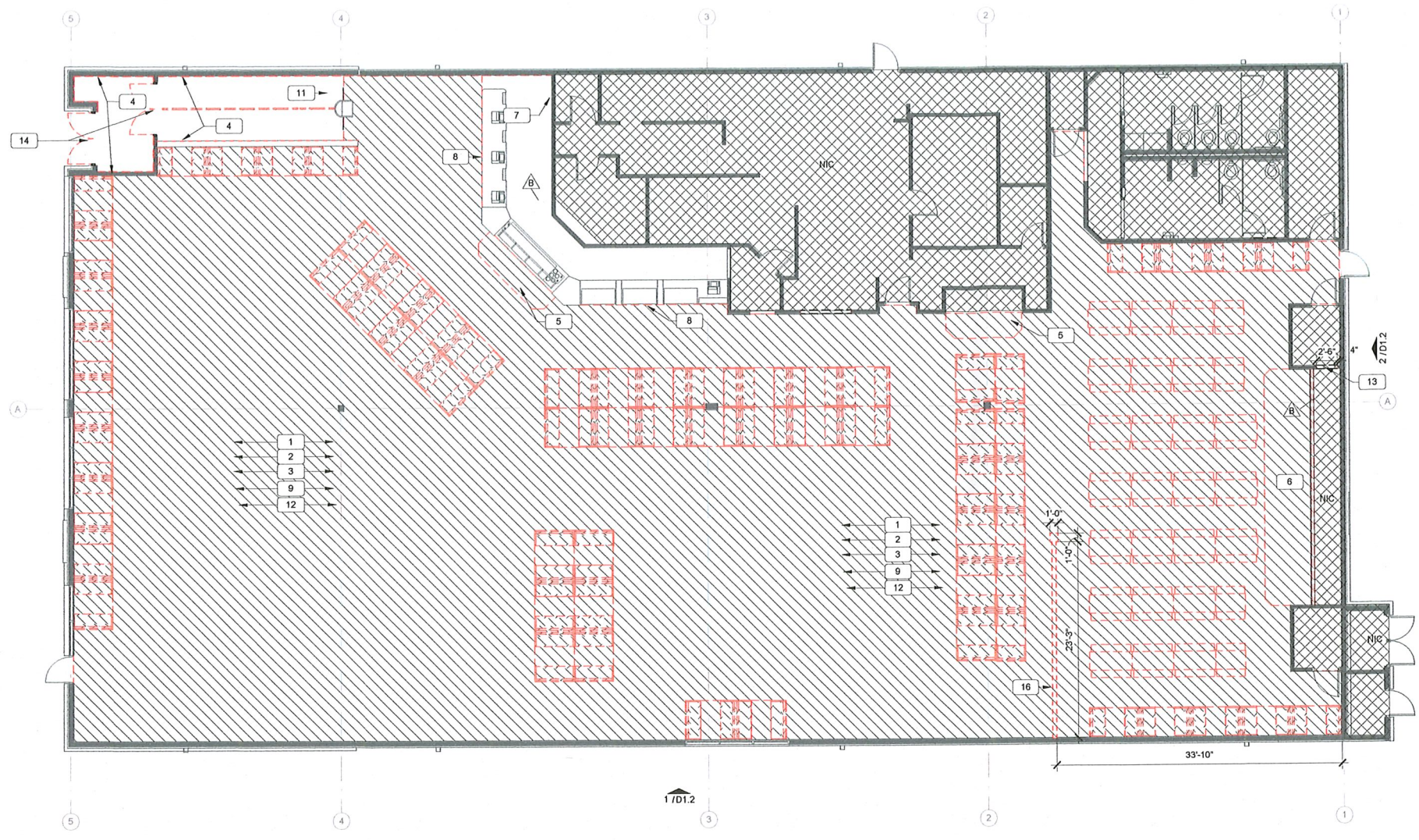
Architect: William D. Pounds, Jr.

No.	Description	Date
2	Planning Review	2021.11.11

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 CHECKED BY: Checker
 PROJ. NO: 94-21761
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Site Plan

CS7.0



1 Demolition Floor Plan
1/8" = 1'-0"

General Notes - Demolition	
Key #	Demolition Notes
A	Existing conditions are based on field observations. The demolition plan is for reference only. Contractor to verify existing conditions prior to the start of work.
B	Demolish indicated structures and fixtures in an orderly and careful manner.
C	Provide temporary supports, shoring and bracing as required to protect existing structural items remaining in place. Verify and coordinate existing utilities to be removed and/or relocated.
D	Erect weatherproof closures for exterior openings created by demolition work.
E	Demolished items shall be removed from site and legally disposed of.
F	Protect existing landscape materials, appurtenances, and structures which are to remain.
G	Remove all floor finishes down to substrate.
H	Remove walls and structures down to surface which may be refinished.
J	Where the scope of work requires penetration of the existing slab, the GC shall verify existing slab's construction type. GC to notify owner if a structural supported slab is found. Do not cut any portion of the slab's structural reinforcing. If trench exceeds 6" width, install reinforcing #5 x 18" dowels with 9" embedment @ 18" O.C. The GC & sub-contractors shall maintain the integrity of the existing slab by patching and repairing as needed.
K	Disconnect, remove and cap designated MEP utilities and fixtures within demolition areas. Mark location of disconnected utilities.
L	Remove abandoned electric wiring to source of supply. Verify that abandoned wiring and equipment serves only abandoned facilities. Coordinate utility service outages with utility company. Cut conduit flush with or beneath walls and floors, and refinish surfaces.
M	When encountered, inform owner of presence of contaminated materials. Contaminated materials are to be removed by others. Verify that previously removed materials are acceptable prior to commencement of demolition work.

Legend - Demo Plan			
	Scope of Work		Door to be removed
	Not In Contract		Scope Note
	Construction to be removed		Floor outlet
	Existing wall to remain		Wall outlet
E'	Existing		
D'	Demolish		
R'	Relocate		
N'	New		

Scope Notes Demolition Floor Plan	
1	Remove (40 +/-) floor outlets throughout Kiddie and Games rooms.
2	Remove existing furniture.
3	Remove existing carpet. Include Aux and storage rooms.
4	Remove marfile in vestibule, kid check and restroom vestibule.
5	Remove floor tile as indicated.
6	Demolish studio C.
7	Remove stabo menu boards.
8	Milwork: remove red laminate at order, salad, merch and beverage.
9	Remove existing decor.
10	
11	Remove stanchions at kid check.
12	Relocate track lights as needed to illuminate wall decor.
13	Remove portion of wall.
14	Demolish doors at entry and vestibule.
15	
16	6" wide trench line to 13"x13" rough opening in slab.



#112
7635 Mall Rd
Florence, KY 41042

Owner:
CEC ENTERTAINMENT, INC.
1707 Market Place Blvd. Suite 200
Irving, TX 77063
Ph: 972-258-5521
Contact: Walter Boyd

Architect:
Parkway C&A, LP
1000 Civic Circle
Lewisville, TX 75287
Ph: 972-221-1979
Contact: Michael Orr

MEP Engineer:
Dialectic Engineering
310 W 20th Street 200
Kansas City, MO 64108
Ph: (816)997-9627
Contact: Joe Hildebrenner, P.E.

Design Directive: 43



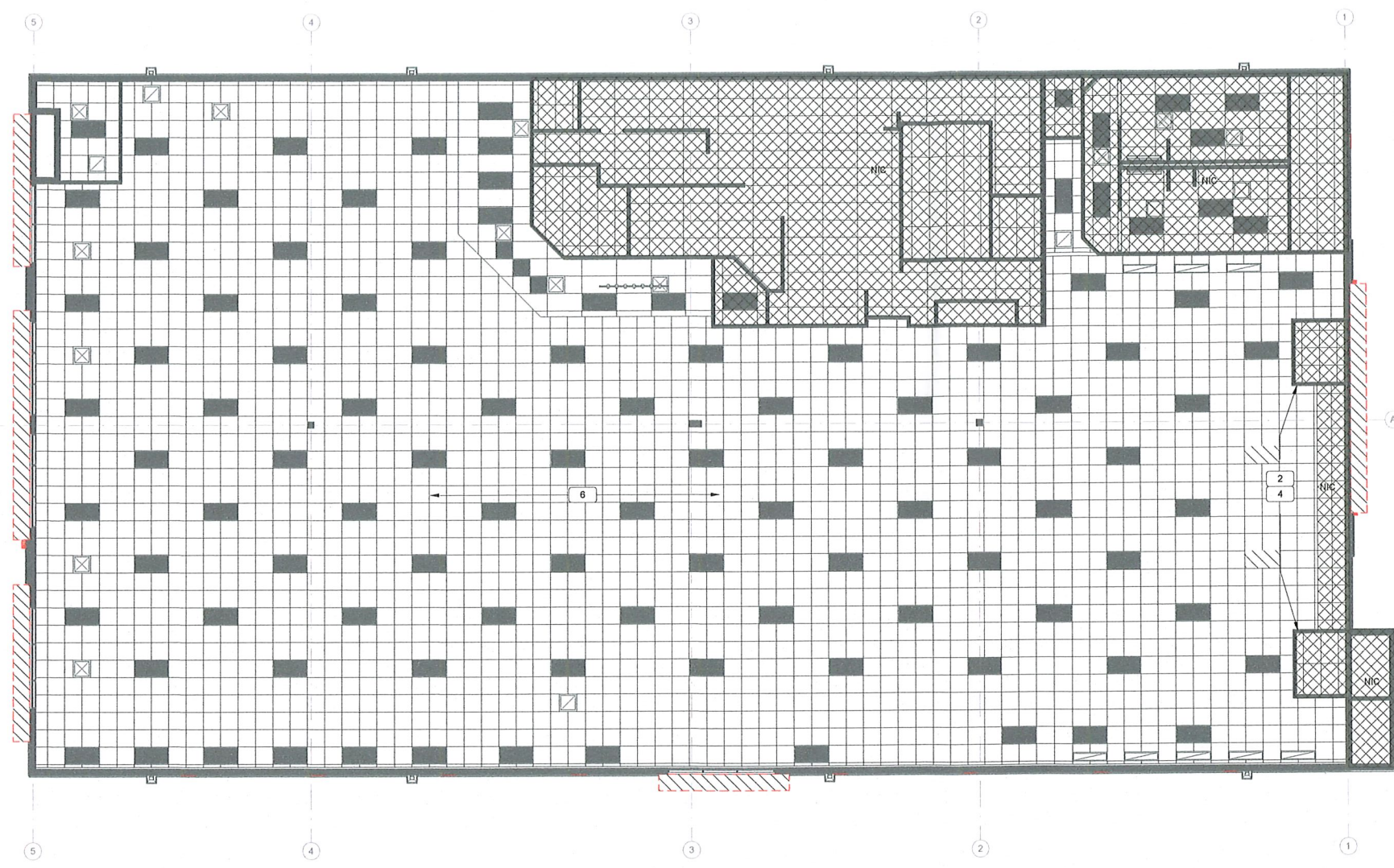
Architect: William D. Pounds, Jr.

