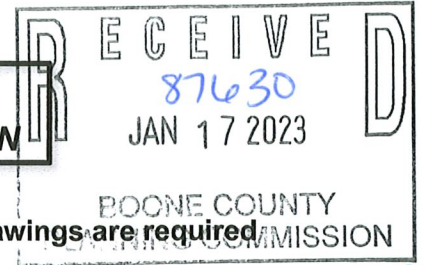


**BOARD OF ADJUSTMENT
BOONE COUNTY PLANNING COMMISSION**



Five (5) scaled copies and one (1) 11 x 17 reduction of submitted drawings are required

Site Plan Review is not granted by the appropriate Board of Adjustment

An application consists of all fees paid in full, submitted drawings, and a completed application form

SECTION A: (To be completed by applicant)

1. Check One Boone Florence Walton Union
2. Check One Conditional Use Permit Variance Appeal
 Change in Non-Conforming Use
3. Applicant: Stephen Brown (Stephen Brown Architects)
Address: 4109 Jora Lane
Cincinnati Ohio 45209
City State Zip Code
Phone Number: 513-533-9821 Fax Number: _____
Email: steve@stephenbrownarchitects.com
4. Description of Request:
~~Variance on slight encroachment of a proposed addition to an existing building into the rear yard set-back.~~
5. Name of Development: Tom's Papa Dino's
6. Location of Development: 288 Main Street
Florence Kentucky 41042
City State Zip Code
7. Acreage Under Review: 0.6479 acres
8. Lot Number and Name of Subdivision (if part of a subdivision):

9. Current Owner: Mike/Mary Crittendon
Address: 288 Main Street
Florence Kentucky 41042
City State Zip Code
Phone Number: 859-743-5918 Fax Number: _____
Email: mccritter49@gmail.com

10. Proposed Use(s) on Site: Addition to existing restaurant
11. Total Square Footage of Existing and/or Proposed Buildings: 1,999 (exist) 3,088 (proposed)
12. Current Zoning: FMS
13. 172 08 061.01-26-018.00
Deed Book Page Group Number
14. Is the site subject to a zone change: Yes No
If yes, date of approval: _____
15. Have you submitted a Site Plan with this request: Yes No
16. Have you submitted a list of adjoining property owners with this request: Yes No
17. I, or we, understand and agree that this application and drawing(s) are being filed in accordance with the Boone County Zoning Regulations.

ORIGINAL Property Owner's Signature: Mary S. Cretter
(Faxed, Photocopied or Scanned Signatures will **NOT** be Accepted)

ORIGINAL Applicant's Signature: [Signature]
(Faxed, Photocopied or Scanned Signatures will **NOT** be Accepted)

SECTION B: (To be completed by Planning Commission staff)

1. Date Received: 1/17/23 Fee Received: \$966 Receipt #: 87630
2. Is application complete:
3. Staff Reviewer: Todd Morgan
4. Scheduled Board Action Date: 3/9/23
5. Board Action: _____
 Approved
 Approved with Conditions (see #6)
 Denial (See #7)
6. Conditions of Approval: SEE 3/9/23 Meeting Minutes
AND C.L.U.R.
7. Reasons for Denial: _____

Boone County Planning Commission
Boone County Administration Building
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005
Phone: 859-334-2196 Fax: 859-334-2264
plancom@boonecountyky.org
www.boonecountyky.org

STAFF REPORT

#2

APPLICANT: Stephen Brown Architects for Tom's Papa Dino's

LOCATION: 288 Main Street, Florence, Kentucky

ZONING: Florence Main Street (FMS)

DATE: March 9, 2023

PROPOSAL

The applicant is requesting a Variance so a 622 square foot (46'-8" x 13'-4") kitchen addition can be constructed onto the rear of Tom's Papa Dino's restaurant. The submitted plans show the addition would be located approximately 18'-2³/₄" from the rear property line and will be clad with EIFS to match the existing building. The request is to reduce the required 20' rear yard building setback from 20' to 18'-2³/₄".

The plans also show other improvements are proposed but they are not part of the Variance request. These improvements include a 467 square foot dining room addition, parking lot improvements, and landscaping improvements.

APPLICABLE REGULATIONS

- A. Section 202 of the Boone County Zoning Regulations states that one of the duties of the Board of Adjustment is to hear and decide on applications for variances.
- B. The Board should evaluate the request as it relates to the criteria necessary for granting a Variance as stated in Section 204 of the Boone County Zoning Regulations.

Findings listed in Section 204:

Before any variance is granted, the Board must find that the granting of the variance will not adversely affect the public health, safety or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations. In making these findings, the board shall consider whether:

- (1) The requested variance arises from special circumstances which do not generally apply to land in the general vicinity, or in the same zone;
- (2) The strict application of the provisions of the regulations would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant;
- (3) The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.

The Board shall deny any request for a variance arising from circumstances that are the result of willful violations of the zoning regulation by the applicant subsequent to the adoption of the zoning regulation from which relief is sought.

- C. Section 2305 F. of the Boone County Zoning Regulations states the rear yard setback requirement is 20' when a building addition is proposed on a non-residential use and adjoins a residential use.
- D. Section 2305 K. of the Boone County Zoning Regulations states an eating and drinking establishment shall provide 1 parking space for every four indoor seats.

SURROUNDING LAND USES AND ZONING

North: Dinn Chiropractic (FMS)

South: Florence Christian Church (FMS)

East: Church of Scientology (FMS)

West: Arcadia Park Senior Apartments (FMS)

SITE CHARACTERISTICS

- A. The approximate 0.648 acre site is located on the west side of Main Street and has 136.87 feet of street frontage.
- B. The property contains Tom's Papa Dino's restaurant, PaPa's Pub, a beer garden, a 50 stall parking lot, and two visible trash dumpsters that are not enclosed.
- C. Access to the site is provided from two curb cuts on Main Street. Public sidewalks also exist in the Main Street right-of-way.
- D. A pole sign exists in the front yard.
- E. The topography of the site falls from 928' above sea level in the northern parking lot to 926' above sea level along Main Street and 920' above sea level at the rear property line.

STAFF COMMENTS

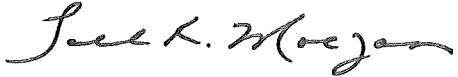
- A. Staff would like the applicant to explain why the building addition cannot meet the 20' rear yard setback.
- B. Staff would like the applicant to address if there are any plans to enclose the dumpsters that are located in the northern parking lot.
- C. The Board needs to analyze the Variance criteria before acting on the request. In particular, Staff believes the Board should analyze if the strict application of the regulations would create an unnecessary hardship on the property owner.

CONCLUSION

- A. KRS 100.241 and Section 202 of the Boone County Zoning Regulations give the Florence Board of Adjustment and Zoning Appeals the authority to act on the request.

- B. Section 204 of the Boone County Zoning Regulations identifies criteria necessary for granting a Variance. The applicant needs to provide information as to how their application meets this criteria.

Respectfully submitted,



Todd K. Morgan, AICP
Senior Planner, Zoning Services

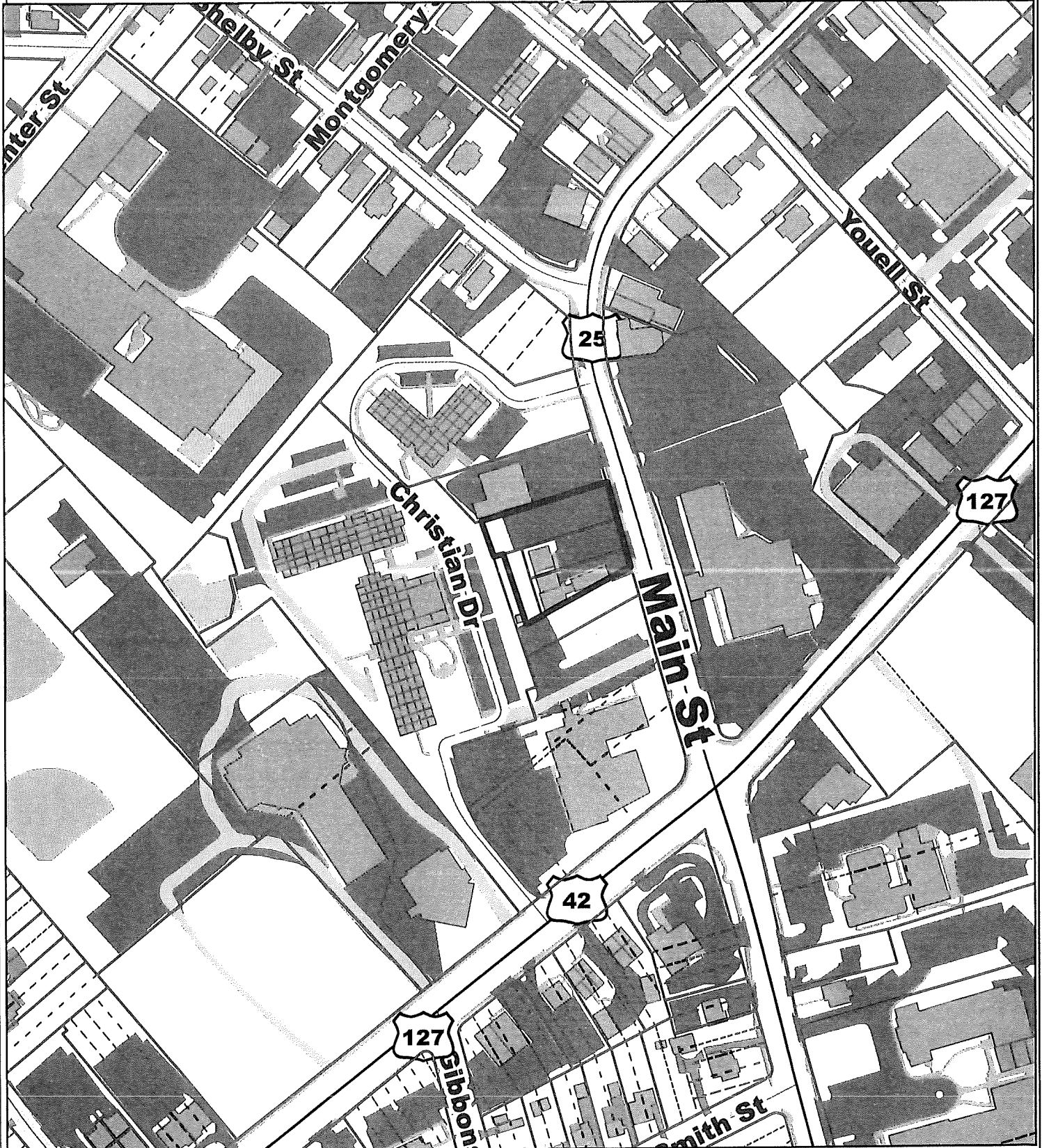
TKM/ss

Attachments

- *Site Vicinity Map
- *Proposed Site Plan
- *Exterior Elevations
- *Zoning Map
- *Topographical Map
- *2022 Aerial Map
- *Application