No.	Description	Date
B	Owner Revisions	2021.07.26
A	Permit Set	2021.06.11

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CHECKED BY: VG
PROJ. NO: 94-21761
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Demolition Floor Plan

D1.0



1 Demo Reflected Ceiling Plan
1/8" = 1'-0"

Legend - Demo Plan

- Scope of Work
- Not In Contract
- Construction to be removed
- Existing wall to remain
- Existing
- Demolish
- Relocate
- New
- Door to be removed
- Scope Note
- Floor outlet
- Wall outlet

Legend - Reflected Ceiling Plan

- Existing Acoustical lay-in ceiling LT-1
- Existing Acoustical lay-in ceiling LT-2
- Gypsum ceiling
- Ceiling Tag**
 - Ceiling Finish Code
 - Ceiling Height (A.F.F.)
- 24" x 48" Troffer
- Recessed Can Light
- Vanity Light - 7'-0" AFF
- Pendant - 6'-0" AFF
- Exterior Wall Sconce
- 48" Industrial Fluorescent Strip
- Wall mount Television
- Exit Sign
- Supply Diffuser (Ref. Mechanical)
- Return Diffuser (Ref. Mechanical)
- Access Panel

Scope Notes Demolition RCP

1	
2	Remove stage lights.
3	
4	Remove dark ceiling tile at stage.
5	
6	Relocate track lights as needed to illuminate wall decor.

CONSTRUCTION • ARCHITECTURE

PARKWAY

Parkway C&A, LP
1000 Civic Circle Lewisville, TX 75067
pkwycon.com (972) 221-1979



#112
7635 Mall Rd
Florence, KY 41042

Owner:
CEC ENTERTAINMENT, INC.
1707 Market Place Blvd, Suite 200
Irving, TX 77063
Ph: 972-258-5521
Contact: Waller Boyd

Architect:
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1000 Civic Circle
Lewisville, TX 75067
Ph: 972-221-1979
Contact: Michael Orr

MEP Engineer:
Dialectic Engineering
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Kansas City, MO 64108
Ph: (816)997-9627
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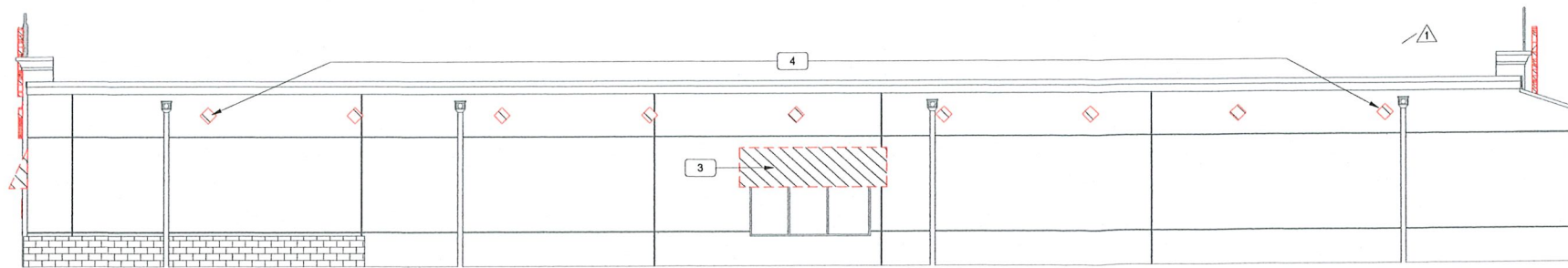
Architect: William D. Pounds, Jr.

No.	Description	Date
A	Permit Set	2021.06.11

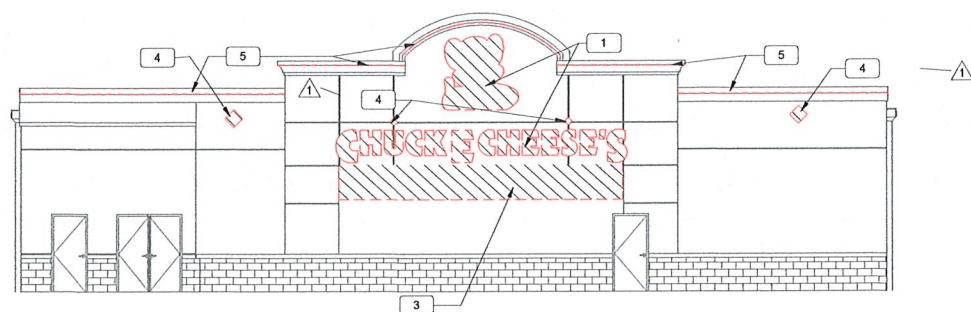
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PROJ. NO: 94-21761
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Demolition RCP Plan

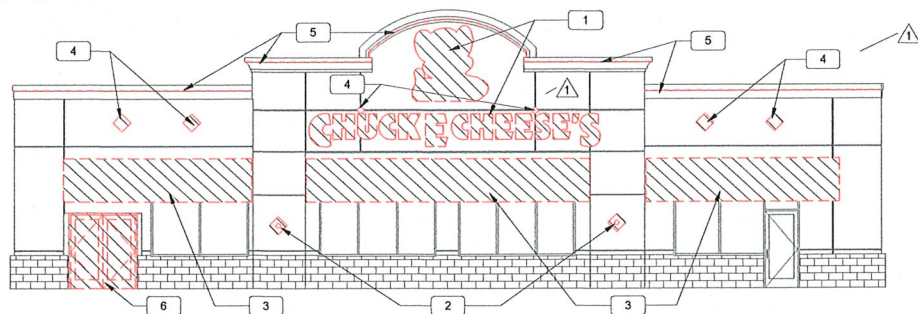
D1.1



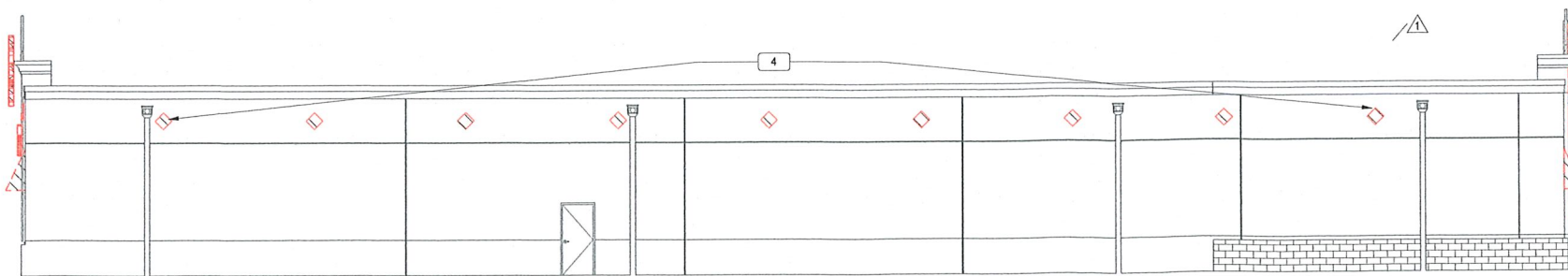
1 South Demo Elevations
1/8" = 1'-0"



2 East Demo Elevations
1/8" = 1'-0"



3 West Demo Elevations
1/8" = 1'-0"



4 North Demo Elevation
1/8" = 1'-0"

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Legend - Demo Plan			
	Scope of Work		Door to be removed
	Not in Contract		Scope Note
	Construction to be removed		Floor outlet
	Existing wall to remain		Wall outlet
'E'	Existing		
'D'	Demolish		
'R'	Relocate		
'N'	New		

Scope Notes Demolition Elevation	
1	Remove signage.
2	Remove sconce.
3	Remove awning.
4	Remove diamond accents.
5	Remove LED accents at parapet.
6	Remove storefront door.

CONSTRUCTION • ARCHITECTURE

PARKWAY

Parkway C&A, LP
1000 Civic Circle Lewisville, TX 75067
pkwycon.com (972) 221-1979



#112
7635 Mall Rd
Florence, KY 41042

Owner:
CEC ENTERTAINMENT, INC.
1707 Market Place Blvd, Suite 200
Irving, TX 77063
Ph: 972-258-5521
Contact: Walter Boyd

Architect:
Parkway C&A, LP
1000 Civic Circle
Lewisville, TX 75067
Ph: 972-221-1979
Contact: Michael Orr

MEP Engineer:
Dialectic Engineering
310 W 20th Street 200
Kansas City, MO 64108
Ph: (816)951-9527
Contact: Joe Hillebrenner, P.E.

Design Directive: 43



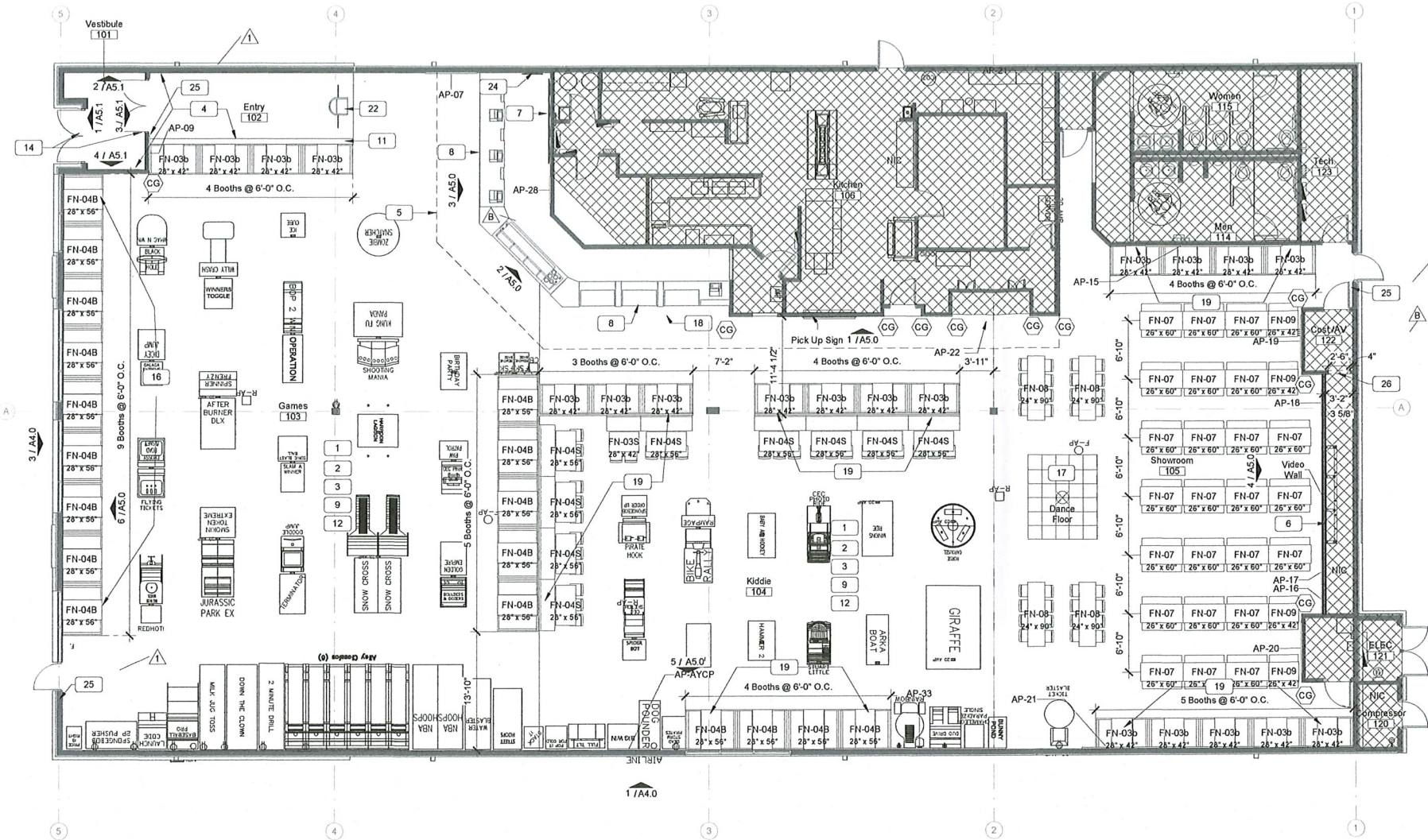
Architect: William D. Pounds, Jr.

No.	Description	Date
1	City Comments	2021.07.21
A	Permit Set	2021.06.11

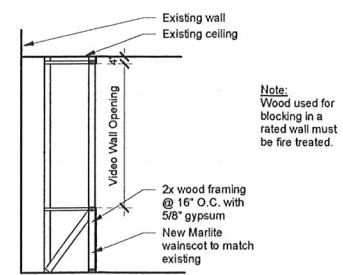
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CHECKED BY: VG
PROJ. NO: 94-21761
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Demolition Elevations

D1.2



1 Floor Plan
1/8" = 1'-0"



2 Section @ Video Wall
1/4" = 1'-0"

General Notes - Floor Plan	
Key #	Floor Plan General Notes
A	Interior "Clear" dimensions are finish dimensions, "Hold" are to finish face.
B	Security systems are to be provided and installed by others. General Contractor shall be responsible for coordination with owner's security systems contractor.
C	All gypsum board to be installed per manufacturer's recommendations. Gypsum board shall be taped and bedded. Provide fire tape at fire rated partitions. See specifications. Level 4 Finish @ new character wall or match existing texture.
D	Provide wood blocking in partitions as required. Coordinate with owner on items/fixtures and equipment installed by owner that may require blocking.
E	Wall surfaces must be cleaned and dust free prior to caulking.
F	Include 45 LF of painted grey specialty stripes.
G	Caulk at chairrail throughout guest area.
H	Adequate exit signage shall be provided and readily visible from any direction of egress travel. Additional exit signage may be required if the need for such is determined during the final inspection. (Section 1013) 2018 Kentucky Building Code

General Notes - Furniture	
A	New booths and settees to be fabricated by owner's millwork manufacturer and installed by the GC. Settee's to be mechanically fastened. Refer to manufacturer's shop drawings.
B	Booth divider panels to be mechanically fastened to booth seating. Refer to manufacturer's shop drawings.
C	Existing Kid check stanchions to be replaced with adjustable queue rail.
D	Existing millwork to remain. Replace red plastic laminate as indicated. Prep for new mosaic tile FRP.
E	GC to install new artwork, decor and coat hooks as indicated. GC to install matching corner guards as needed. Final location to be determined by CEC prior to construction. Do not install any door unit mounting locations have been verified by CEC PA.
F	Install fire extinguishers, alarms, PA controls, motion detector, emergency lighting, thermostats, etc. as required by local fire and/or building authorities. Installation of new art work and decor shall not be in conflict. Unspecified locations for life safety items shall be verified with owner prior to installation. Unspecified locations for life safety items shall be verified with local fire and/or building authorities prior to installation. Install "Squawk Boxes" on all customer accessible pull stations.
G	GC to coordinate installation of dance floor tiles & hex TV monitor frame installed above ceiling. Coordinate with CEC's manager of install power as indicated. Refer to Electrical sheets.

Legend - Floor Plan			
Room name [101]	Room name and number	AP-XX	Art Package Ref A8.0
[II]	Toilet Accessory Tag	[NIC]	Not In Contract
[CG]	Corner Guard	[]	Scope Note
[X]	Center of Dance Floor		

Scope Notes - Floor Plan	
1	50 +/- under carpet floor outlets throughout Kiddie and Game Rooms.
2	New furniture as indicated.
3	New Carpet layout, include AUX rooms and closets. High traffic carpet at entry vestibule to kid check. Patch floor from stanchion removal.
4	Install marlite in vestibule, kid check and restroom vestibule.
5	New wood look floor tile at cash wrap. See Floor Finish Plan.
6	Install new full height wall partition to 6" above ceiling with 3-5/8" (u.n.o.) metal studs at 16" o.c. max with 5/8" gypsum on showroom side. Build video wall opening with video wall system to be braced into wall and structure above. Install Marlite and paint. Include 1 data and 9 dedicated 20 amp circuits required for video board.
7	Install blocking, patch wall, provide wall tile, power and data for mounting digital menu boards.
8	Millwork: install mosaic FRP at order, salad, merch and beverage bar, FRP J-mold at corners as required.
9	Install decor, replace and/or remove all existing legal AJAX signage on exterior and interior during remodel process. Coordinate timing of legal signage removal and replacement so that store is not open without exterior/interior legal signage. Patch/repair from removal.
10	
11	Sand and stain half-wall caps at entry.
12	Relocated (10) track lights to illuminate wall decor.
13	
14	Install dark bronze storefront door at entry and vestibule.
15	
16	Install (9) pendant lights.
17	New recessed into slab dance area with inslab elec. ((5) 20 amp circuits) and (2) data.
18	Provide power and installation for "You Won" sign.
19	Install (13) wall outlets and (12) booth outlets.
20	
21	
22	GC provided kid check doors if none are existing at entry podium.
23	Frame opening in existing wall. Field verify location and dimensions with CEC. Provide 20amp 220V circuit.
24	New Promo Video Screen, provided power and data.
25	Provide raised character and braille exit signs adjacent to exterior exit doors. (Section 1013.4) 2018 Kentucky Building Code.
26	Provide 30x84 opening for access to video wall.

Table Count		
Type Mark	Description	Table Count
Games		
FN-03b	28" x 42"	4
FN-04B	28" x 56"	14
Kiddie		
FN-03b	28" x 42"	7
FN-03S	28" x 42"	1
FN-04B	28" x 56"	4
FN-04S	28" x 56"	9
Showroom		
FN-03b	28" x 42"	9
FN-07	26" x 60"	24
FN-08	24" x 90"	4
FN-09	26" x 42"	4
		80

CONSTRUCTION • ARCHITECTURE
PARKWAY
Parkway C&A, LP
1000 Civic Circle
Lewisville, TX 75067
pwycon.com (972) 221-1979



#112
7635 Mall Rd
Florence, KY 41042

Owner:
CEC ENTERTAINMENT, INC.
1707 Market Place Blvd, Suite 200
Irving, TX 77093
Ph: 972-258-5521
Contact: Walter Boyd

Architect:
Parkway C&A, LP
1000 Civic Circle
Lewisville, TX 75067
Ph: 972-221-1979
Contact: Michael Orr

MEP Engineer:
Dialectic Engineering
310 W 20th Street 200
Kansas City, MO 64108
Ph: (816)997-9627
Contact: Joe Hillebrenner, P.E.

Design Directive: 43



Architect: William D. Pounds, Jr.

No.	Description	Date
B	Owner Revisions	2021.07.26
1	City Comments	2021.07.21
A	Permit Set	2021.06.11

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Floor Plan

A1.0



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 Parkway C&A, LP
 1000 Civic Circle
 Lewisville, TX 75067
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MEP Engineer:
 Dialectic Engineering
 310 W 20th Street 200
 Kansas City, MO 64108
 Ph: (816) 957-3827
 Contact: Joe Hillebrenner, P.E.

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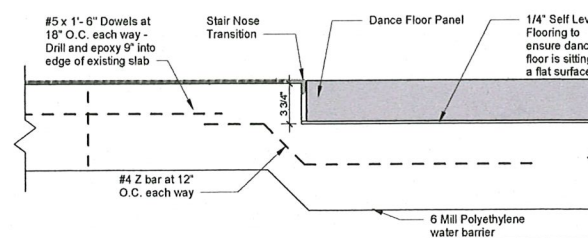
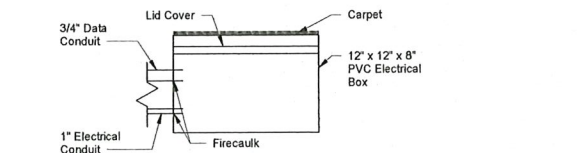
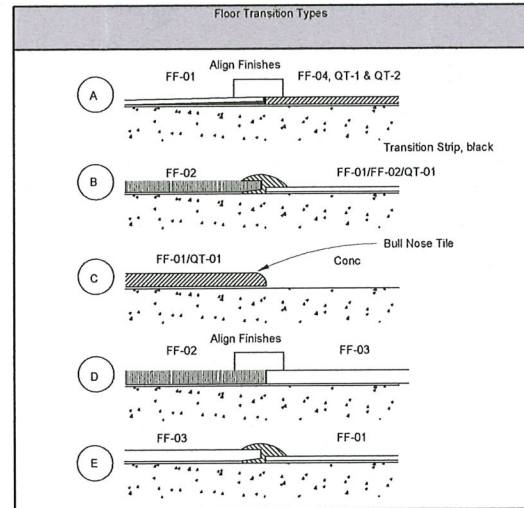
No.	Description	Date
B	Owner Revisions	2021.07.28
A	Permit Set	2021.06.11

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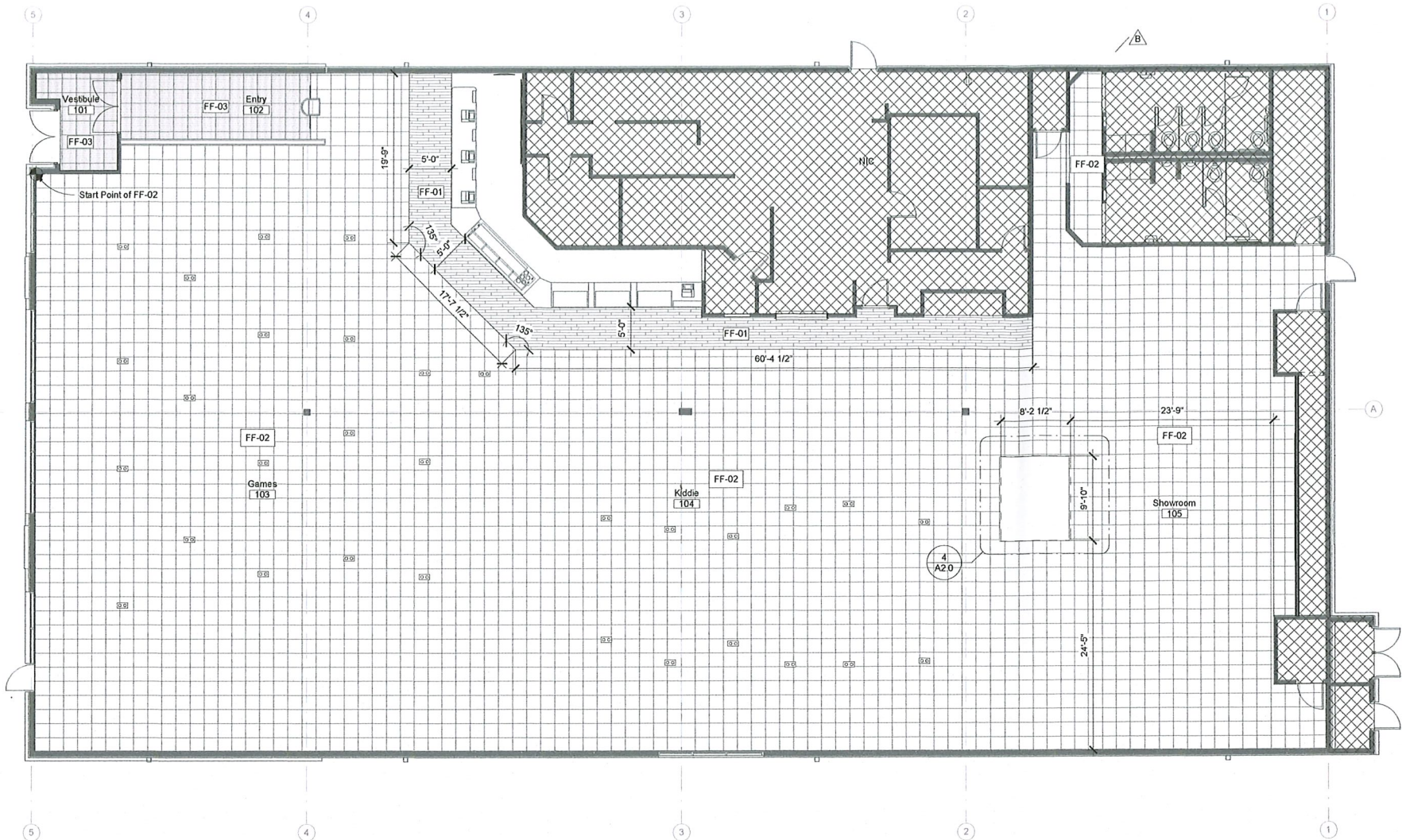
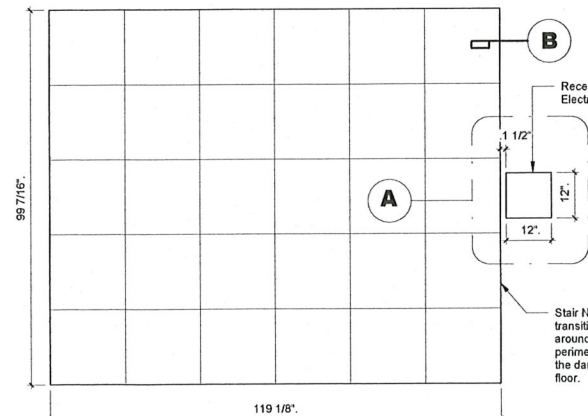
Floor Finish Plan