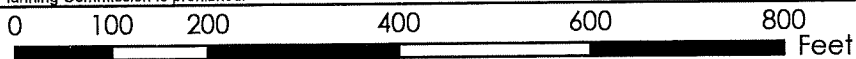
SITE VICINITY MAP

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1 inch = 200 feet

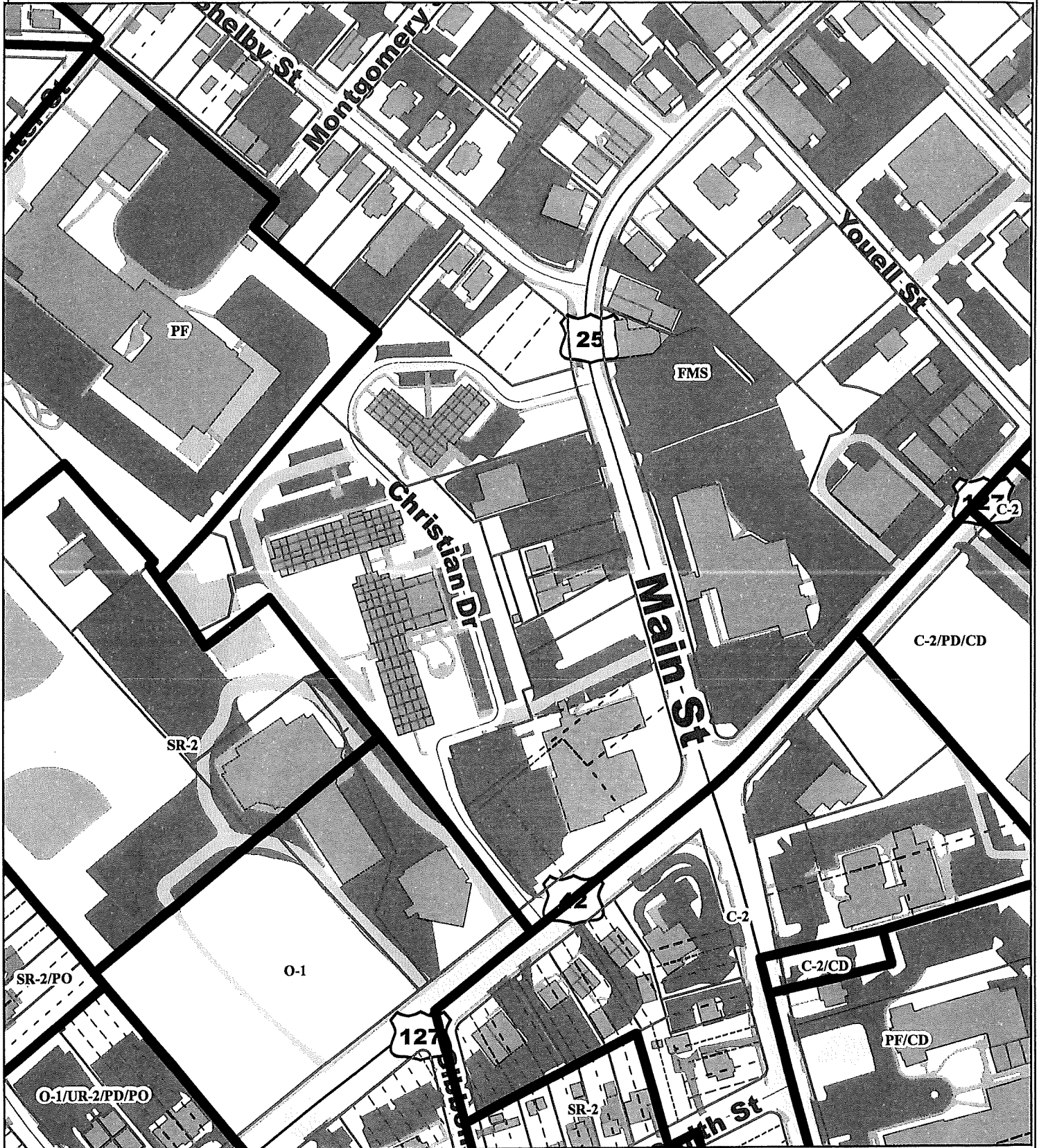


Boone County GIS - Putting Northern Kentucky on the Map



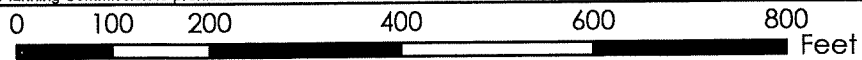
ZONING MAP

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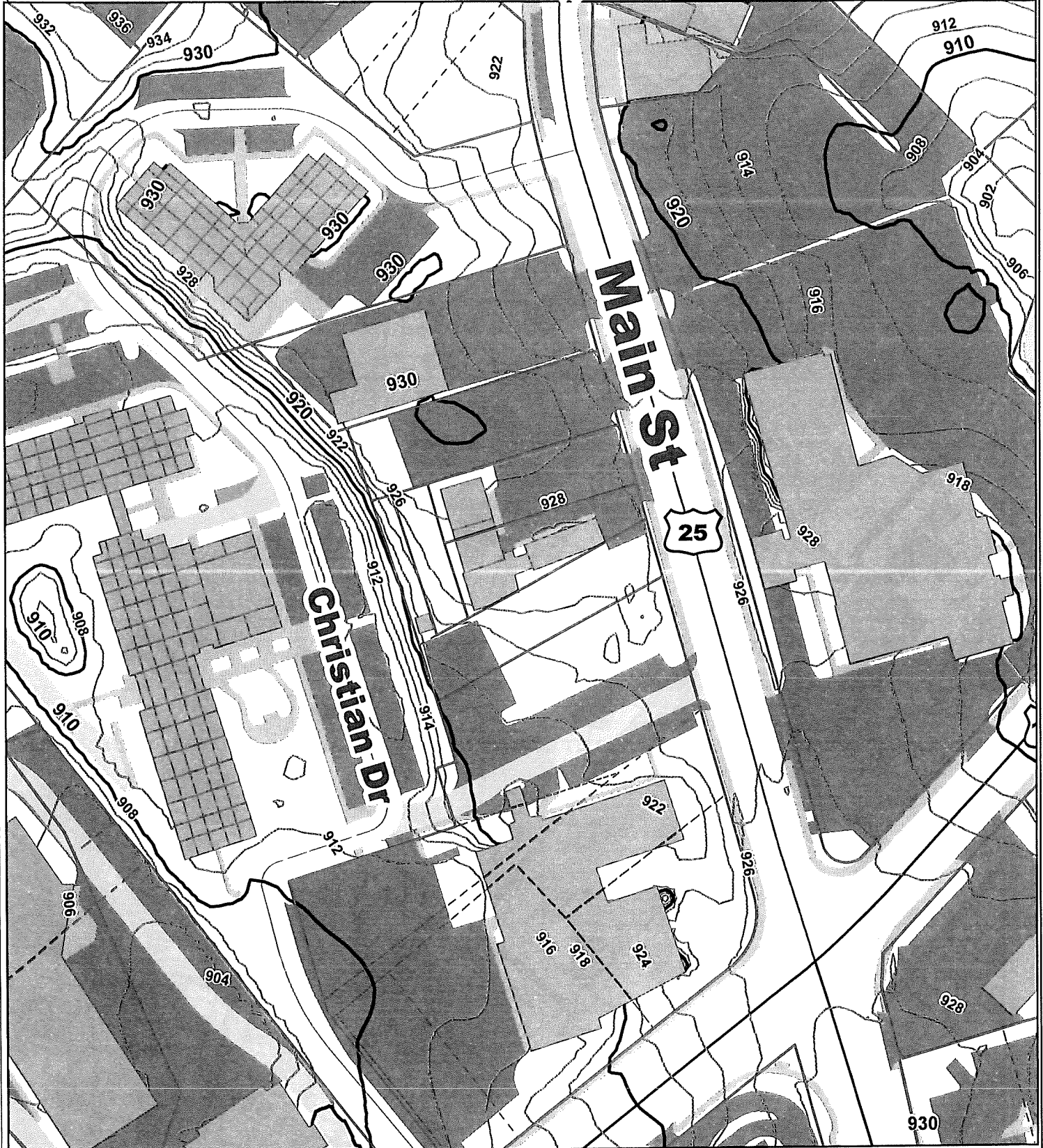


Boone County GIS - Putting Northern Kentucky on the Map



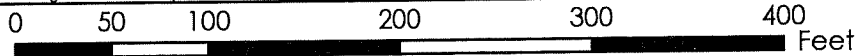
TOPOGRAPHICAL MAP

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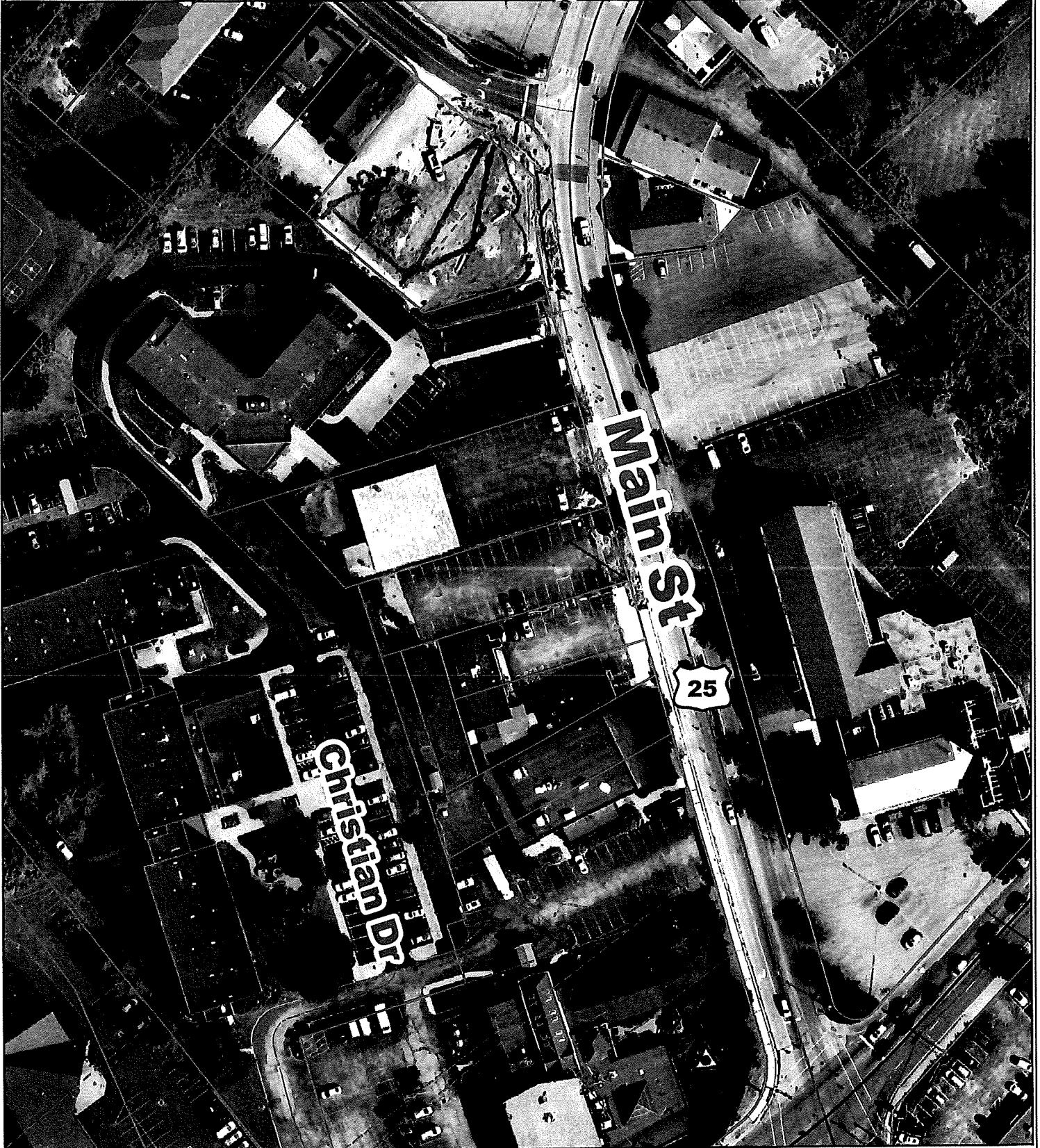
Boone County GIS - Putting Northern Kentucky on the Map

Maple Plot 1 2 Created by 2/28/2020 11:11
ArcMap Document: *.mxd

Map Created: xx/xx/2020

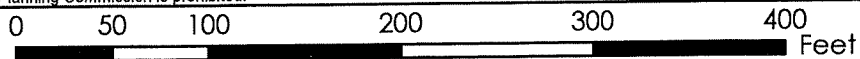
2022 AERIAL MAP

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1 inch = 100 feet



Boone County GIS - Putting Northern Kentucky on the Map

Map Created: xx/xx/2020

Boone County GIS
ArcMap Document: *.mxd

RECEIVED
 JAN 17 2023
 BOONE COUNTY
 PLANNING COMMISSION

INDEX TO DRAWINGS			ISSUE DATE
DISCIPLINE	SHEET NO.	SHEET NAME	
1	GENERAL	G1.0 COVER / CODE	1/17/23
2	CIVIL	C-1 CIVIL TITLE SHEET, NOTES AND DETAILS	1/17/23
	CIVIL	C-2 SURVEY	1/17/23
	CIVIL	C-3 PROPOSED CIVIL SITE PLAN	1/17/23
3	DEMOLITION	D1.0 DEMOLITION PLANS	1/17/23
	DEMOLITION	D2.0 DEMO ELEVATIONS	1/17/23
	DEMOLITION	D3.0 DEMO BUILDING SECTIONS	1/17/23
4	ARCHITECTURAL	A0.0 SITE PLAN	1/17/23
	ARCHITECTURAL	A0.1 SITE SECTIONS	1/17/23
	ARCHITECTURAL	A1.0 PROPOSED PLANS	1/17/23
	ARCHITECTURAL	A1.1 RCP - ROOF PLAN	1/17/23
	ARCHITECTURAL	A2.0 EXTERIOR ELEVATIONS	1/17/23
	ARCHITECTURAL	A3.0 BUILDING SECTIONS	1/17/23

STEPHEN BROWN ARCHITECTS
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 info@stephenbrownarchitects.com
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Tom's Papa Dino's Addition
 288 Main Street
 Florence, Kentucky 41042