A2.0

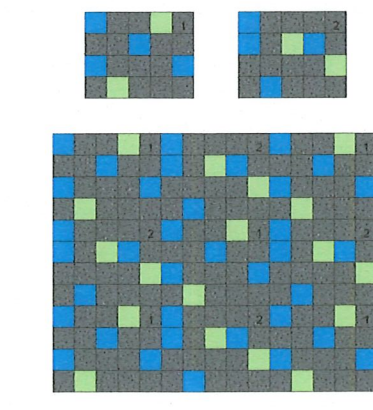
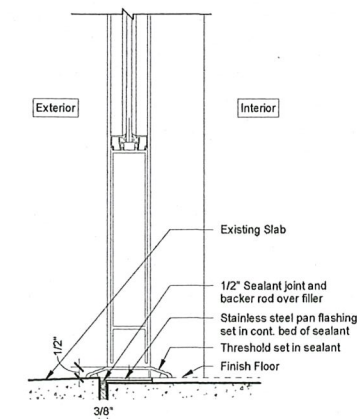
Floor Finish - Legend	
	FF-01 Porcelain Tile
	FF-02 Carpet Tile
	FF-03 High Traffic Entrance Carpet Tile
	FF-04 Ceramic Tile



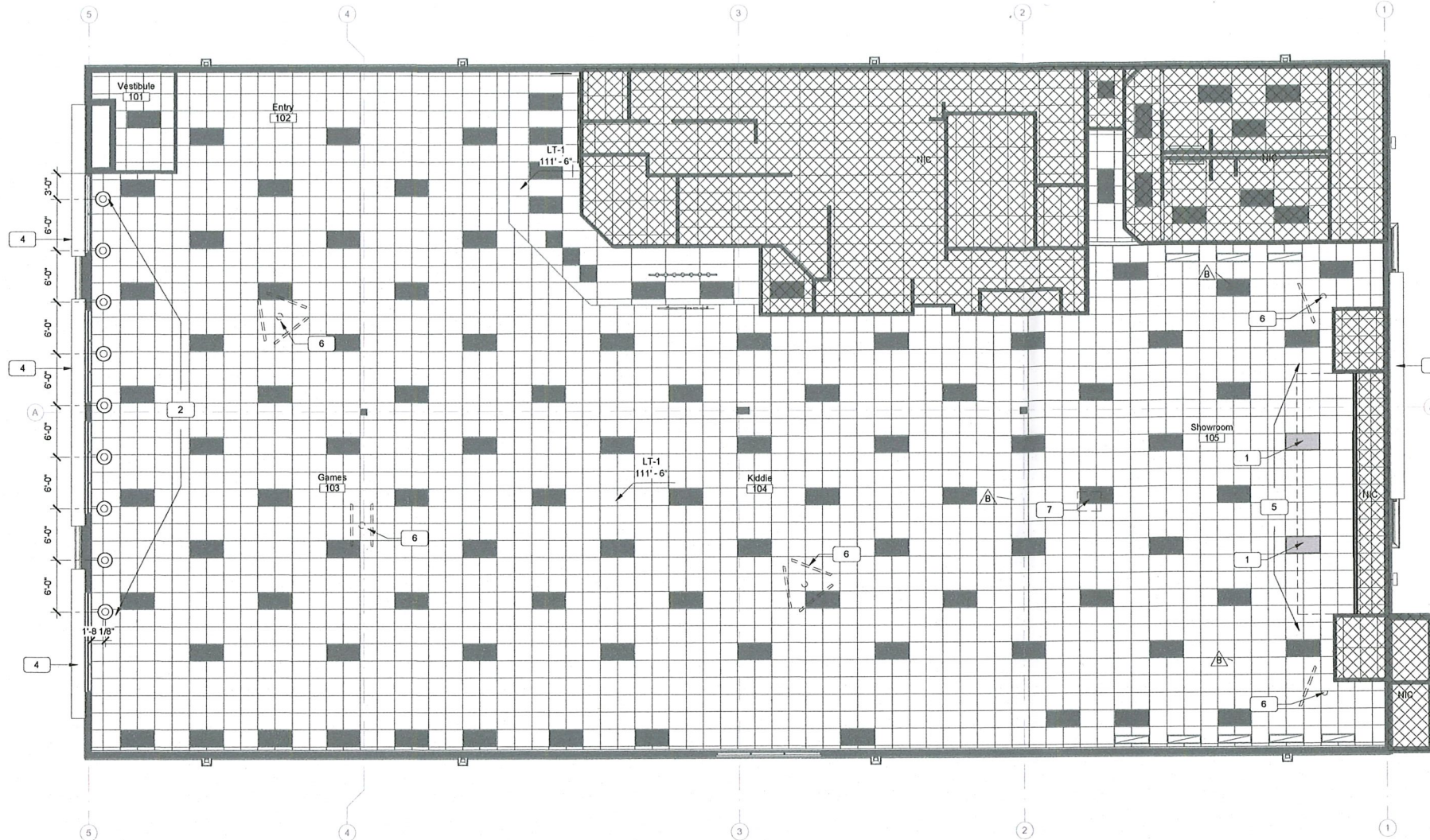
Dance floor is 6 cells by 5 cells, Every 4 cells require a circuit, Each cell is 500mm x 500mm and 1/2" is needed around the perimeter for the installation of the Stair Nose



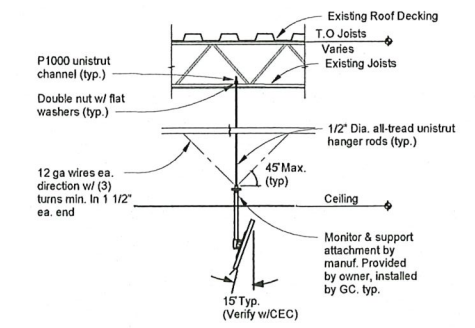
1 Floor Finish Plan
 1/8" = 1'-0"



4 Recessed Dance Floor
 1 1/2" = 1'-0"



1 Reflected Ceiling Plan
1/8" = 1'-0"



2 Monitor Frame section A
NTS

General Notes - RCP

- A All dimensions are to finish face.
- B Layout ceiling tile from center of room, both directions unless noted otherwise.
- C Sprinkler heads in suspended T-bar ceilings shall be centered in panels.
- D Ensure sprinkler head locations are clear of other ceiling fixtures and elements per plans.
- E Coordinate all ductwork to avoid interference with ceiling support systems.
- F Light fixtures and HVAC diffusers shown on this drawing are for location and coordination purposes.
- G No fixtures, grilles, speakers, sprinkler heads, etc. shall touch the ceiling T's or shadow line, Center in panel.
- H Paint all grilles and recessed speakers to match ceiling grid.
- I All speakers wire shall home run to control room rack. Ref. AVI sheet for connections.
- J Exit Signage to be installed per OSSC 1011.
- K Ceiling grid installation shall be per section 9.6 of ASCE 7-02 and CISCA guidelines for Seismic zones 3-4.
- L Refer to detail for Typical light bracing requirements.
- M GC to field verify all existing light and mechanical fixtures.
- N GC is responsible for coordination and verification of power for signage/lighting prior to installation.
- O All non-rated partition to terminate 6" above finish ceiling. See wall types, drawings for additional information.
- P Coordinate all mechanical, electrical, and fire protection systems that are supported by interface w/celling systems.
- Q All insulation wiring and other construction items shall be non-combustible and rated as required by code for work in plenum spaces where indicated.
- R Replace damaged ceiling tiles up to 1,700sf. Paint ceiling grid to match existing as needed, typ.
- S Verify all exterior soffit lights are in working order and color temperatures match. Repair/replace as needed. Paint underside of soffit to match existing.

Legend - Reflected Ceiling Plan

	Existing Acoustical lay-in ceiling LT-1
	Existing Acoustical lay-in ceiling LT-2
	Gypsum ceiling
	Ceiling Tag
	Ceiling Finish Code
	Ceiling Height (A.F.F.)
	24" x 48" Troffer
	Recessed Can Light
	Vanity Light - 7'-0" AFF
	Pendant - 6'-0" AFF
	Exterior Wall Sconce
	48" Industrial Fluorescent Strip
	Wall mount Television
	Exit Sign
	Supply Diffuser (Ref. Mechanical)
	Return Diffuser (Ref. Mechanical)
	Access Panel

Scope Notes - RCP

- 1 New 2x4 troffer light.
- 2 Install (9) pendant lights 6'-0" AFF, center on new tables.
- 3
- 4 LED wall washer at eyebrow canopy - (1) j-box for each 25'-0" of canopy.
- 5 Replace ceiling tile as needed. Verify in field.
- 6 Addition of ceiling mounted monitors in games floor. Adjust electrical and data as indicated. Terminations by CEC. Data runs with slack to floor + 15'. CEC to verify final location.
- 7 Provide power and data in ceiling, centered above dance floor.



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Owner:
CEC ENTERTAINMENT, INC.
1707 Market Place Blvd. Suite 200
Irving, TX 77053
Ph: 972-259-5521
Contact: Walter Boyd

Architect:
Parkway C&A, LP
1000 Civic Circle
Lewisville, TX 75287
Ph: 972-221-1979
Contact: Michael Orr

MEP Engineer:
Dialectic Engineering
310 W 20th Street 200
Kansas City, MO 64108
Ph: (816)957-9027
Contact: Joe Hillebrenner, P.E.

Design Directive: 43

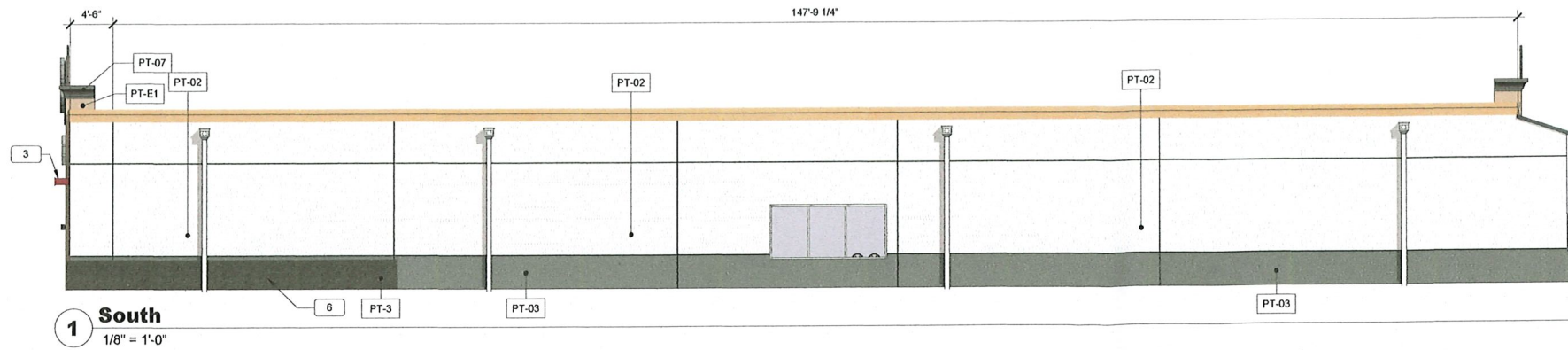


Architect: William D. Pounds, Jr.

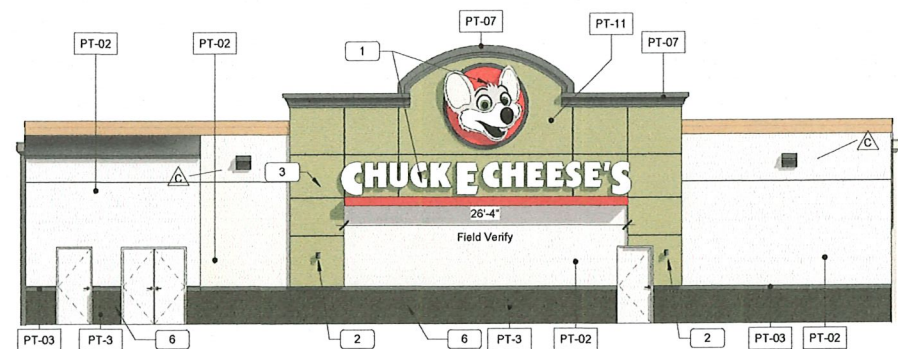
No.	Description	Date
C	Addendum 1	2021.10.15
B	Owner Revisions	2021.07.26
A	Permit Set	2021.06.11

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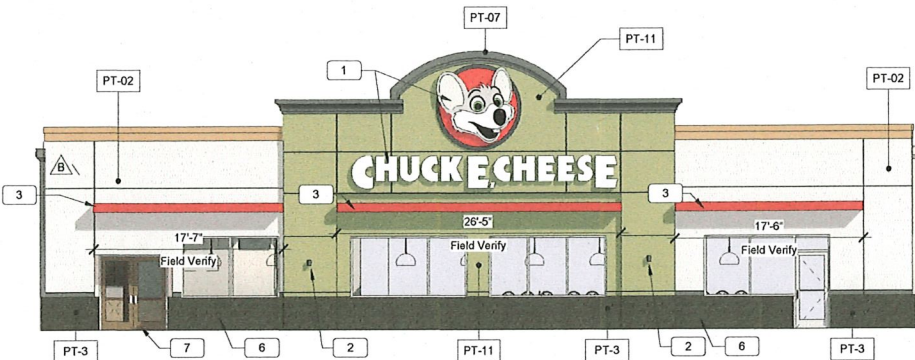
Reflected Ceiling Plan



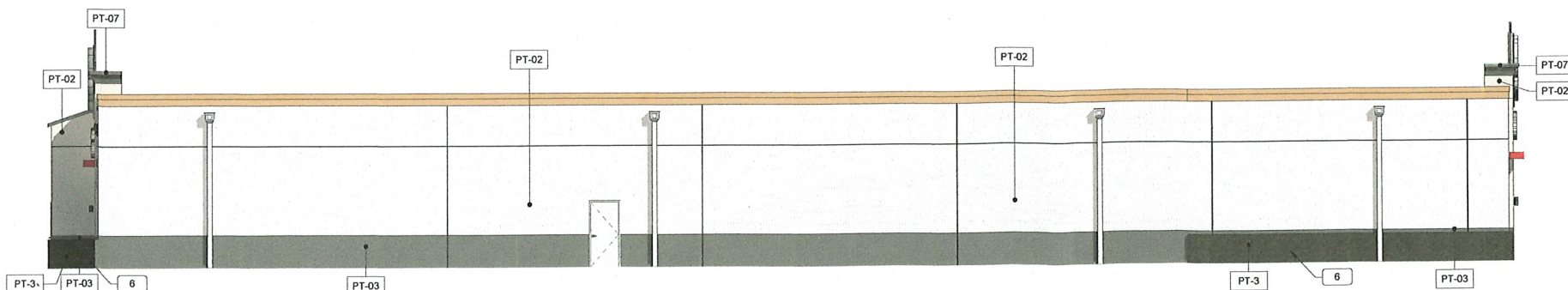
1 South
1/8" = 1'-0"



2 East
1/8" = 1'-0"



3 West
1/8" = 1'-0"



4 North
1/8" = 1'-0"

General Notes - Elevation

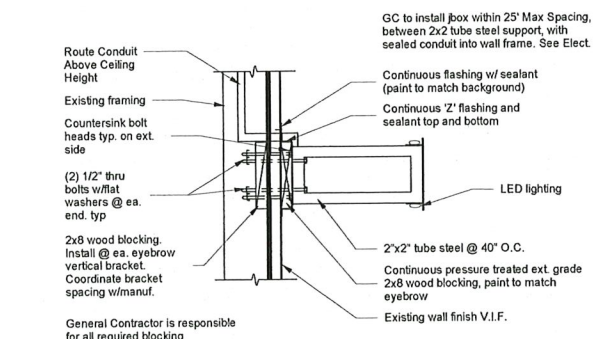
- Sign company shall obtain all required signage permits prior to installation of new work and repairs.
- Painted fixtures: all downspouts, scuppers, electrical panels, grilles, conduits and piping, handrails visible to public, shall be painted to match existing or adjacent material finish and banding, U.N.O.
- Unpainted items: do not paint over security cameras, security/ fire alarm bells and associated pumps fixtures fittings and others life safety fixtures. Do not paint over electrical and plumbing labels.
- Vegetation: All plants, trees, vegetation, garden beds and associated pathways to be protected from any physical or paint damage prior to painting. Plants to be trimmed and maintained per instructions from CEC Entertainment INC.
- Fill holes and skim coat wherever signs, awnings and lights are to be demolished, as well as areas where repairs are made, TYP.
- Verify all wall packs are in working order, typ.

Scope Notes - Exterior Elevations

- New Signage, by others.
- Install new sconce, typ.
- Install eyebrow accent fixture and power above ceiling height, typ. Rain diverter at entry door only.
- Paint cheese pattern.
- Paint green board pattern.
- Paint wainscot.
- Dark broze storefront door.

Paint Colors - Exterior

WT	Manufacturer	Color	Color #
PT-02	Benjamin Moore	Balboa Mist	1549
PT-03	Benjamin Moore	Ashwood Moss	1484
PT-06	Benjamin Moore	Etruscan	AF-355
PT-07	Benjamin Moore	Iron Mountain	2134-30
PT-09	Benjamin Moore	Cabot Trail	958
PT-11	Benjamin Moore	Sycamore Tree	539
PT-12	Benjamin Moore	Shades of Spring	537
PT-13	Benjamin Moore	Huntington Green	406
PT-E1	Shervin Williams	Match Existing - Canoe	SW2043
PT-E2	Shervin Williams	Match Existing - Sand	SW2059



7 Eyebrow Section
1" = 1'-0"



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Irving, TX 77063
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Contact: Walter Boyd

Architect:
Parkway C&A, LP
1000 Civic Circle
Lewisville, TX 75067
Ph: 972-221-1979
Contact: Michael Orr

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310 W 20th Street 200
Kansas City, MO 64108
Ph: (816)997.9627
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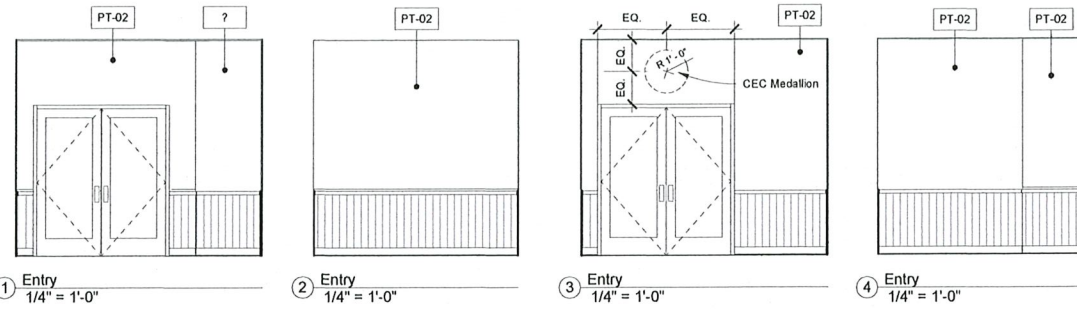


Architect: William D. Pounds, Jr.

No.	Description	Date
C	Addendum 1	2021.10.15
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Exterior Elevations



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 Irving, TX 77063
 Ph: 972-258-5521
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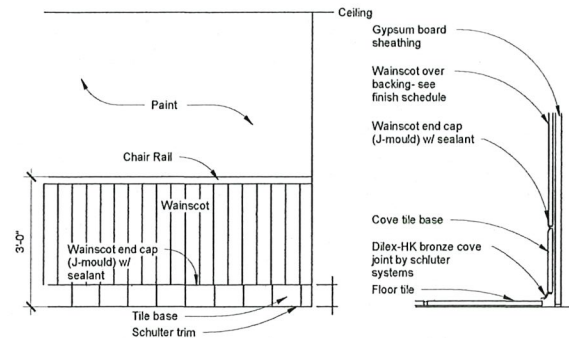


Architect: William D. Pounds, Jr.