PRELIM
 DESIGN/VARIANCE

REVISIONS
 No. Date Rem

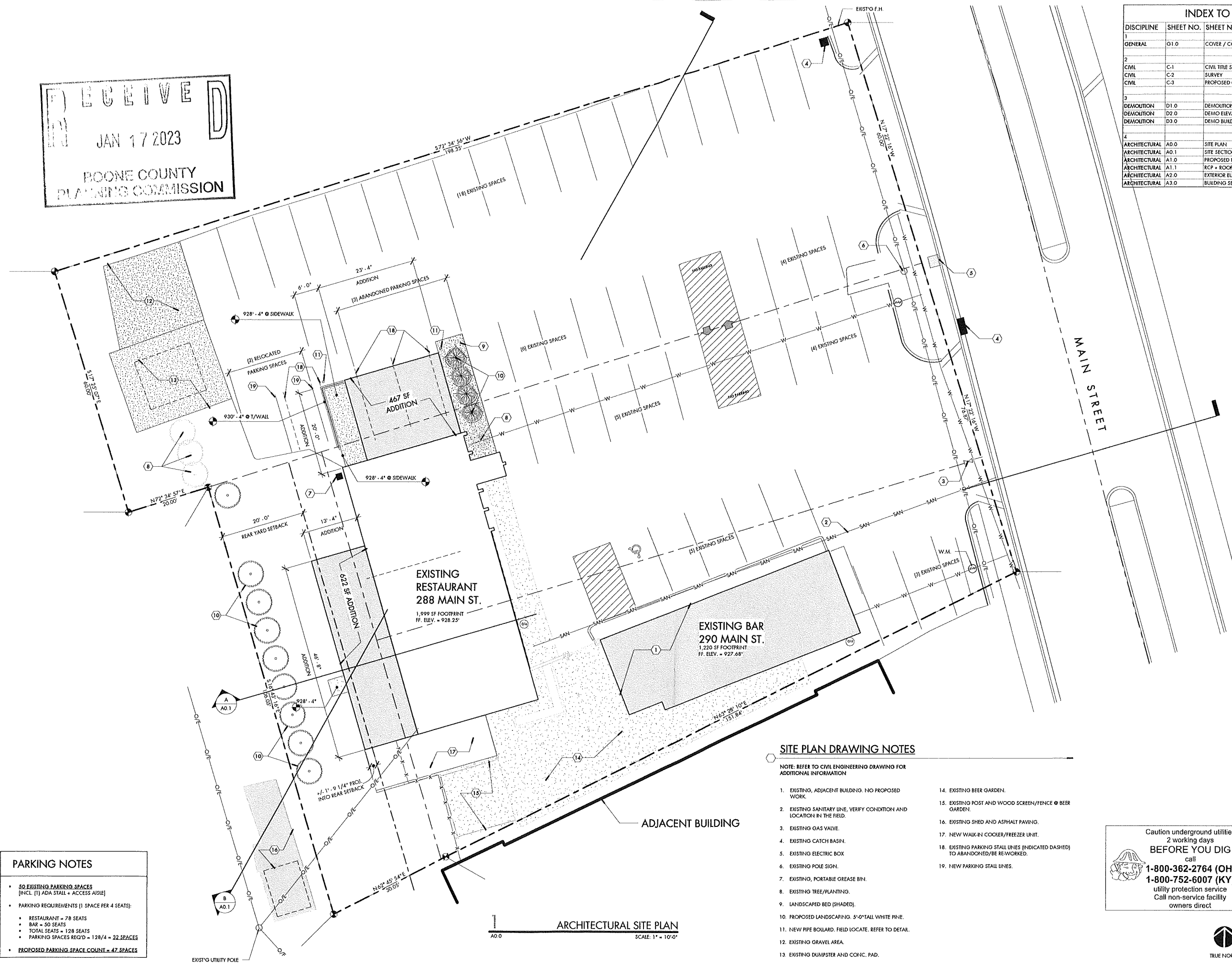


Stephen Brown, License #6363
 Expiration Date 6/30/2023

SITE PLAN

PROJECT NO. 22018
 ISSUE DATE 1/17/23
 LAST REVISION

A0.0



SITE PLAN DRAWING NOTES

NOTE: REFER TO CIVIL ENGINEERING DRAWING FOR ADDITIONAL INFORMATION

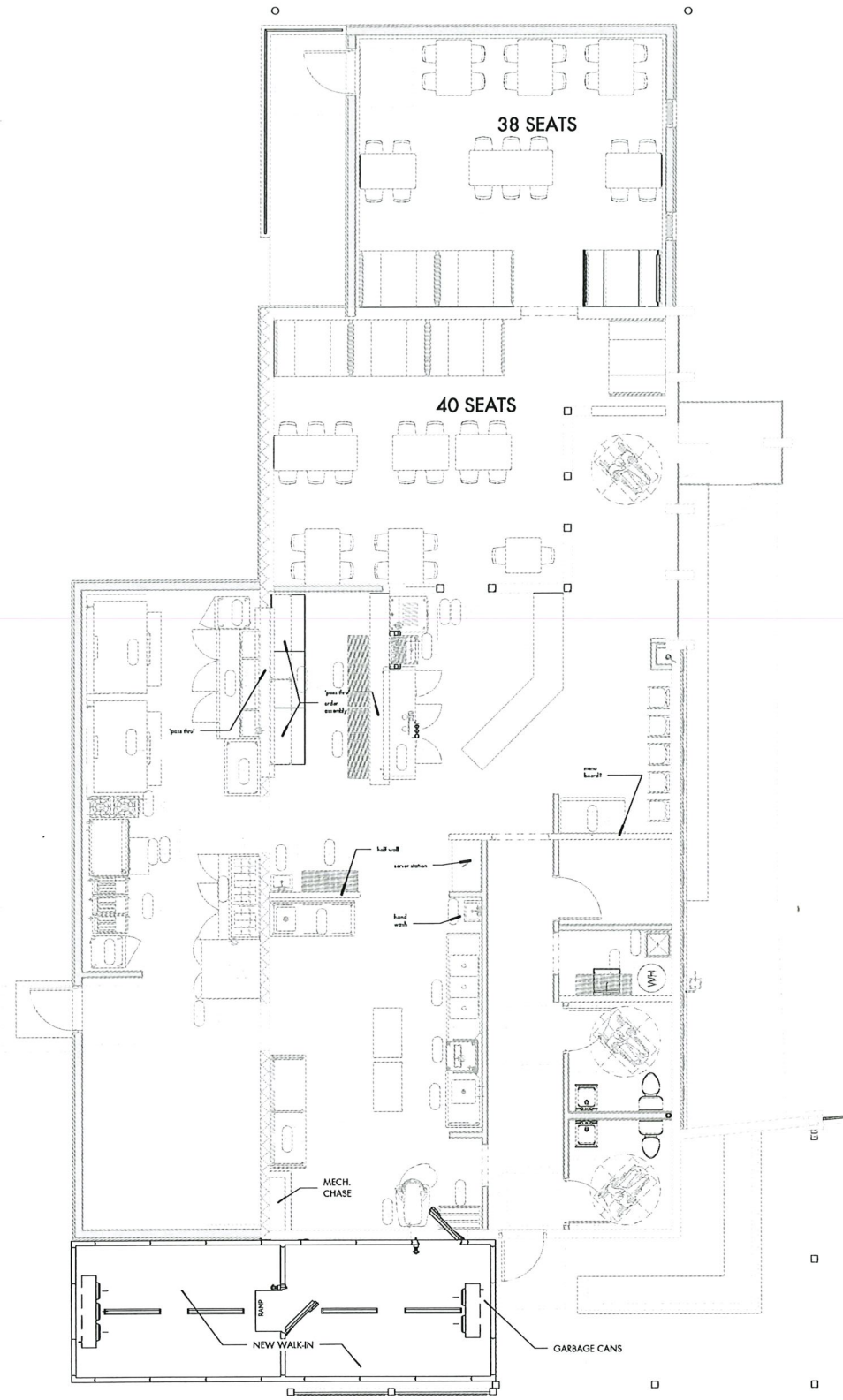
- EXISTING, ADJACENT BUILDING. NO PROPOSED WORK.
- EXISTING SANITARY LINE, VERIFY CONDITION AND LOCATION IN THE FIELD.
- EXISTING GAS VALVE.
- EXISTING CATCH BASIN.
- EXISTING ELECTRIC BOX.
- EXISTING POLE SIGN.
- EXISTING, PORTABLE GREASE BIN.
- EXISTING TREE/PLANTING.
- LANDSCAPED BED (SHADED).
- PROPOSED LANDSCAPING. 3'-0" TALL WHITE PINE.
- NEW PIPE BOLLARD. FIELD LOCATE. REFER TO DETAIL.
- EXISTING GRAVEL AREA.
- EXISTING DUMPSTER AND CONC. PAD.
- EXISTING BEER GARDEN.
- EXISTING POST AND WOOD SCREEN/FENCE @ BEER GARDEN.
- EXISTING SHED AND ASPHALT PAVING.
- NEW WALK-IN COOLER/FREEZER UNIT.
- EXISTING PARKING STALL LINES (INDICATED DASHED) TO ABANDONED/BE RE-WORKED.
- NEW PARKING STALL LINES.

PARKING NOTES

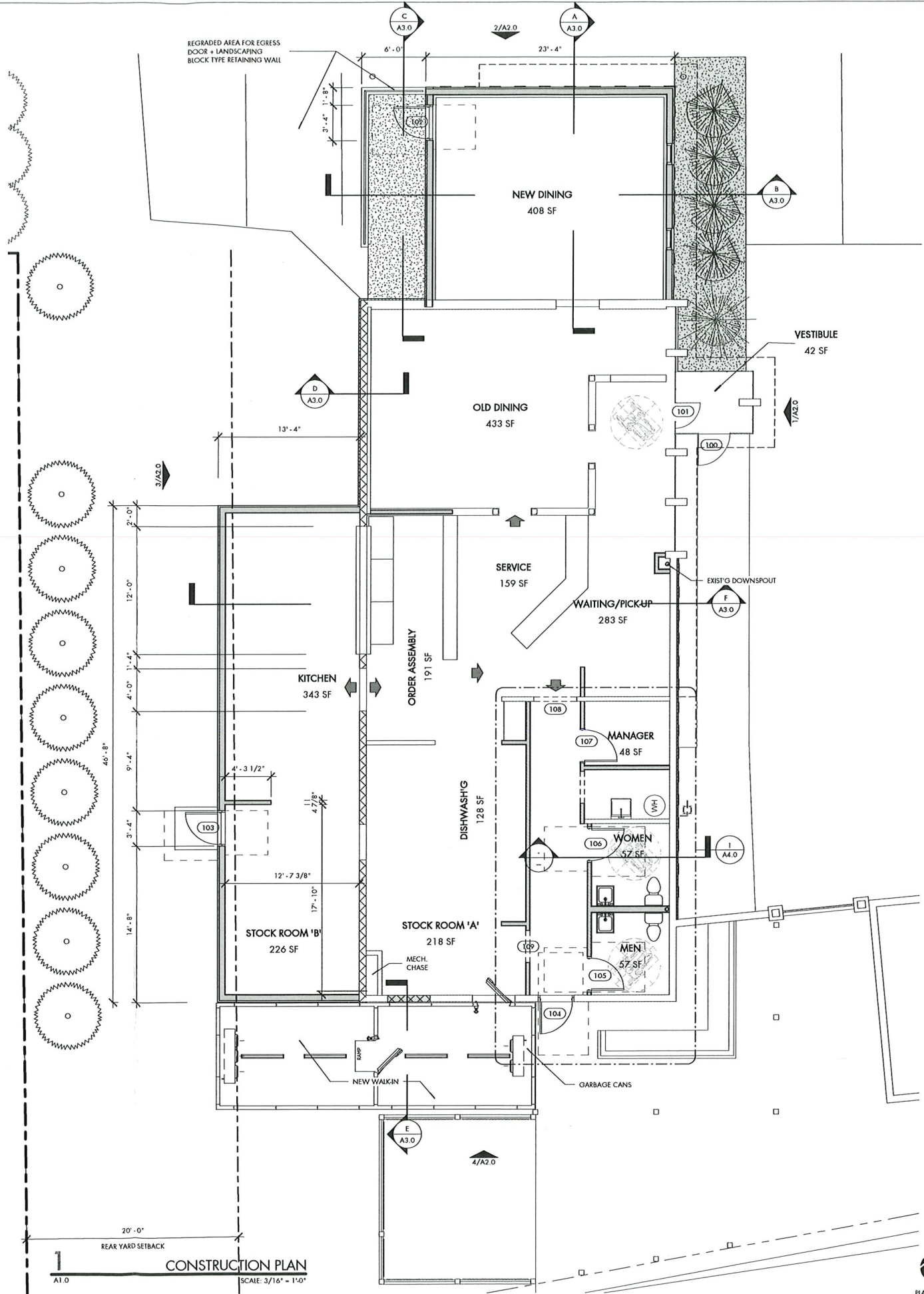
- 50 EXISTING PARKING SPACES [INCL. (1) ADA STALL + ACCESS AISLE]
- PARKING REQUIREMENTS (1 SPACE PER 4 SEATS):
 - RESTAURANT = 78 SEATS
 - BAR = 50 SEATS
 - TOTAL SEATS = 128 SEATS
 - PARKING SPACES REQ'D = 128/4 = 32 SPACES
- PROPOSED PARKING SPACE COUNT = 47 SPACES