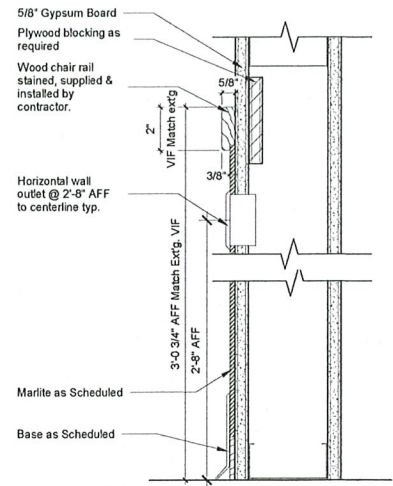
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A	Permit Set	2021.06.11

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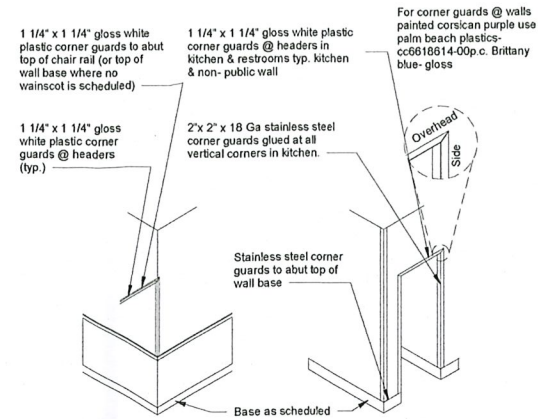
Interior Elevations



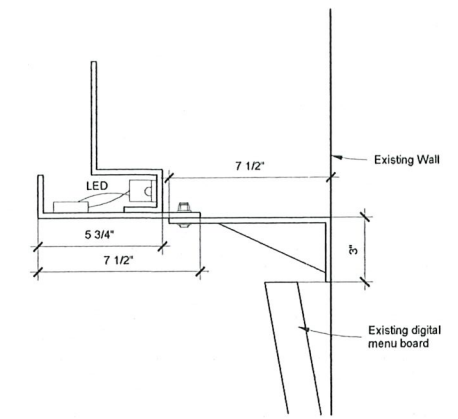
1 Wainscot Cove Detail
NTS



2 TYP Chair Rail Detail
NTS



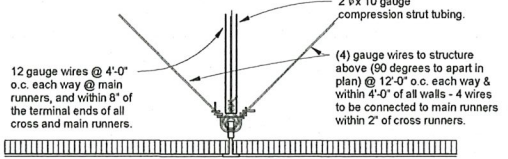
3 Corner Guard Detail
NTS



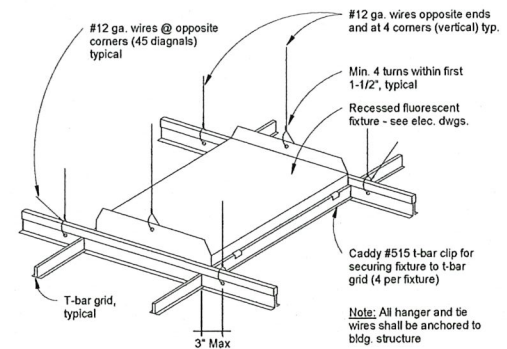
4 P&G Sign Detail
3\"/>

Ceiling Bracing Notes (Where Required Per Seismic Zone)

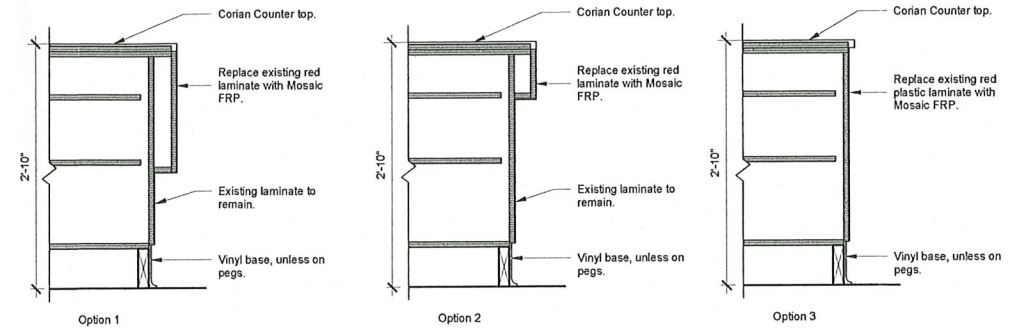
- Four no. 12 gauge wires must be secured to the main runner within 2 inches of the cross runner intersection and splayed 90 degrees from each other at an angle not exceeding 45 degrees from the plane of the ceiling. A strut fastened to the main runner shall be extended to and fastened to the structural members supporting the roof and floor above. The strut shall be adequate to resist the vertical component induced by the bracing wires. These horizontal restraint points shall be placed 12 feet on center in both directions with the first point within 6 feet from each wall. Attachment of the restraint wire to the structure above shall be adequate for the load imposed.
- Lateral force bracing members shall be spaced a minimum of 6 inches from all horizontal piping or duct work that is not provided with bracing restraints for horizontal forces. Bracing wires shall be attached to the grid and to the structure in such a manner that they can support a design load of not less than 200 pounds or the actual load, whichever is greater, with a safety factor of 2.



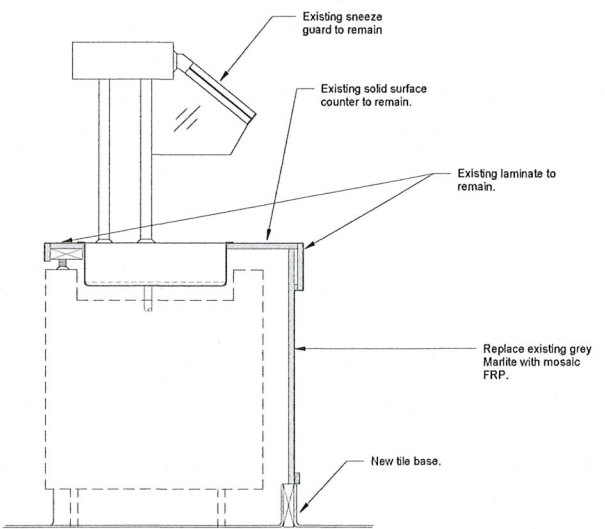
5 Ceiling Lateral Tie Detail
1\"/>



6 Typical Light Fixture Detail
1\"/>



7 Existing Millwork Details
1\"/>



8 Existing Salad Bar Detail
1\"/>



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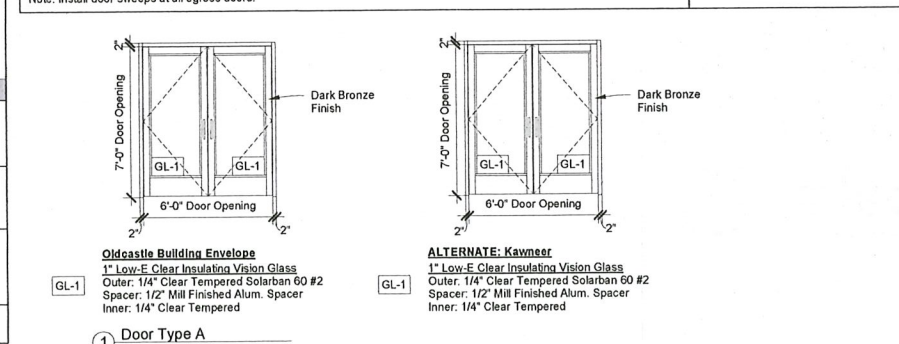
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Interior Details

PACK	PANEL SIZE	STYLE	SPECIFICATION		
ART PACK LEGEND					
AP-07	8' x 6'	Welcome wall			
AP-09	4' x 6'	Exit Message			
AP-10	4' x 4', 8x4'	Mozzarella Message			
AP-11	4' x 4', 8x4'	Veggie message			
AP-12	4' x 4', 8x4'	Dough message			
AP-13	14'6" x 8"	Where A Kid Can Be A Kid			
AP-14	20' x 6'	Game wall "Alley Classic"			
AP-15	12x6', 12x7', 16x8'	Birthday Zone Art			
AP-16	8x6', 8x7', 8x8', 7x4'	Character wall - Pasqually			
AP-17	8x6', 8x7', 8x8', 7x4'	Character wall - Jasper Jewels			
AP-18	8x6', 8x7', 8x8', 7x4'	Character wall - Mr. Munch			
AP-19	8x6', 8x7', 8x8', 7x4'	Character wall - Helen Henney			
AP-20	8x6', 8x7', 8x8', 7x4'	Character wall - Chuck E Cheese			
AP-21	16x6', 16x7', 20x8'	Party			
AP-21	20x6', 24x7', 28x8'	Fresh			
AP-21	20x6', 24x7', 28x8'	High Five			
AP-22	6'x2'	Drink message			
AP-22-V	5'-8"x1'-7 1/2"	Drink message - vinyl decal			
AP-25-FM	6'-8"x2'-7 3/4"	"You Won" Prize shop sign cabinet - flush mount	Top of cabinet 6" below CLG. Clg 12" AFF verify with CEC.		
AP-25-HK	6'-8"x2'	"You Won" Prize shop sign cabinet - ceiling mount	Top of cabinet 6" below CLG. Clg 12" AFF verify with CEC.		
AP-25-ST	Dimension Varies x18"	PVC FCO Tickets			
AP-25-LT	Dimension Varies x3'	PVC FCO Tickets			
AP-27		Painted stripes	GC to paint stripes		
AP-28	38"x42"	Pizza sizing guide			
AP-29-HK	9'x10'	Menu board ledge			
AP-31	4'x4', 8'x4'	Tomatoes Message			
AP-33	20'x6', 20'x7', 24'x8'	Game Wall			
AP-INSTA	6'x6'	CEC Instagram wall	18" AFF		
AP-AYCP	4'x4', 8'x4'	CEC All you can play signage			
AP-LOGO	1'-6"x1'-6"	Int logo - size determined by CEC			
<p>Notes: Refer to Comet sign package for final decor legend and sizes. Panel height determined by ceiling height. 9' ceiling = 6' panel height 11' ceiling = 7' panel height 12' ceiling = 8' panel height Reference interior elevations for custom panel dimensions and locations. CEC to approve final location.</p>					
<p>Sign Company: Comet Signs 5003 Stout Dr San Antonio, TX 78219 Contact: Michael Gallegos 210-341-7244 michael.gallegos@cometsign.com</p>					
MARK	MANUFACTURER	PRODUCT	COLOR	COLOR #	FINISH
PAINT					
			INT		
			EXT		
PT-01	Benjamin Moore	N538 ULTRA SPEC 500	Alabaster	BM OC-129	Semi-Gloss Eggshell
PT-02	Benjamin Moore	N538 ULTRA SPEC 500	Balboa Mist	BM1549	Semi-Gloss Eggshell
PT-02a	Benjamin Moore	N538 ULTRA SPEC 500	Cumulous Cloud	BM1550	Semi-Gloss Eggshell
PT-02b	Benjamin Moore	N538 ULTRA SPEC 500	Lapoloma Gray	BM1551	Semi-Gloss Eggshell
PT-02c	Benjamin Moore	N538 ULTRA SPEC 500	River Reflections	BM1552	Semi-Gloss Eggshell
PT-03	Benjamin Moore	N538 ULTRA SPEC 500	Ashwood Moss	BM1484	Semi-Gloss Eggshell
PT-04	Benjamin Moore	N538 ULTRA SPEC 500	Million Dollar Red	2003-10	Eggshell Eggshell
PT-05	Benjamin Moore	N538 ULTRA SPEC 500	Sabre Gray	1482	Semi-Gloss Semi-Gloss
PT-06	Benjamin Moore	N538 ULTRA SPEC 500	Etruscan	BM AF-355	Semi-Gloss Eggshell
PT-07	Benjamin Moore	N538 ULTRA SPEC 500	Iron Mountain	BM2134-30	Semi-Gloss Eggshell
PT-09	Benjamin Moore	N538 ULTRA SPEC 500	Cabot Trail	BM998	Semi-Gloss Eggshell
PT-10	Sherwin Williams	SUPERPAINT	Latte	SW6108	Semi-Gloss Eggshell
PT-10 Alt	Benjamin Moore	N538 ULTRA SPEC 500	Hillsborough Beige	1033	Semi-Gloss Eggshell
PT-11	Benjamin Moore	N538 ULTRA SPEC 500	Sycamore Tree	BM539	Semi-Gloss Eggshell
PT-12	Benjamin Moore	N538 ULTRA SPEC 500	Shades of Spring	BM537	Semi-Gloss Eggshell
PT-13	Benjamin Moore	N538 ULTRA SPEC 500	Huntington Green	BM406	Semi-Gloss Eggshell
PT-14	Sherwin Williams	SUPERPAINT	Outrageous Green	SW6922	Semi-Gloss Eggshell
PT-14 Alt	Benjamin Moore	N538 ULTRA SPEC 500	Sweet Pea	2031-30	Semi-Gloss Eggshell
PT-15	Benjamin Moore	N538 ULTRA SPEC 500	Palm Coast Teal	BM733	Semi-Gloss Eggshell
PT-16	Benjamin Moore	N538 ULTRA SPEC 500	Scandinavian Blue	BM2068-30	Semi-Gloss Eggshell
PT-17	Sherwin Williams	SUPERPAINT	Real Red	SW6868	Semi-Gloss Eggshell
PT-17 Alt	Benjamin Moore	N538 ULTRA SPEC 500	Tricycle Red	2000-20	Semi-Gloss Eggshell
PT-18	Benjamin Moore	N538 ULTRA SPEC 500	Golden Nugget	BM2019-20	Semi-Gloss Eggshell
PT-19	Benjamin Moore	N538 ULTRA SPEC 500	Deep Ocean	BM2058-30	Semi-Gloss Eggshell
PT-E1	Sherwin Williams		Match Existing - Canoe	SW2043	
PT-E2	Sherwin Williams		Match Existing - Sand	SW2059	
<p>Paint Company: Benjamin Moore & Co. 101 Paragon Dr Montvale, NJ 07645 Contact: Gayle Bruen National Accounts Project Manager D: 210-949-6242 C: 201-258-0854 gayle.bruen@benjaminmoore.com</p>		<p>Benjamin Moore & Co. Contact: Christopher W George Territory Representative North, East Texas/Dallas C: 469-888-9963 chris.george@benjaminmoore.com</p>		<p>BENJAMIN MOORE NATIONAL ACCOUNT #100114623</p>	