ARCHITECTURAL SITE PLAN
 SCALE: 1" = 10'-0"





2 EQUIPMENT/FURNITURE PLAN
A1.0 SCALE: 3/16" = 1'-0"



1 CONSTRUCTION PLAN
A1.0 SCALE: 3/16" = 1'-0"



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info@stephenbrownarchitects.com
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Tom's Papa Dino's Addition
288 Main Street
Florence, Kentucky 41042

PRELIM
DESIGN/VARIANCE

REVISIONS

No.	Date	Item

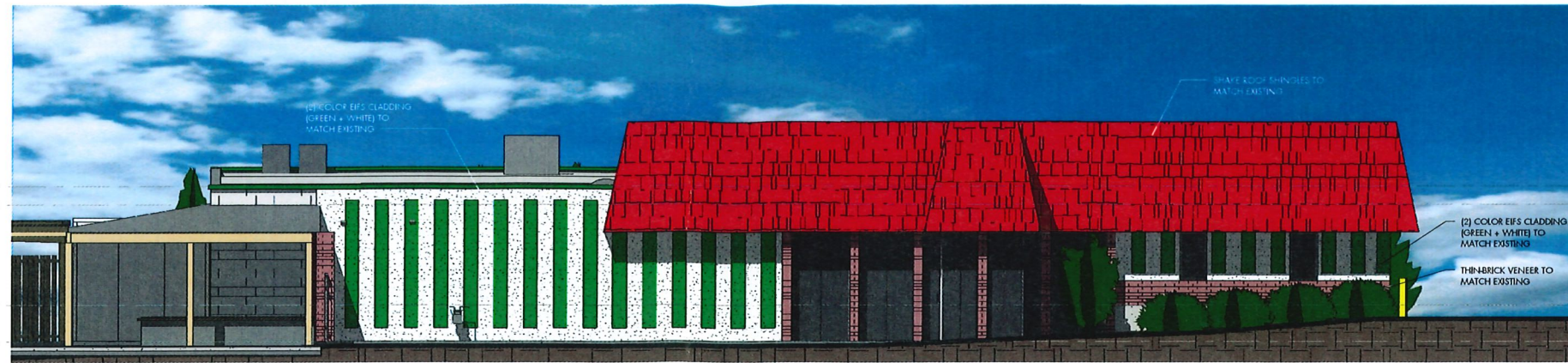


Stephen Brown, License #6363
Expiration Date 6/30/2023

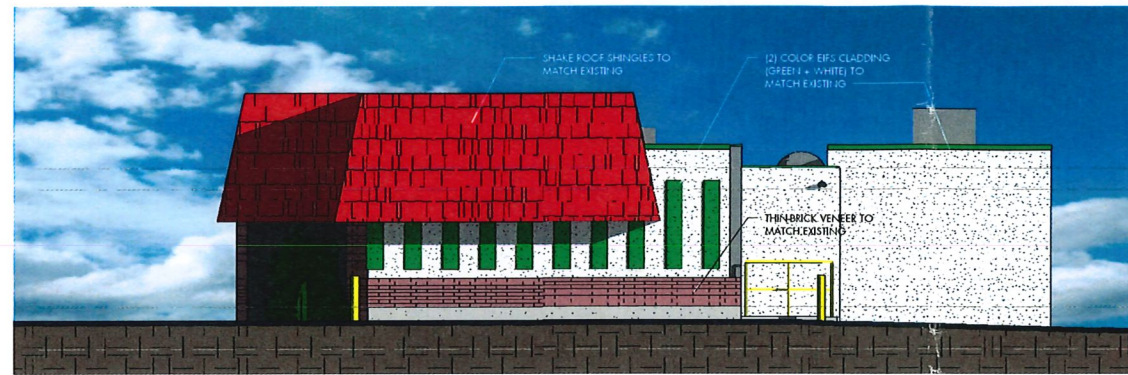
PROPOSED PLANS

PROJECT NO.	22-018
ISSUE DATE	1/17/23
LAST REVISION	

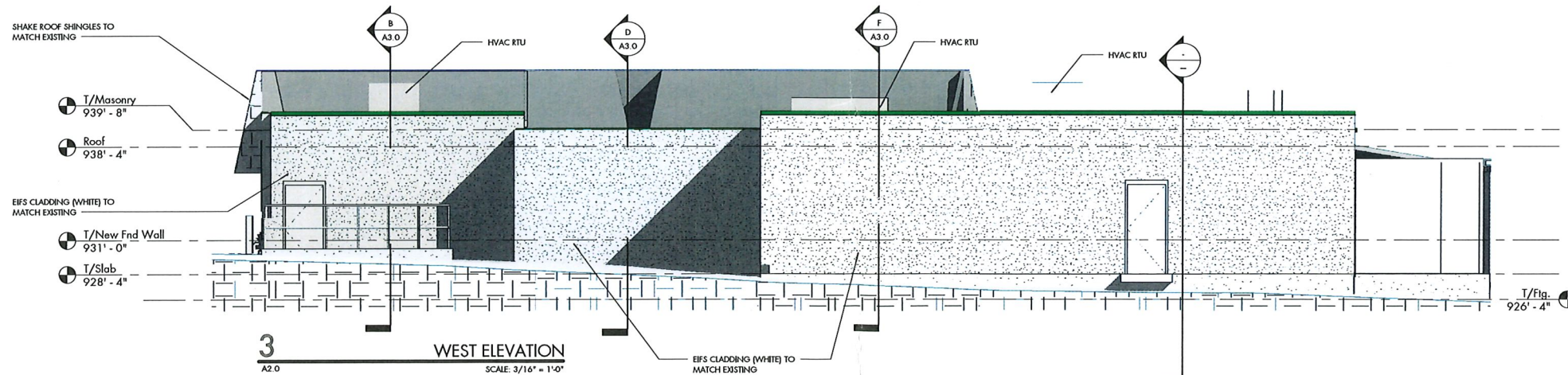
A1.0



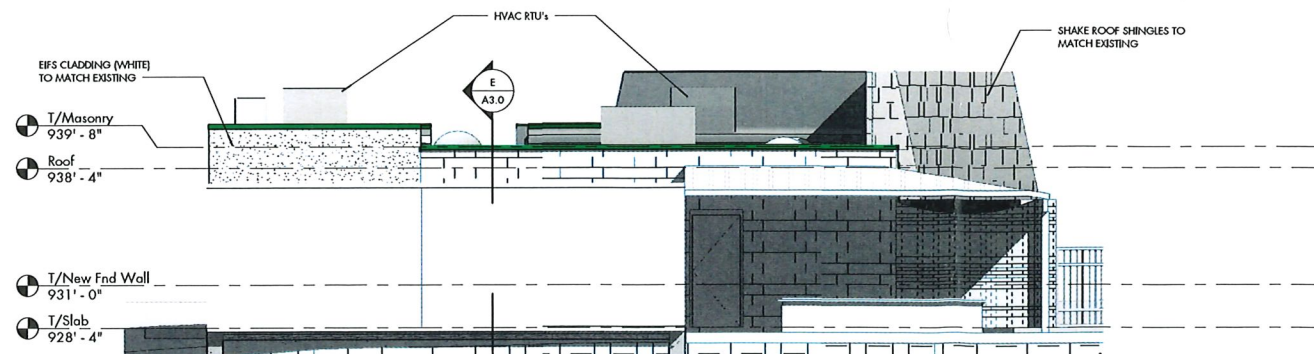
1 EAST ELEVATION
A2.0 SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
A2.0 SCALE: 3/16" = 1'-0"



3 WEST ELEVATION
A2.0 SCALE: 3/16" = 1'-0"



4 SOUTH ELEVATION
A2.0 SCALE: 3/16" = 1'-0"

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No. Date Item

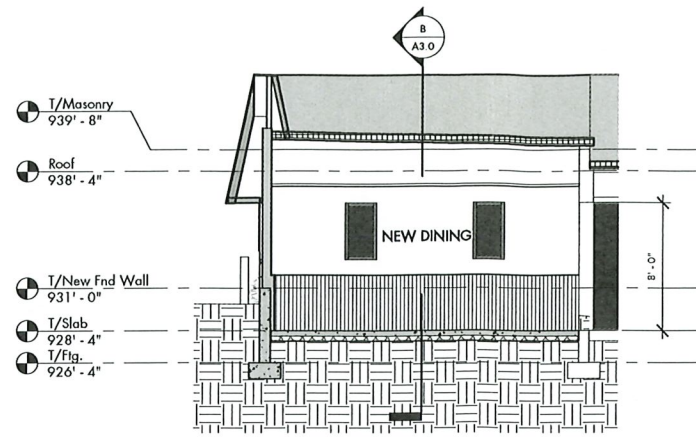


Stephen Brown, License #65363
Expiration Date 6/30/2023

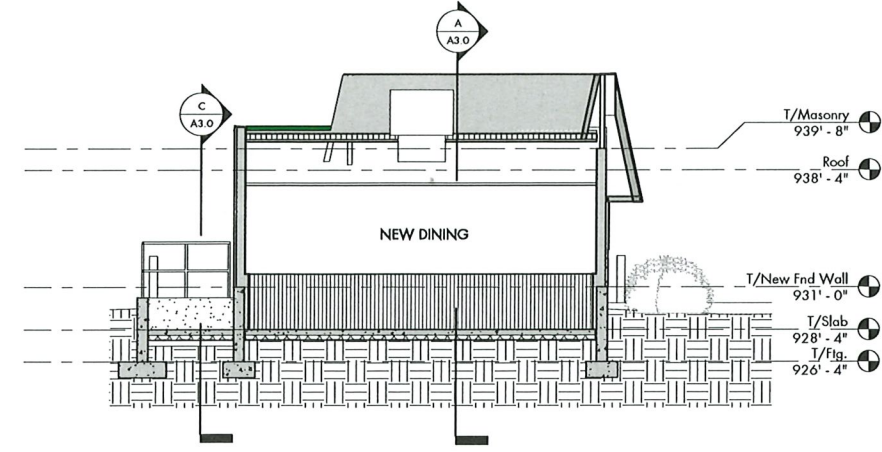
**EXTERIOR
ELEVATIONS**

PROJECT NO. 22018
ISSUE DATE 1/17/23
LAST REVISION

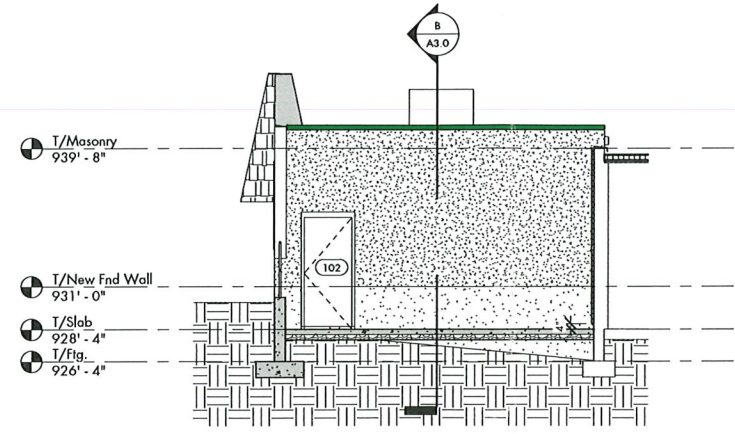
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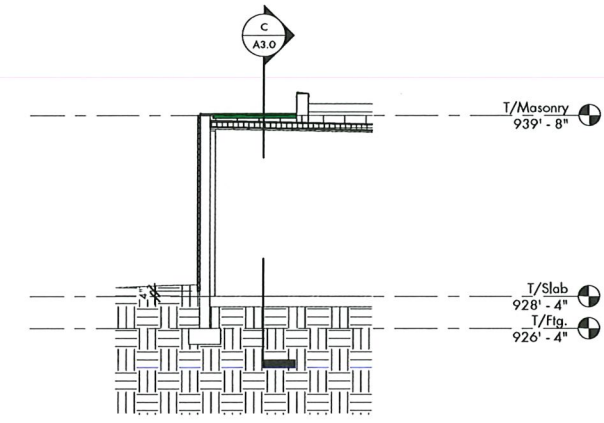
A BUILDING SECTION
A3.0 SCALE: 3/16" = 1'-0"



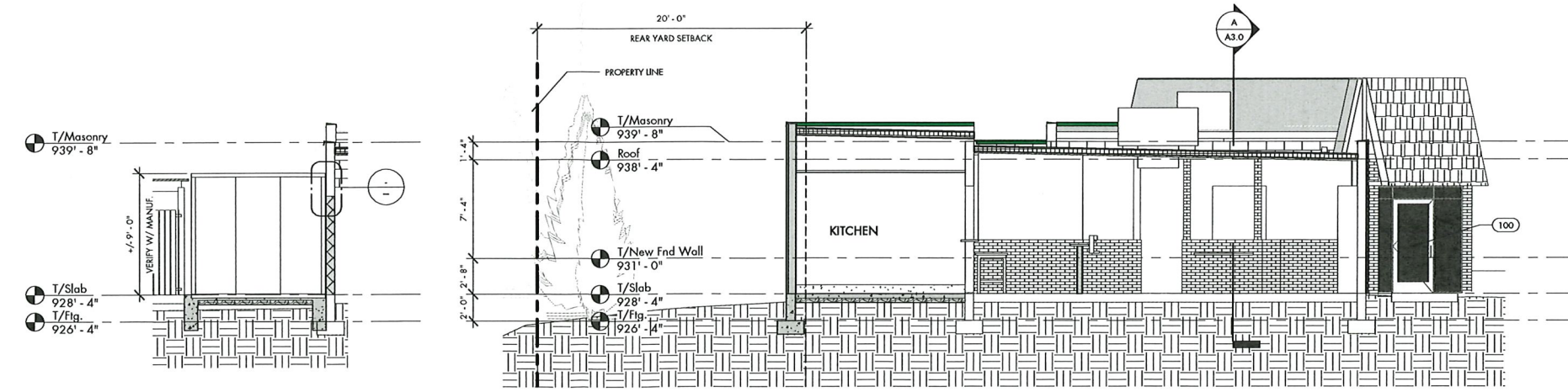
B BUILDING SECTION
A3.0 SCALE: 3/16" = 1'-0"



C BUILDING SECTION
A3.0 SCALE: 3/16" = 1'-0"



D BUILDING SECTION
A3.0 SCALE: 3/16" = 1'-0"



E BUILDING SECTION
A3.0 SCALE: 3/16" = 1'-0"

F BUILDING SECTION
A3.0 SCALE: 3/16" = 1'-0"

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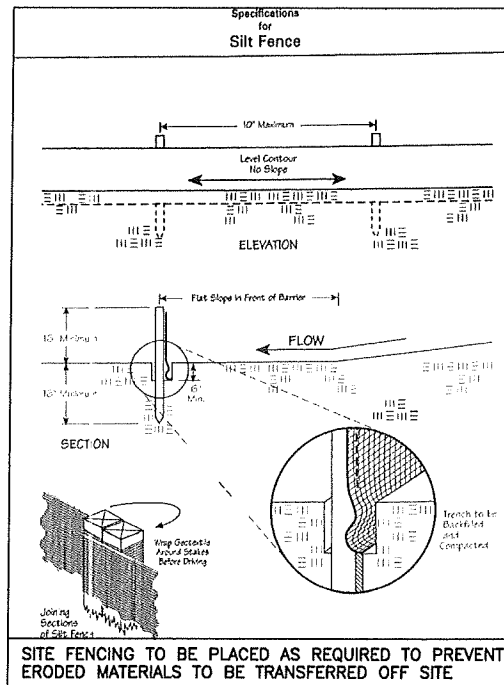
No.	Date	Item



BUILDING SECTIONS

PROJECT NO.	22-018
ISSUE DATE	1/17/23
LAST REVISION	

A3.0



SILT FENCE SPECIFICATIONS

- 1.) Silt fence shall be constructed before uplope land disturbance begins.
- 2.) All silt fence shall be placed as close to the contour as possible so that water will not concentrate at low points in the fence and so that small swales or depressions which may carry small concentrated flows to the silt fence are dispogated along its length.
- 3.) To prevent water ponded by the silt fence from flowing around the ends, each end shall be constructed uplope so that the ends are at a higher elevation.
- 4.) Where possible, silt fence shall be placed on the flattest area available.
- 5.) Where possible, vegetation shall be preserved for 5 ft. (or as much as possible) uplope from the silt fence.
- 6.) The height of the silt fence shall be a minimum of 18 in. above the original ground surface.
- 7.) The silt fence shall be placed in a trench cut a minimum of 6 in. deep. the trench shall be cut with a trencher, cable laying machine, or other suitable device which will ensure an adequately uniform trench depth.
- 8.) The silt fence shall be placed with the stakes on the downslope side of the geotextile and so that 8 in. of cloth are below the ground surface. Excess material shall lay on the bottom of the 6 in. deep trench. the trench shall be backfilled and compacted.
- 9.) Seams between section of silt fence shall be overlapped with the end stakes of each section wrapped together before driving into the ground.
- 10.) Fence Posts: The length shall be a minimum of 32 in. long. Wood posts will be 2-by-2 in. hardwood of sound quality. The maximum spacing between posts shall be 10 ft..
- 11.) Fabric: The silt fence fabric shall be per KYTC Specifications.

SUB-GRADE PREPARATION NOTES

The following notes are in addition to the KYTC Item 207 specifications.

All vegetation, topsoil, excessive organic matter, and weak fill or debris shall be removed from the project area prior to placing any new structural fill on the site. At all areas under structural fill (i.e., below concrete, pavements, tennis courts and buildings) remove existing asphalt concrete pavement and granular base and remove existing fill material completely to expose natural soil subgrade. All area under structural fill shall be proof rolled with suitable heavy equipment, such as a fully loaded dump truck. Any unstable areas so detected shall be stabilized per recommendations of the geotechnical engineer. Stabilization measures such as drying and recompacting, undercutting and replacement, geosynthetic reinforcement, or the addition of lime or other modifiers to the soil are typical measures that may be considered.

If any old foundations are encountered during the site preparation, they shall be removed to at least 1 foot below the proposed pavement subgrade level. If any debris or loosely filled basements are encountered, a the geotechnical engineer shall be notified so that we may review the conditions and provide specific recommendations based on those conditions.

The upper 8"-10" sub grade in cut areas shall be discd and compacted to at least 98 percent maximum dry density as determined by the Standard Proctor test (ASTM D698). The moisture content of the sub grade shall be modified as needed to allow for adequate compaction and a stable working surface.

The site's soils should be able to be excavated with conventional earth excavating equipment and methods. Any temporary excavations required for storm sewer construction or other such excavations shall be laid back or braced in accordance with current KYSHA requirements.

Recommended lift thickness of 8" when using heavy-duty self-propelled compaction equipment and 6" when hand compaction equipment is used.

Non-organic, naturally occurring soils may be used for structural fill. The fill shall be placed in horizontal lifts of uniform thickness that do not exceed that which can be adequately compacted throughout with the available equipment. The greatest dimension of any individual piece within the fill shall not exceed two-thirds of the lift thickness. No frozen material shall be present in or below the fill being placed. Structural fills shall be compacted to at least 98% of the maximum dry density as determined by the Standard Proctor test. The moisture content of the fill shall be modified as needed to allow for adequate compaction and a stable fill.

The subgrade and finished pavement surface shall be graded to promote proper subbase and surface drainage, avoiding the collection of water beneath the pavement. Proper site drainage shall also be maintained during construction.

The Contractor shall provide the geotechnical engineering testing and inspections as required to verify the proper construction of the sub-grades.

COORDINATION WITH UTILITIES

- 1) CONTRACTOR shall be responsible for coordinating all work with utility companies.
- 2) CALL BEFORE YOU DIG: Call KY811 prior to commencing excavation.

MAINT., PROTECTION AND RESTORATION OF ROAD

- 1) The CONTRACTOR shall be fully and solely responsible for any and all damage to the existing roadway including pavement, shoulder, ditching and culverts etc., caused by his construction activity. Restoration of the damaged roadway facilities shall be to the satisfaction of the Owner of the roadway/driveway.
- 2) All ditches/curbs shall be kept open and free flowing at all times.
- 3) The closure of any roadway lane shall be approved by the owner of the roadway. All private drive closures shall be approved by the appropriate owner.

VERIFICATION OF QUANTITIES AND DIMENSIONS

- 1) Quantities and dimensions shown on the drawings, (including these notes) or tabulated in the specifications, are estimates only and may have no other basis than scaling from drawings. Actual quantities will be confirmed in the field during construction.
- 2) At the owner's discretion, all construction layout stakes are to be provided by an Kentucky Professional Surveyor.
- 3) At the owner's discretion, the CONTRACTOR is responsible for providing the owner with one copy of all material delivery tickets and material test results.

DESIGN AND CONSTRUCTION STANDARDS

- 1) All construction shall meet the current City of Florence, State of Kentucky, Kentucky SD1, Boone County, and Kentucky Transportation Cabinet Specifications.
- 2) All work involving public roadways shall be acceptable to the Owner of the roadway/driveway.
- 3) The Contractor is responsible to be familiar with, and retain a copy of, the current Kentucky Transpiration Cabinet Construction Specifications.
- 4) CONTRACTOR is responsible for meeting all KY Occupational Safety and Health Standards.
- 5) The Contract Documents do not detail construction safety requirements. The construction safety is the responsibility of the CONTRACTOR.

SEEDING AND MULCHING

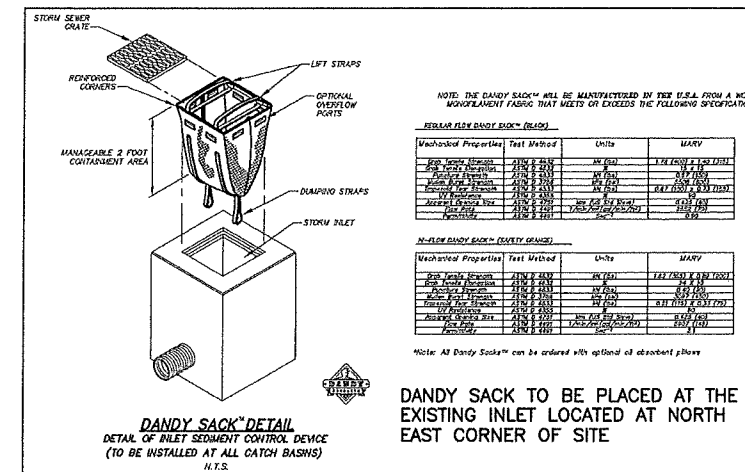
- 1.) All seeding and mulching to be per KYTC Specifications Section 212.

E & S NOTES

- 1) ESTIMATED TOTAL AREA TO BE DISTURBED = 2,600 SF (0.06 Ac.)

UTILITY NOTES

- 1.) PROPOSED WATER SERVICE - EXISTING WATER SERVICE TO BE UTILIZED FOR THE PROPOSED BUILDING ADDITION. NO NEW WATER SERVICE IS BEING PROPOSED. SEE THE MECHANICAL DRAWINGS FOR ALL PROPOSED WATER SUPPLY DESIGN AND SPECIFICATIONS.
- 2.) PROPOSED ELECTRIC SERVICE - CONTRACTOR TO COORDINATE EXACT LOCATION OF PROPOSED ELECTRIC SERVICE WITH THE ELECTRIC CO. & EXISTING UTILITIES. CONTRACTOR TO MAKE NECESSARY ARRANGEMENTS WITH ELECTRIC CO. TO INSTALL PROPOSED ELECT. SERVICE PER LOCAL CODES AND ELECT. CO. REGULATIONS. SERVICE TO BE OF SIZE AND INSTALLED IN STRICT ACCORDANCE OF ELECT. CO. REGULATIONS. SEE THE MECHANICAL DRAWINGS FOR ALL ELECTRICAL DESIGN AND SPECIFICATIONS. SEE THE MECHANICAL DRAWINGS FOR PROPOSED EXTERIOR LIGHTING TO BE LOCATED ON THE PROPOSED BUILDING ADDITION.
- 3.) PROPOSED GAS SERVICE - CONTRACTOR TO COORDINATE EXACT LOCATION OF PROPOSED PROPONE GAS SUPPLY AND SERVICES. SEE THE MECHANICAL DRAWINGS FOR ALL PROPOSED PROPONE GAS SUPPLY DESIGN AND SPECIFICATIONS.



GENERAL NOTES

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- 2.) ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION, AND ARE TO REMAIN SO, SHALL BE SEEDDED AND MULCHED AS SOON AS PRACTICAL, IN ACCORDANCE WITH THE KYTC SECTION 212.
- 3.) TEMPORARY EROSION, MUD AND DEBRIS CONTROL, USING THE SILT FENCING AND STRAW BALE DETAILS, MUST BE PROVIDED AS REQUIRED.
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- 6.) MAX. BEND FOR ALL PIPING OR UTILITY SHALL BE 45 DEGREES.
- 7.) STRIPPED TOP SOIL TO REMAIN ON SITE AND UTILIZED FOR SURFACE OF LAWN SURFACES TO REMAIN. MIN. DEPTH OF PROPOSED TOP SOIL = 4 IN. AT END OF PROJECT, CONTRACTOR TO REMOVE EXCESS TOP SOIL FROM SITE.
- 8.) GEOTECHNICAL ENGINEERING SERVICES ARE REQUIRED AS A PART OF THIS PLAN. THE GEOTECHNICAL ENGINEER IS TO PROVIDE WHATEVER EXPLORATIONS AND SERVICES ARE DEEMED NECESSARY; TO MONITOR THE EARTHWORK AT THE VARIOUS STAGES OF DEVELOPMENT; TO PERFORM ON SITE INSPECTION AND TESTING TO ASSURE THAT ALL WORK UNDER HIS JURISDICTION IS PERFORMED IN ACCORDANCE WITH GOOD ENGINEERING PRACTICES AND CONFORMS TO THE REGULATIONS OF GOVERNMENTAL AGENCIES.