SYMBOL	ITEM	SPECIFICATION & COLOR	DESCRIPTION	MANUFACTURER
FLOOR FINISH				
FF-01	PORCELAIN FLOOR TILE	PRODUCT: NORWAY HARVIK BRONZE 8"x40" GROUT: MAPEI ULTRACOLOR PLUS #7 - "CHOCOLATE" GROUT LINE: 1/8" PATTERN: RUNNING BOND 1/3 OVERLAP COVE: SCHLUTER DILEX-AHK 1S 125 TSOB	PUBLIC AREA @ ORDER, MERCH, BEV, & SALAD	COMPANY: INTERCERAMIC CONTACT: LORI SHURAFRA PHONE: 214-682-7479
		PRODUCT ALT: GRAINSWOOD 6"x24" GW07 WALNUT GROUT: MAPEI ULTRACOLOR PLUS #7 "CHOCOLATE" GROUT LINE: 1/8" PATTERN: RUNNING BOND 1/3 OVERLAP COVE: SCHLUTER DILEX-AHK 1S 125 TSOB		COMPANY: DAL-TILE CONTACT: FREDERICK DAVIS PHONE: 972-423-5465 469-964-3246 FRED.DAVIS@DALTILE.COM
		PRODUCT ALTERNATE: SADDLEBROOK SIZE: 6"x36" SD15 WALNUT GROUT: MAPEI ULTRACOLOR PLUS #7 "CHOCOLATE" GROUT LINE: 1/8" PATTERN: RUNNING BOND 1/3 OVERLAP COVE: SCHLUTER DILEX-AHK 1S 125 TSOB		COMPANY: INTERCERAMIC CONTACT: LORI SHURAFRA PHONE: 214-682-7479
FF-02	CARPET TILE	PRODUCT SYNCOPATION 50cm - 10% 188442 WORK GREEN 19.69'x19.69' (50cm) TILES - 20% 188443 WORK BLUE 19.69'x19.69' (50cm) TILES - 70% 105773 ICE BREAKER JET MIST 19.69'x19.69' (50cm) TILES TRANSITION: ARMSTRONG VT060125 JET BLACK	PUBLIC AREA	COMPANY: INTERFACE CONTACT: JERRY ARNOLD PHONE: 415-515-9316 JERRY.ARNOLD@INTERFACE.COM
FF-03	WALK-OFF CARPET TILE	WALK-OFF CARPET - 104945 STEP REPEAT 999 ONYX 19.69'x19.69' (50cm) TILES	ENTRY VESTIBULE/ KID CHECK	COMPANY: INTERCERAMIC CONTACT: LORI SHURAFRA PHONE: 214-682-7479
FF-04	PORCELAIN FLOOR TILE	PRODUCT: PINOT/ GOLD MEUNIER SIZE: 20"x20" (INSTALL DIAGONAL) GROUT: MAPEI #42 - MOCHA 1/8"	RESTROOM FLOOR TILE	COMPANY: INTERCERAMIC CONTACT: LORI SHURAFRA PHONE: 214-682-7479
	PORCELAIN FLOOR TILE	PRODUCT ALTERNATE: SLATE ATTACHE MULTI SIZE: 24"x24" GROUT: MAPEI #15 BONE		COMPANY: DAL-TILE CONTACT: FREDERICK DAVIS PHONE: 972-423-5465 469-964-3246 FRED.DAVIS@DALTILE.COM
Furniture Schedule				
FN-01	DINING CHAIR	PRODUCT: SPRINT SIDE CHAIR SPRI-SC COLOR: MATTE BLACK PC002/PL-01 SIZE: 18" W 20" D 18" SH VERIFY SPEC. WITH ARCHITECT	FAMILY DINING BANQUET CHAIR	COMPANY: DESIGNFORM CONTACT: KAYLA HODGE PHONE: 949-351-4288 EMAIL: kayla@globalsourceindustries.com
FN-02	PARTY BENCH		BIRTHDAY ROOM	COMPANY: JAK W CONTACT: LAURA KAHAR PHONE: 970-376-3151 EMAIL: laura@jak-w.com
FN-03	DINING TABLE	PRODUCT: DINING TABLE EDGE: EASED EDGE FINISH: PL-02 SIZE: 42" X 28" BASE: WRINKLE BLACK, CROSS SHAPED	FAMILY GAMES BANQUET TABLE	
FN-04	DINING TABLE	PRODUCT: DINING TABLE EDGE: EASED EDGE FINISH: PL-02 SIZE: 42" X 28" BASE: WRINKLE BLACK, CROSS SHAPED	FAMILY GAMES BOOTH TABLE	
FN-05	DINING TABLE	PRODUCT: DINING TABLE EDGE: EASED EDGE FINISH: PL-02 SIZE: 51" X 51" BASE: WRINKLE BLACK, CROSS SHAPED	FAMILY GAMES CORNER TABLE	COMPANY: MIDWEST CABINET CONTACT: SUSAN EICHENBERGER PHONE: 785-242-8181 EXT. 23 EMAIL: seichenberger@midwestcabinet.com
FN-06	DINING TABLE	PRODUCT: DINING TABLE EDGE: EASED EDGE FINISH: PL-02 SIZE: 42" X 28" BASE: WRINKLE BLACK, CROSS SHAPED	SHOWROOM LOOSE TABLE	
FN-07	DINING TABLE	PRODUCT: DINING TABLE EDGE: EASED EDGE FINISH: PL-02 SIZE: 60" X 28" BASE: WRINKLE BLACK, CROSS SHAPED	SHOWROOM LOOSE TABLE	
FN-08	DINING TABLE	PRODUCT: DINING TABLE EDGE: EASED EDGE FINISH: ROCK OF AGES LAMINATE PIONITE SIZE: 80" X 24" BASE: WRINKLE BLACK, CROSS SHAPED	SHOWROOM HIGHTOP TABLE	
FN-09	DINING TABLE	PRODUCT: DINING TABLE EDGE: EASED EDGE FINISH: PL-02 SIZE: 42" X 28" BASE: WRINKLE BLACK, CROSS SHAPED	SHOWROOM TABLE	
UPH-01	UPHOLSTERY	PRODUCT: THE SYMPHONY COLLECTION STUDIO STYLE: PERSUASION COLOR: CHINA RED TPE 010, SIZE: 54"		
UPH-01	UPHOLSTERY	PRODUCT: THE SYMPHONY COLLECTION STUDIO STYLE: PERSUASION COLOR: MATADOR TPE 017, SIZE: 54"		
UPH-01	UPHOLSTERY	PRODUCT: THE SYMPHONY COLLECTION STUDIO STYLE: PERSUASION COLOR: BEET TPE 004, SIZE: 54"		
Ceiling Schedule				
LT-1	ACT	PRODUCT: #1761HA SECOND LOOK II FINE FISSURED 2x4x3/4" COLOR: MATCH EXISTING or HAZE GRID: PRELUDE XL 1516" EXPOSED TEE	CEILING TILE	COMPANY: ARMSTRONG
LT-2	ACT	PRODUCT: #670 VINYLCLAD GYPSUM 2x4x1/2" COLOR: MATCH EXISTING or WHITE GRID: PRELUDE XL WHITE	CEILING TILE	
SURFACES FINISHES				
SS-01	SOLID SURFACE	PRODUCT: SOLID SURFACE COLOR: 9091 ML - MIDNIGHT MELANGE THICKNESS: 1/2" EDGE: EASED EDGE; 1/4" ROUND	ORDER/SALAD/BEV. BAR COUNTER	COMPANY: WILSONART
		PRODUCT: SOLID SURFACE COLOR: MIDNIGHT THICKNESS: 1/2" EDGE: EASED EDGE; 1/4" ROUND		COMPANY: CORIAN
SS-04	SOLID SURFACE	PRODUCT: SAN GABRIEL RIVERSTONE 9138RS	RESTROOM COUNTER & HAND DRYER WALL	COMPANY: WILSONART
		PRODUCT ALT: SOLID SURFACE COLOR: SEA STONE		COMPANY: CORIAN
		PRODUCT ALT: SOLID SURFACE COLOR: FOSSIL		COMPANY: CORIAN