CIVIL DRAWING INDEX	
C-1	TITLE SHEET, NOTES AND DETAILS
C-2	VIOX & VIOX TOPOGRAPHIC SURVEY
C-3	PROPOSED CIVIL SITE PLAN

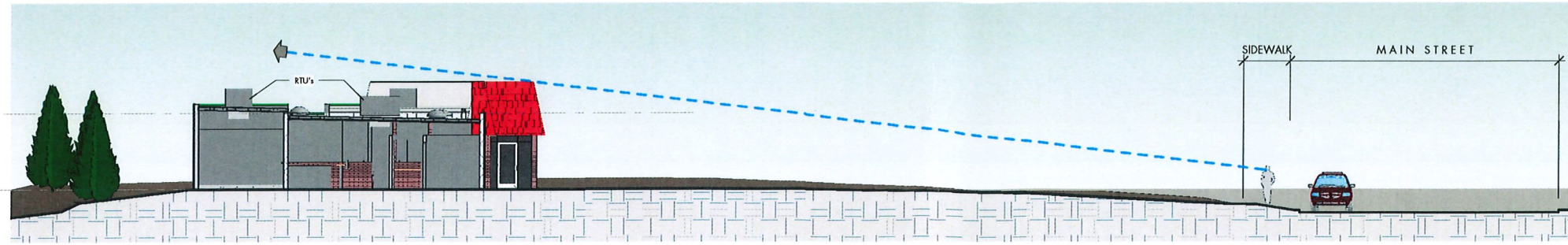
Stan Messerly 1/15/23
STANLEY T. MESSERLY



SEE THE ARCHITECTURAL DRAWINGS FOR ADDITIONAL DESIGN AND CONSTRUCTION DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS.

TITLE SHEET, NOTES AND DETAILS

DATE	REVISION	<p>MessCo Engineering 2766 WASSON ROAD CINCINNATI, OHIO 45209 513-731-2500</p>	DATE: 1/15/23
			SCALE: AS SHOWN
			DRAWN BY: STM
			PAGE: C-1
			JOB #: 0421
		<p>TOM'S PAPA DINO'S ADDITION 288 MAIN ST. CITY OF FLORENCE BOONE COUNTY, KY</p>	

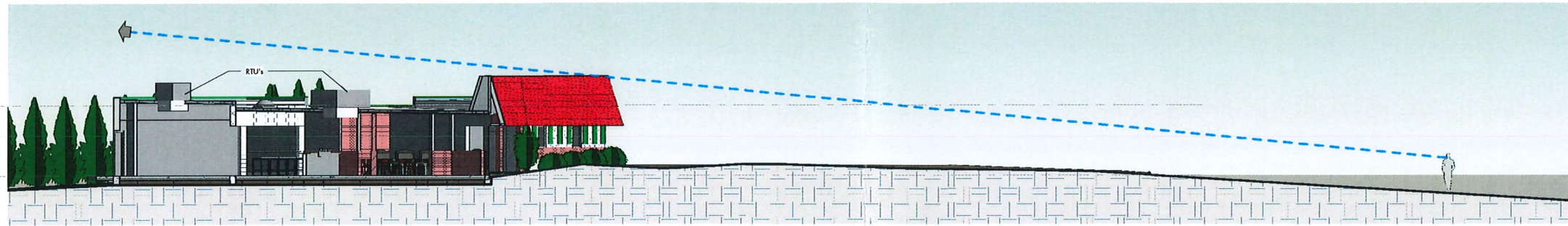


1/2 Masonry
939" - 8"

1/2 Slab
928" - 4"

A
AD.1

SITE SECTION A
SCALE: 1" = 10'-0"



1/2 Masonry
939" - 8"

1/2 Slab
928" - 4"

B
AD.1

SITE SECTION B
SCALE: 1" = 10'-0"

STEPHEN BROWN ARCHITECTS
architecture + design + sustainability



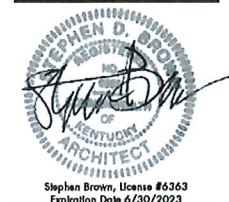
4109 Jara Lane
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Tom's Papa Dino's Addition
288 Main Street
Florence, Kentucky 41042

PRELIM
DESIGN/VARIANCE

REVISIONS

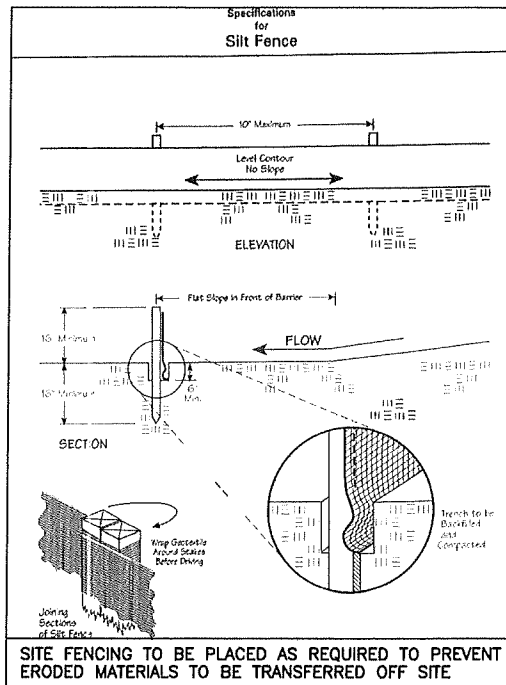
No.	Date	Item



SITE SECTIONS

PROJECT NO. 22-018
ISSUE DATE 1/17/23
LAST REVISION

A0.1



SILT FENCE SPECIFICATIONS

- 1.) Silt fence shall be constructed before upslope land disturbance begins.
- 2.) All silt fence shall be placed as close to the contour as possible so that water will not concentrate at low points in the fence and so that small swales or depressions which may carry small concentrated flows to the silt fence are dissipated along its length.
- 3.) To prevent water ponded by the silt fence from flowing around the ends, each end shall be constructed upslope so that the ends are at a higher elevation.
- 4.) Where possible, silt fence shall be placed on the flattest area available.
- 5.) Where possible, vegetation shall be preserved for 5 ft. (or as much as possible) upslope from the silt fence.
- 6.) The height of the silt fence shall be a minimum of 18 in. above the original ground surface.
- 7.) The silt fence shall be placed in a trench cut a minimum of 6 in. deep. The trench shall be cut with a trencher, cable laying machine, or other suitable device which will ensure an adequately uniform trench depth.
- 8.) The silt fence shall be placed with the stakes on the downslope side of the geotextile and so that 8 in. of cloth are below the ground surface. Excess material shall lay on the bottom of the 6 in. deep trench. The trench shall be backfilled and compacted.
- 9.) Seams between sections of silt fence shall be overlapped with the end stakes of each section wrapped together before driving into the ground.
- 10.) Fence Posts: The length shall be a minimum of 32 in. long. Wood posts will be 2-by-2 in. hardwood of sound quality. The maximum spacing between posts shall be 10 ft..
- 11.) Fabric: The silt fence fabric shall be per KYTC Specifications.

SUB-GRADE PREPARATION NOTES
 The following notes are in addition to the KYTC Item 207 specifications.
 All vegetation, topsoil, excessive organic matter, and weak fill or debris shall be removed from the project area prior to placing any new structural fill on the site. At all areas under structural fill (i.e. below concrete, pavements, tennis courts and buildings) remove existing asphalt concrete pavement and granular base and remove existing fill material completely to expose natural soil subgrade. All area under structural fill shall be proof rolled with suitable heavy equipment, such as a fully loaded dump truck. Any unstable areas so detected shall be stabilized per recommendations of the geotechnical engineer. Stabilization measures such as drying and recompacting, undercutting and replacement, geosynthetic reinforcement, or the addition of lime or other modifiers to the soil are typical measures that may be considered.
 If any old foundations are encountered during the site preparation, they shall be removed to at least 1 foot below the proposed pavement subgrade level. If any debris or loosely filled basements are encountered, a the geotechnical engineer shall be notified so that we may review the conditions and provide specific recommendations based on those conditions.
 The upper 8"-10" sub grade in cut areas shall be diced and compacted to at least 98 percent maximum dry density as determined by the Standard Proctor test (ASTM D998). The moisture content of the sub grade shall be modified as needed to allow for adequate compaction and a stable working surface.
 The site's soils should be able to be excavated with conventional earth excavating equipment and methods. Any temporary excavations required for storm sewer construction or other such excavations shall be laid back or braced in accordance with current KYSHA requirements.
 Recommended lift thickness of 8" when using heavy-duty self-propelled compaction equipment and 6" when hand compaction equipment is used.
 Non-organic, naturally occurring soils may be used for structural fill. The fill shall be placed in horizontal lifts of uniform thickness that do not exceed that which can be adequately compacted throughout with the available equipment. The greatest dimension of any individual piece within the fill shall not exceed two-thirds of the lift thickness. No frozen material shall be present in or below the fill being placed. Structural fills shall be compacted to at least 98% of the maximum dry density as determined by the Standard Proctor test. The moisture content of the fill shall be modified as needed to allow for adequate compaction and a stable fill.
 The subgrade and finished pavement surface shall be graded to promote proper subbase and surface drainage, avoiding the collection of water beneath the pavement. Proper site drainage shall also be maintained during construction.
 The Contractor shall provide the geotechnical engineering testing and inspections as required to verify the proper construction of the sub-grades.

COORDINATION WITH UTILITIES

- 1) CONTRACTOR shall be responsible for coordinating all work with utility companies.
- 2) CALL BEFORE YOU DIG: Call KY811 prior to commencing excavation.

MAINT., PROTECTION AND RESTORATION OF ROAD

- 1) The CONTRACTOR shall be fully and solely responsible for any and all damage to the existing roadway including pavement, shoulder, ditching and culverts etc., caused by his construction activity. Restoration of the damaged roadway facilities shall be to the satisfaction of the Owner of the roadway/driveway.
- 2) All ditches/curbs shall be kept open and free flowing at all times.
- 3) The closure of any roadway lane shall be approved by the owner of the roadway. All private drive closures shall be approved by the appropriate owner.

VERIFICATION OF QUANTITIES AND DIMENSIONS

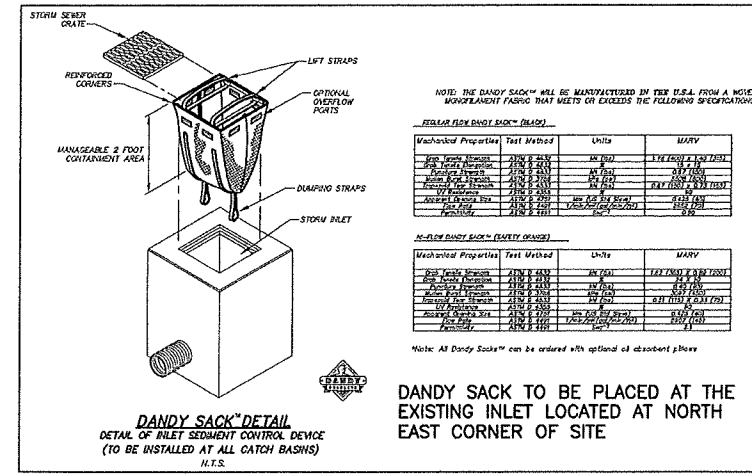
- 1) Quantities and dimensions shown on the drawings, (including these notes) or tabulated in the specifications, are estimates only and may have no other basis than scaling from drawings. Actual quantities will be confirmed in the field during construction.
- 2) At the owner's discretion, all construction layout stakes are to be provided by an Kentucky Professional Surveyor.
- 3) At the owner's discretion, the CONTRACTOR is responsible for providing the owner with one copy of all material delivery tickets and material test results.

DESIGN AND CONSTRUCTION STANDARDS

- 1) All construction shall meet the current City of Florence, State of Kentucky, Kentucky SD1, Boone County, and Kentucky Transportation Cabinet Specifications.
- 2) All work involving public roadways shall be acceptable to the Owner of the roadway/driveway.
- 3) The Contractor is responsible to be familiar with, and retain a copy of, the current Kentucky Transportation Cabinet Construction Specifications.
- 4) CONTRACTOR is responsible for meeting all KY Occupational Safety and Health Standards.
- 5) The Contract Documents do not detail construction safety requirements. The construction safety is the responsibility of the CONTRACTOR.

UTILITY NOTES

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SEEDING AND MULCHING

- 1.) All seeding and mulching to be per KYTC Specifications Section 212.

F & S NOTES

- 1) ESTIMATED TOTAL AREA TO BE DISTURBED = 2,600 SF (0.06 Ac.)