SYMBOL	ITEM	SPECIFICATION & COLOR	DESCRIPTION	MANUFACTURER
WALL COVER				
WM-01	MARLITE	PRODUCT: SOLID COLOR COLOR: MORNING HAZE 5446-S2V SIZE: 1/4" BEVEL TONGUE GROVE	INTERIOR WAINSCOT	COMPANY: MARLITE CONTACT: DONNA DEHART DDEHART@MARLITE.COM
WT-03	GLAZED CERAMIC TILE	PRODUCT: X114 DESERT GREY 4"x12" GROUT: LATICRETE PERMACOLOR. 60 DUSTY GRAY TRIM: RONDEC SATIN ANODIZED ALUM. SCHLUTER	MENU BOARD WALL	COMPANY: DAL-TILE CONTACT: FREDERICK DAVIS PHONE: 972-423-5465
		PRODUCT ALT: SISTEMEC COLOR: MIRO FUMO-C SIZE: 4"x12" GROUT: LATICRETE PERMACOLOR SELECT: 60 DUSTY GRAY		COMPANY: MARAZZI CONTACT: TARYN FISCHER PHONE: 415-554-1937 TARYN.FISCHER@DALTILE.COM
WT-05	GLAZED CERAMIC BASE	PRODUCT: 4"x8" BRITE ALMOND SIZE: 3"x6" GROUT: MAPEI NONSANDED #15 BONE 1/8"	RESTROOM WALL	COMPANY: INTERCERAMIC CONTACT: LORI SHURAFRA PHONE: 214-682-7479
		PRODUCT ALTERNATE: 0135 ALMOND SIZE: 4"x8" GROUT: MAPEI NONSANDED #15 BONE 1/8"		COMPANY: DAL-TILE CONTACT: FREDERICK DAVIS PHONE: 972-423-5465 469-964-3246 FRED.DAVIS@DALTILE.COM
WT-06	GLAZED PORCELAIN TILE	PRODUCT: PINOT/ GOLD MEUNIER SIZE: 4"x8" GROUT: MAPEI NONSANDED #15 BONE 1/8"	RESTROOM WALL ACCENT BAND	COMPANY: INTERCERAMIC CONTACT: LORI SHURAFRA PHONE: 214-682-7479
		PRODUCT ALTERNATE: SLATE SA08 MULTI BROWN SIZE: 12"x24" GROUT: MAPEI NONSANDED #15 BONE 1/8"		COMPANY: DAL-TILE CONTACT: FREDERICK DAVIS PHONE: 972-423-5465 469-964-3246 FRED.DAVIS@DALTILE.COM
FRP-02	FRP	PRODUCT: C 100-G63 STYLE: SUBWAY FRP COLOR: WHITE SIZE: 4' X 10' CAULK BUTT JOINTS NW/ PENNY SPACING	KITCHEN WALL OPEN TO PUBLIC VIEW	COMPANY: MARLITE
FRP-03	MOSAIC FRP	PART NUMBER: #204137 VU-SKY CHUCK E. CHEESE BEVBAR 48X120 ADHESIVE: FRP MARLITE ADHESIVE. USE CAULK TO MATCH FRP LIGHT GREY SEAM JOINT: 6 PENNY SPACING NAIL BETWEEN PANELS. INSTALL PER MANF. INSTALLATION PROVIDE BLACK OUTSIDE CORNER GUARDS.	KITCHEN WALL OPEN TO PUBLIC VIEW	COMPANY: MARLITE CONTACT: DONNA DEHART DDEHART@MARLITE.COM
WALL BASE				
WB-01	VINYL WALL BASE	PRODUCT: 60-JET BLACK COLOR: INTEGRATED COVE: 6" COVED	INTERIOR WALL BASE WITH CARPET	COMPANY: ARMSTRONG
WB-04	GLAZED CERAMIC BASE	PRODUCT: BRITE ALMOND SIZE: 6"x6" GROUT: MAPEI #15 BONE	RESTROOM COVE BASE	COMPANY: INTERCERAMIC CONTACT: LORI SHURAFRA PHONE: 214-682-7479
		PRODUCT ALTERNATE: 0135 ALMOND SIZE: 4"x8" GROUT: MAPEI #15 BONE		COMPANY: DAL-TILE CONTACT: FREDERICK DAVIS PHONE: 972-423-5465 469-964-3246 FRED.DAVIS@DALTILE.COM
WB-05	GLAZED CERAMIC BASE	PRODUCT: INTERCERAMIC NORWAY HARVIK BRONZE 8"x40" (OFFSET INSTALL FOR WOOD LOOK) GROUT: MAPEI #7 - "CHOCOLATE" GROUT LINE: USE A 1/8" COVE: DILEX-AHK 1S 125 TSOB SCHULTER	TILE BASE AROUND PUBLIC TILE AREA	COMPANY: INTERCERAMIC CONTACT: LORI SHURAFRA PHONE: 214-682-7479
		PRODUCT ALTERNATE: SADDLEBROOK SIZE: 6"x36" SD15 WALNUT GROUT: MAPEI #7 - "CHOCOLATE" GROUT LINE: USE A 1/8" PATTERN: RUNNING BOND 1/3 OVER LAP COVE: DILEX-AHK 1S 125 TSOB SCHULTER	CUT 8" TILE DOWN TO 6" BASE HEIGHT.	COMPANY: DAL-TILE CONTACT: FREDERICK DAVIS PHONE: 972-423-5465 469-964-3246 FRED.DAVIS@DALTILE.COM
		PRODUCT ALTERNATE: GRAINSWOOD SIZE: 6"x24" GW07 WALNUT GROUT: MAPEI #7 - "CHOCOLATE" GROUT LINE: USE A 1/8" PATTERN: RUNNING BOND 1/3 OVER LAP COVE: DILEX-AHK 1S 125 TSOB SCHULTER		COMPANY: DAL-TILE CONTACT: FREDERICK DAVIS PHONE: 972-423-5465 469-964-3246 FRED.DAVIS@DALTILE.COM
LAMINATE				
PL-05	PLASTIC LAMINATE	PRODUCT: KHAKI BROWN D50-60	BOTH FACES	COMPANY: WILSONART
HARDWARE SCHEDULE				
Entry Storefront				
1 EA	TOP PIVOT - FRAME	834 OP-6 CLR FINISH	OLD CASTLE	Contact: COMPANY: UNIVERSAL MANUFACTURING CONTACT: THERESA LAND PHONE: 901-458-5881
1 EA	TOP PIVOT - DOOR	838 OP-7 CLR FINISH	OLD CASTLE	
1 EA	BOTTOM PIVOT - FRAME	805/838 OP-10 CLR FINISH	OLD CASTLE	
1 EA	BOTTOM PIVOT - INTERNAL	846 OP-9 CLR FINISH	OLD CASTLE	
1 EA	PULL HANDLE	12368 PH-21 YB CLR FINISH	OLD CASTLE	
1 EA	EXIT DEVICE	CD3547AA-TL LESS 386TR US28	VON DUPRIEN	
1 EA	RM CYLINDER	188 CY-5 CLR FINISH	OLD CASTLE	
1 EA	THRESHOLD	TH-43	OLD CASTLE	
1 EA	WEATHERSTRIP	4299 V-231 CLR FINISH	OLD CASTLE	
1 EA	SURFACE CLOSER	4041 90-DEGREE STOP	LCN	
1 EA	DOOR SWEEP	2001A X WIDTH	NATIONAL GUARD	
1 EA	DOOR STOP	267F	HAGER	
Entry Vestibule				
1 EA	TOP PIVOT - FRAME	834 OP-6 CLR FINISH	OLD CASTLE	
1 EA	TOP PIVOT - DOOR	838 OP-7 CLR FINISH	OLD CASTLE	
1 EA	BOTTOM PIVOT - FRAME	805/838 OP-10 CLR FINISH	OLD CASTLE	
1 EA	BOTTOM PIVOT - INTERNAL	846 OP-9 CLR FINISH	OLD CASTLE	
1 EA	PULL HANDLE	12368 PH-21 YB CLR FINISH	OLD CASTLE	
1 EA	PUSH BAR	142 PB-16 CLR FINISH	OLD CASTLE	
1 EA	SURFACE CLOSER	4041 90-DEGREE STOP	LCN	



CONSTRUCTION ARCHITECTURE

PARKWAY

Parkway C&A, LP
 1000 Civic Circle Lewisville, TX 75067
 phycycon.com (972) 221-1979

#112
 7635 Mall Rd
 Florence, KY 41042

Owner:
 CEC ENTERTAINMENT, INC.
 1707 Market Place Blvd, Suite 200
 Irving, TX 77063
 Ph: 972-258-5521
 Contact: Walter Boyd

Architect:
 Parkway C&A, LP
 1000 Civic Circle
 Lewisville, TX 75067
 Ph: 972-221-1979
 Contact: Michael Orr

MEP Engineer:
 Dialectic Engineering
 310 W 20th Street 200
 Kansas City, MO 64108
 Ph: (816)997-9627
 Contact: Joe Hillbrenner, P.E.

Design Directive: 43

ARCHITECT

WILLIAM D. POUNDS, JR.
 ARCHITECT
 NO. 6530
 COMMONWEALTH OF TEXAS
 EXPIRES 12/31/2021

Architect: William D. Pounds, Jr.

No.	Description	Date
1	City Comments	2021.07.21
A	Permit Set	2021.06.11

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 CHECKED BY: VG
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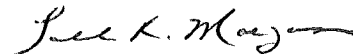
Schedules

A8.0

CERTIFICATE OF LAND USE RESTRICTION

1. NAME AND ADDRESS OF PROPERTY OWNER(S)
New Plan Property Holding Co. c/o Brixmor Property Group
450 Lexington Ave, 13th Floor
New York, NY 10017
2. ADDRESS OF PROPERTY
7635 Mall Rd
Florence, KY 41042
3. NAME OF SUBDIVISION OR DEVELOPMENT (if applicable)
Chuck E. Cheese Store #112
4. DEED BOOK 871 PAGE NO. 412 GROUP NO. 2040A
5. TYPE OF RESTRICTION(S) (Check all that apply)
- ___ Zoning Map Amendment: ___ Conditional Use Permit
 From ___ To ___
- ___ Development Plan ___ Conditional Zoning
- ___ Subdivision Plat ___ Other:
 (Not Recorded)
- X Variance
6. NAME AND ADDRESS OF PLANNING COMMISSION, BOARD OF ADJUSTMENT, LEGISLATIVE BODY OR FISCAL COURT WHICH MAINTAINS THE ORIGINAL RECORDS CONTAINING THE RESTRICTION

BOONE COUNTY PLANNING COMMISSION
2950 WASHINGTON STREET, ROOM 317
P.O. BOX 958
BURLINGTON, KENTUCKY 41005



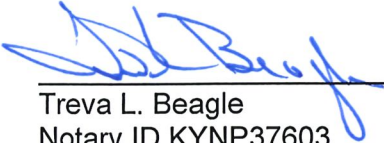
SIGNATURE OF COMPLETING OFFICIAL

Todd K. Morgan, AICP, Senior Planner
Name and Title of Completing Official

COMMONWEALTH OF KENTUCKY

COUNTY OF BOONE

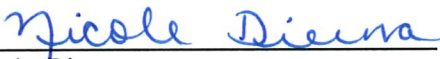
Subscribed, sworn to, and acknowledged before me by Todd K. Morgan on behalf of the Boone
County Planning Commission this 17th day of December, 2021.



Treva L. Beagle
Notary ID KYNP37603
NOTARY PUBLIC, State at Large

My commission Expires:
November 12, 2025

This instrument was prepared for recording purposes only by:



Nicole Dierna
Boone County Planning Commission
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005

NO TITLE EXAMINATION

(Legal Description and source of Title and Group Number furnished by the applicant.)

CONDITIONS OF APPROVAL

The following Conditions of Approval apply to the Variance approved by the Florence Board of Adjustment and in accordance with the current zoning in effect as of December 16, 2021, Certificate of Land Use Restriction (#21-FBOA-014-A), for New Plan Property Holding Co. c/o Brixmor Property Group, Property Owner(s).

The following conditions will apply:

1. The signage and façade improvements shall be consistent with the submitted elevation and signage drawings.
2. The applicant and staff shall analyze whether a sidewalk connection can be provided between the public sidewalks on Mall Road and Chuck E. Cheese parking lot. This determination shall be made when the Minor Site Plan is submitted to make the building improvements.
3. The landscaping that was shown on the 8/4/10 Major Site Plan shall be reinstalled.

The approved Variance as well as the preceding conditions apply to the property described in:

DEED BOOK 871

PAGE NO. 412

GROUP NO. 2040A