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Stan Messerly 1/15/23
 STANLEY T. MESSERLY



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TITLE SHEET, NOTES AND DETAILS

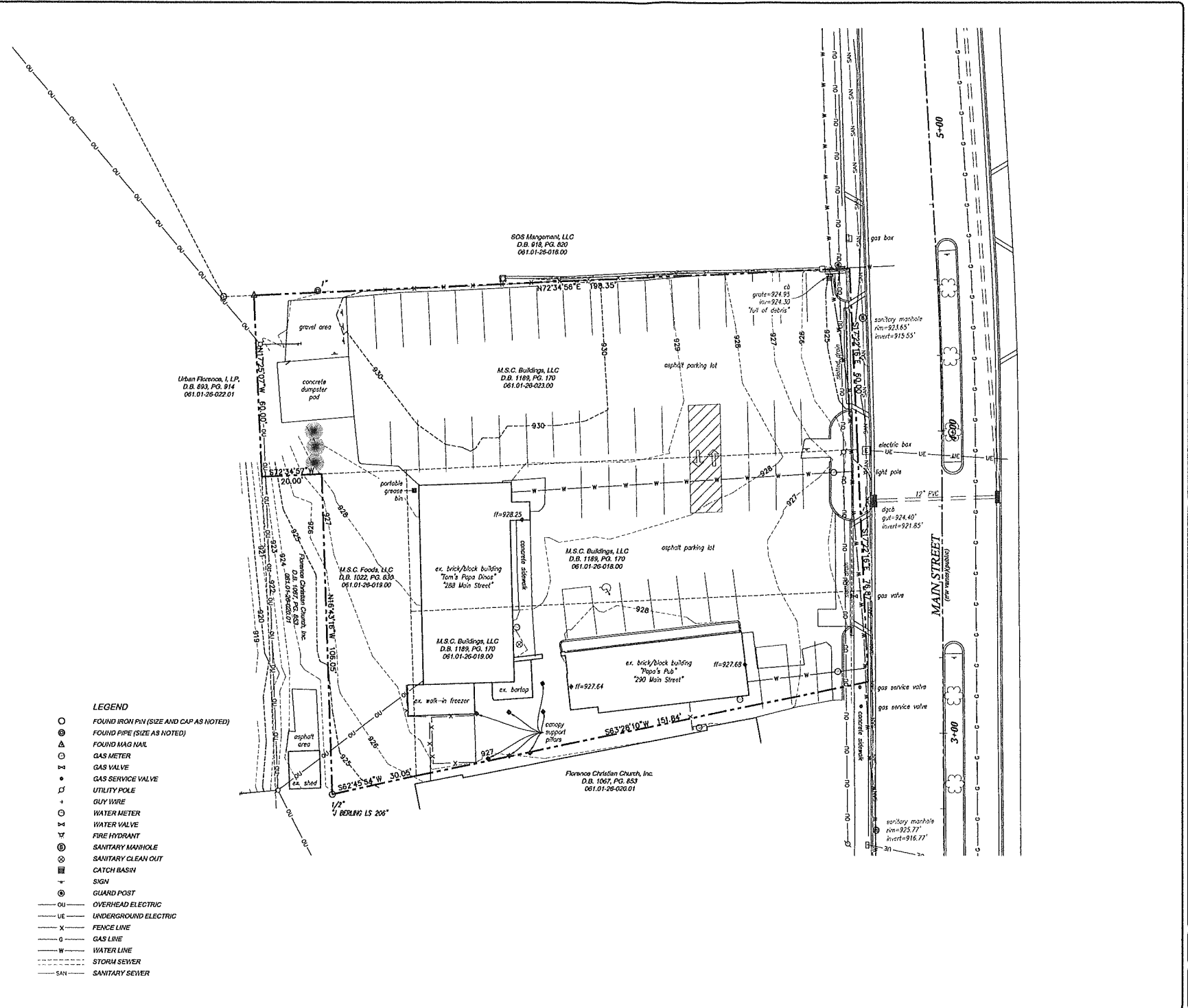
DATE	REVISION

MessCo Engineering
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 513-731-2500

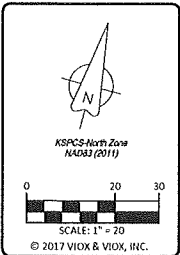
TOM'S PAPA DINO'S ADDITION
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 BOONE COUNTY, KY

DATE: 1/15/23
 SCALE: AS SHOWN
 DRAWN BY: STM
 PAGE: C-1
 JOB #: 0421

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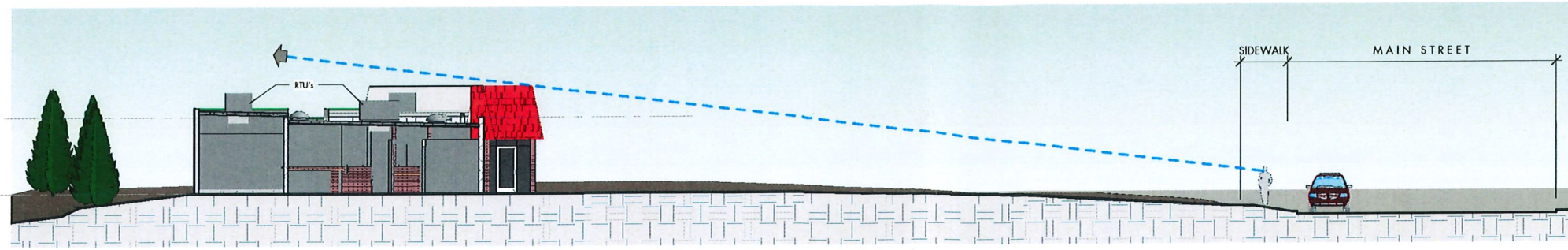
- LEGEND**
- FOUND IRON PIN (SIZE AND CAP AS NOTED)
 - ⊙ FOUND PIPE (SIZE AS NOTED)
 - △ FOUND MAG NAIL
 - ⊙ GAS METER
 - ⊙ GAS VALVE
 - GAS SERVICE VALVE
 - ⊕ UTILITY POLE
 - + GUY WIRE
 - ⊙ WATER METER
 - ⊕ WATER VALVE
 - ⊕ FIRE HYDRANT
 - ⊙ SANITARY MANHOLE
 - ⊙ SANITARY CLEAN OUT
 - ⊙ CATCH BASIN
 - ⊕ SIGN
 - ⊕ GUARD POST
 - OU— OVERHEAD ELECTRIC
 - UE— UNDERGROUND ELECTRIC
 - X— FENCE LINE
 - G— GAS LINE
 - W— WATER LINE
 - W— STORM SEWER
 - SAN— SANITARY SEWER



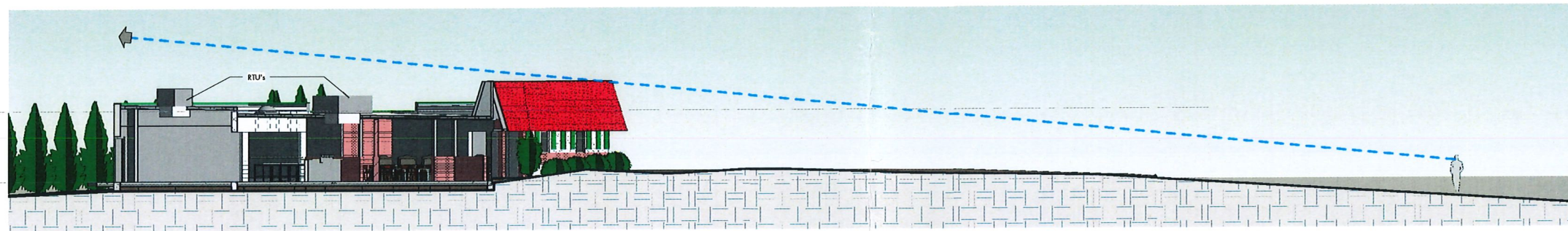
VIOX & VIOX
 Civil Engineers, Surveyors, and Landscape Architects
 466 Erlanger Road • Erlanger, Kentucky 41018
 602 Lita Avenue • Millford, Ohio 45150
 Ph: Erlanger (859)727-3333 • Ph: Millford (513)576-1000
 www.vioxinc.com

TOPOGRAPHIC SURVEY
0.648 ACRES
290 MAIN STREET
CITY OF FLORENCE, BOONE COUNTY, KENTUCKY

Project No:	Checked:
Date:	Ref:
5/27/2021	MSB
Sheet:	
1 of 1	



A
AD.1 SITE SECTION A
SCALE: 1" = 10'-0"



B
AD.1 SITE SECTION B
SCALE: 1" = 10'-0"

STEPHEN BROWN ARCHITECTS
architecture + design + sustainability

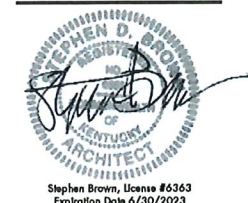


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PRELIM
DESIGN/VARIANCE

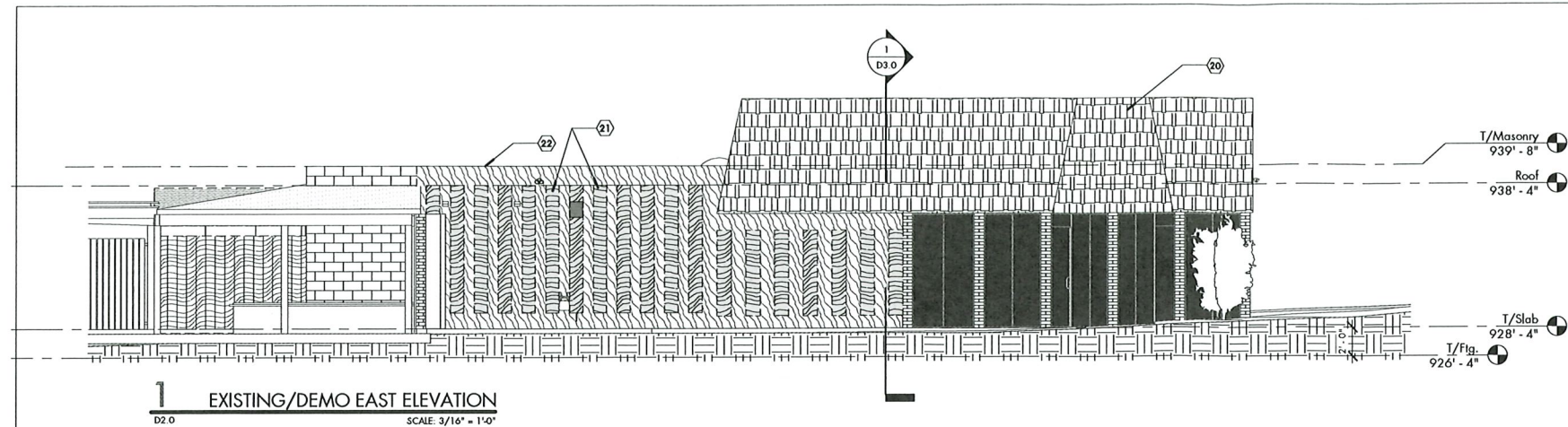
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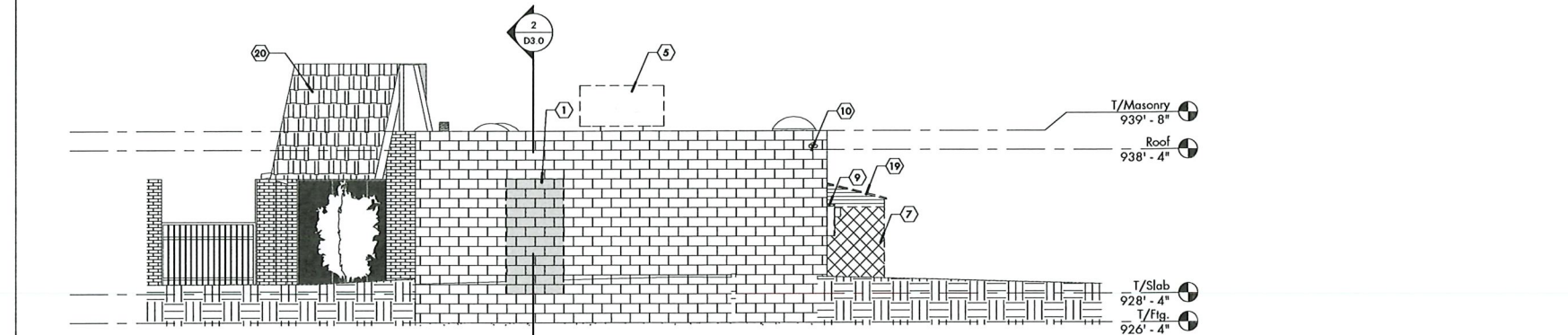
SITE SECTIONS

PROJECT NO.	22-018
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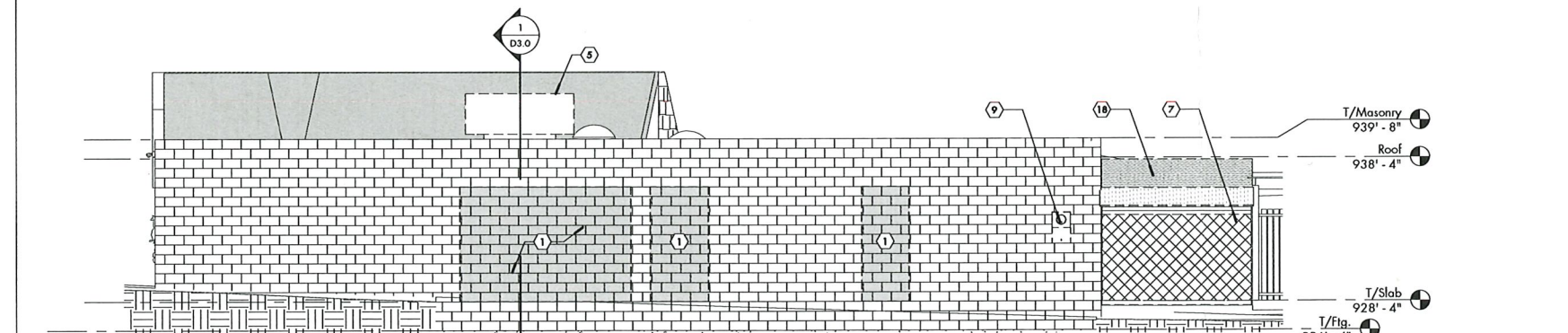
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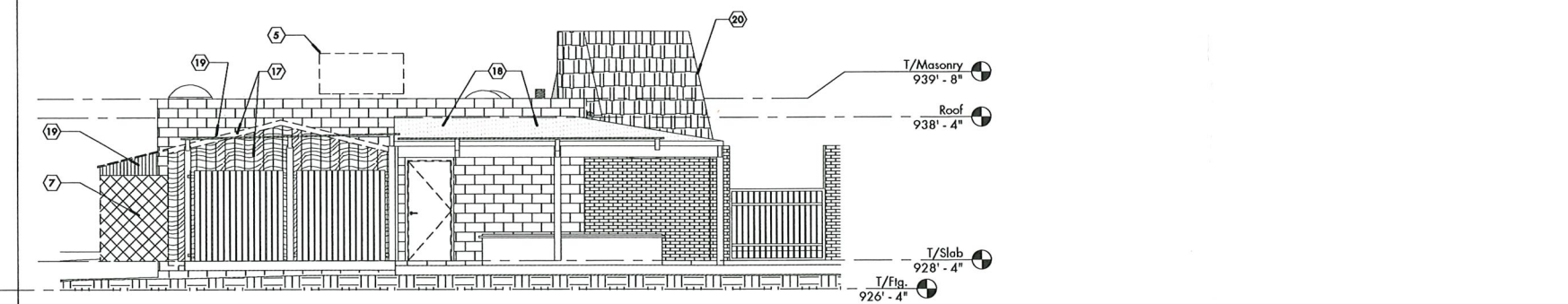
1 EXISTING/DEMO EAST ELEVATION
D2.0 SCALE: 3/16" = 1'-0"



2 EXISTING/DEMO NORTH ELEVATION
D2.0 SCALE: 3/16" = 1'-0"



3 EXISTING/DEMO WEST ELEVATION
D2.0 SCALE: 3/16" = 1'-0"



4 EXISTING/DEMO SOUTH ELEVATION
D2.0 SCALE: 3/16" = 1'-0"

DEMOLITION DRAWING NOTES

- NOTE:
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 - EXISTING GAS METER.
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 - EXISTING INTERIOR DOWNSPOUT TO BE RELOCATED.
 - EXISTING MECH. CHASE TO REMAIN.
 - DEMOLISH EXISTING COOLER/FREEZER UNITS AND EXISTING SLAB/FOUNDATION BELOW.
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 - DEMOLISH EXISTING ROOF STRUCTURE AND SIDING.
 - DEMOLISH EXISTING VERTICAL WOOD TRIM PANELS AND PLYWOOD SIDING AND PREPARE SURFACE FOR PROPOSED WORK.
 - DEMOLISH EXISTING CAP FLASHING.
 - REMOVE EXISTING BOOTH (INDICATED DASHED) AND PATCH INTERIOR FINISH AS REQ'D TO ACCOMMODATE PROPOSED WORK.
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 - EXISTING EPDM ROOFING@ BACK OF MANISARD ROOF. PATCH AS REQ'D TO ACCOMMODATE PROPOSED WORK.

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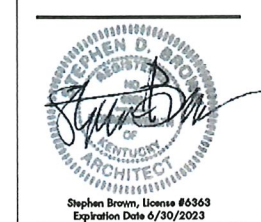
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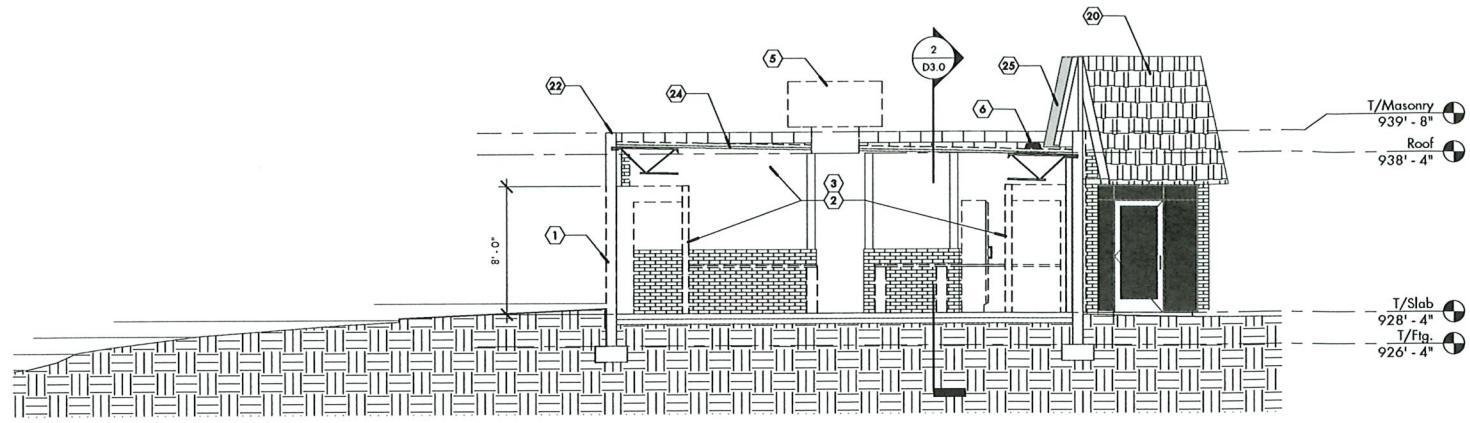
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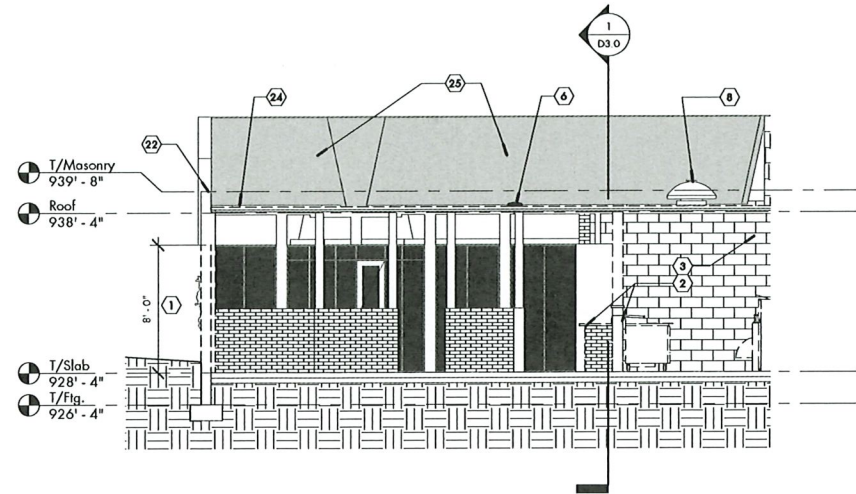
DEMOLITION ELEVATIONS

PROJECT NO.	22-018
ISSUE DATE	1/17/23
LAST REVISION	

D2.0



1
D3.0
EXISTING/DEMO BUILDING SECTION
SCALE: 3/16" = 1'-0"



2
D3.0
EXISTING/DEMO BUILDING SECTION
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 13. EXISTING GAS METER.
 14. EXISTING INTERIOR DOWNSPOUT TO REMAIN.
 15. EXISTING INTERIOR DOWNSPOUT TO BE RELOCATED.
 16. EXISTING MECH. CHASE TO REMAIN.
 17. DEMOLISH EXISTING COOLER/FREEZER UNITS AND EXISTING SLAB/FOUNDATION BELOW.
 18. EXISTING ROOF STRUCTURE @ BEER GARDEN TO REMAIN.
 19. DEMOLISH EXISTING ROOF STRUCTURE AND SIDING.
 20. DEMOLISH EXISTING SHAKE ROOFING.
 21. DEMOLISH EXISTING VERTICAL WOOD TRIM PANELS AND PLYWOOD SIDING AND PREPARE SURFACE FOR PROPOSED WORK.
 22. DEMOLISH EXISTING CAP FLASHING.
 23. REMOVE EXISTING BOOTH (INDICATED DASHED) AND PATCH INTERIOR FINISH AS REQ'D TO ACCOMMODATE PROPOSED WORK.
 24. EXISTING EPDM ROOFING. PATCH AS REQ'D TO ACCOMMODATE PROPOSED WORK.
 25. EXISTING EPDM ROOFING AT BACK OF MANSARD ROOF. PATCH AS REQ'D TO ACCOMMODATE PROPOSED WORK.

STEPHEN BROWN ARCHITECTS
architecture + design + sustainability



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513 . 533 . 9821
info@stephenbrownarchitects.com
www.stephenbrownarchitects.com

Tom's Papa Dino's Addition
288 Main Street
Florence, Kentucky 41042

PRELIM
DESIGN/VARIANCE

REVISIONS		
No.	Date	Item



Stephen Brown, License #66363
Expiration Date 6/30/2023

DEMO BUILDING SECTIONS

PROJECT NO.	22-018
ISSUE DATE	1/17/23
LAST REVISION	

D3.0

CERTIFICATE OF LAND USE RESTRICTION

1. NAME AND ADDRESS OF PROPERTY OWNER(S)

Mike & Mary Crittendon
288 Main St
Florence, KY 41042

2. ADDRESS OF PROPERTY

288 Main St
Florence, KY 41042

3. NAME OF SUBDIVISION OR DEVELOPMENT (if applicable)

Tom's Papa Dino's Addition

4. DEED BOOK 1189

PAGE NO. 170

GROUP NO. 2041B

5. TYPE OF RESTRICTION(S) (Check all that apply)

Zoning Map Amendment:
From _____ To _____

Conditional Use Permit

Development Plan

Conditional Zoning

Subdivision Plat
(Not Recorded)

Other:

Variance

6. NAME AND ADDRESS OF PLANNING COMMISSION, BOARD OF ADJUSTMENT, LEGISLATIVE BODY OR FISCAL COURT WHICH MAINTAINS THE ORIGINAL RECORDS CONTAINING THE RESTRICTION

BOONE COUNTY PLANNING COMMISSION
2950 WASHINGTON STREET, ROOM 317
P.O. BOX 958
BURLINGTON, KENTUCKY 41005




SIGNATURE OF COMPLETING OFFICIAL

Todd K. Morgan, AICP, Senior Planner
Name and Title of Completing Official

COMMONWEALTH OF KENTUCKY

COUNTY OF BOONE

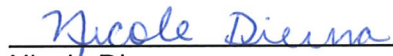
Subscribed, sworn to, and acknowledged before me by Todd K. Morgan on behalf of the Boone
County Planning Commission this 15th day of March, 2023.



Treva L. Beagle
Notary ID KYNP37603
NOTARY PUBLIC, State at Large

My commission Expires:
November 12, 2025

This instrument was prepared for recording purposes only by:



Nicole Dierna
Boone County Planning Commission
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005

NO TITLE EXAMINATION

(Legal Description and source of Title and Group Number furnished by the applicant.)

CONDITIONS OF APPROVAL

The following Conditions of Approval apply to the Variance approved by the Florence Board of Adjustment and in accordance with the current zoning in effect as of March 9, 2023, Certificate of Land Use Restriction (#23-FBOA-003-A), for Mike and Mary Crittendon, Property Owner(s).

The following conditions will apply:

1. Trash dumpsters located on site shall be enclosed per Section 3151 of the Boone County Zoning Regulations.

The approved Variance as well as the preceding conditions apply to the property described in:

DEED BOOK 1189

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GROUP NO. 2041B