

**BOARD OF ADJUSTMENT
BOONE COUNTY PLANNING COMMISSION**

004

Five (5) scaled copies and one (1) 11 x 17 reduction of submitted drawings are required

Site Plan Review is not granted by the appropriate Board of Adjustment

An application consists of all fees paid in full, submitted drawings, and a completed application form

SECTION A: (To be completed by applicant)

- 1. Check One Boone Florence Walton Union
- 2. Check One Conditional Use Permit Variance Appeal
 Change in Non-Conforming Use

3. Applicant: Voans Senior Community Care Northern Ky & St. Elizabeth

Address: 1460 Duke St.

Alexandria City VA State 22314 Zip Code

Phone Number: _____ Fax Number: _____

Email: psoczynski@voa.org

4. Description of Request: Conditional use of 2960 # of building to be Adult Day Care

5. Name of Development: Cavalier Medical + Dialysis Center

6. Location of Development: 47 Cavalier Blvd

Florence City Ky State 41042 Zip Code

7. Acreage Under Review: 1.91 or 1.74 I have seen both mentioned

8. Lot Number and Name of Subdivision (if part of a subdivision): Lot 9B Turfway Commercial Park

9. Current Owner: CHCT Kentucky

Address: 3326 Aspen Grove Dr. Suite 150

Franklin City TN State 37067 Zip Code

Phone Number: 615-771-3052 Fax Number: 615-771-3064

Email: mfrazier@chct.reit

Mark Zimmernan
Schevde & Zimmernan
1671 Park Rd.
Suite 11
Ft. Wright
Ky 41011
559
331-3160

10. Proposed Use(s) on Site: Use Group B 82:1. Use Group E 18:1.
11. Total Square Footage of Existing and/or Proposed Buildings: 17292 #
12. Current Zoning: O-2 / PD/CD
13. 1055 730 3840 + 3877
Deed Book Page Group Number
14. Is the site subject to a zone change: Yes No 1998
If yes, date of approval: Concept
15. Have you submitted a Site Plan with this request: Yes No
16. Have you submitted a list of adjoining property owners with this request: Yes No
17. I, or we, understand and agree that this application and drawing(s) are being filed in accordance with the Boone County Zoning Regulations.

ORIGINAL Property Owner's Signature: Mills Sanger
(Faxed, Photocopied or Scanned Signatures will **NOT** be Accepted)

ORIGINAL Applicant's Signature: Christopher Mangrove
(Faxed, Photocopied or Scanned Signatures will **NOT** be Accepted)

SECTION B: (To be completed by Planning Commission staff)

1. Date Received: 2/2/23 Fee Received: \$1,116 Receipt #: 87725

2. Is application complete:

3. Staff Reviewer: Todd Morgan

4. Scheduled Board Action Date: 3/9/23

5. Board Action: _____

Approved

Approved with Conditions (see #6)

Denial (See #7)

6. Conditions of Approval: SEE 3/9/23 Meeting Minutes
AND C.L.U.R.

7. Reasons for Denial: _____

Boone County Planning Commission
Boone County Administration Building
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005
Phone: 859-334-2196 Fax: 859-334-2264
plancom@boonecountyky.org
www.boonecountyky.org

STAFF REPORT

#3

APPLICANT: Voans Senior Community Care NKY & St. Elizabeth

LOCATION: 47 Cavalier Boulevard, Florence, KY

ZONING: Office Two/Planned Development (O-2/PD)

DATE: March 9, 2023

PROPOSAL

The applicant has submitted a Conditional Use Permit application to allow an adult daycare to operate out of a 2,960 square foot tenant space located at 47 Cavalier Boulevard, Florence, Kentucky.

A cover letter was submitted with the application and it provides the following information:

- A. The proposed days and hours of operation are Monday through Friday, from 8:00 A.M. to 5:00 P.M.
- B. The number of adults that will be cared for will be determined the Cabinet for Health and Family Services Office of the Inspector General. They are planning to have an average daily attendance of 50 participants in year 5 of operations.
- C. They will have the 6 to 8 direct care staff when they have 50 participants.
- D. There will be 4 to 6 vans kept on site when they have 50 participants attending the day care center.
- E. The daycare will typically transport participants to and from the daycare center as well as to other medical and social appointments. On occasion, family members provide transportation to and from the daycare center but this is uncommon.
- F. Activities can occur outdoors but they usually occur off-site.

PERTINENT SITE HISTORY

- A. In 1998, a Change in Concept Development Plan application was approved allowing lot 9 of Turfway Commercial Park to develop with office, indoor commercial recreation, and athletic field uses. The Concept Plan showed that four baseball field could be replaced with three additional office buildings. There were no conditions imposed limiting the office building uses.
- B. On September 11, 1998, Boone County Planning Commission approved a Major Site Plan allowing an 18,000 square foot office building and 86 parking spaces on the 1.83-acre site.

APPLICABLE REGULATIONS

- c. The use, building or structure is subservient to and not of scale, nature, trade or other character which will compete, detract or conflict with the purpose and permitted uses of the district; and
 - d. Provided the arrangement of uses, buildings, or structures is mutually compatible with the organization of permitted and accessory uses to be protected in the district.
- C. Section 505.4 and Table 5-5 list “day care centers” as a Conditional Use in the Office Two (O-2) zoning district.
- D. Section 1101 of the Boone County Zoning Regulations states that “the purpose of the Office Two district is to is to consolidate those types of professional, research, business, service and similar uses which are based in office structures and which require and desire high levels of personal interaction. Such districts will be organized to provide employment labor markets. Districts will be located on suitable lands with convenient access from expressways, arterials or collectors. District plans will be organized to provide direct, central, convenient and safe collection of vehicles and pedestrian circulation.
- E. Section 3325 of the Boone County Zoning Regulations requires the following parking:
 - Daycare center - 2 parking spaces per caregiver, 1 parking space for every other employee working on site, and 1 space for every company vehicle that is used in the business.
 - Medical and dental clinics – 1 space per 200 square feet (gross floor area).

RELATIONSHIP TO THE COMPREHENSIVE PLAN

- A. The Our Boone County Plan 2040 Future Land Use Plan designates the site for “Commercial” uses which is described as retail, corporate and professional office, interchange commercial, indoor commercial recreation, restaurants, services, etc.
- B. The following Our Boone County Plan 2040 Goals and Objectives apply to this application:
 - Land uses and zoning decisions shall strive to balance the rights of landowners with the rights of neighbors and the community (Overall Goal A, Objective 4).
 - The needs of an aging population (e.g., access to services, transportation, and support networks) shall be acknowledged and addressed (Demographics Goal A, Objective 2).
 - Provide appropriate services, housing, employment, and shopping opportunities in order to meet the needs of the population in all geographic areas of the County (Demographics Goal A, Objective 4).

Medical Clinics

- The submitted plans show that there will be 14,332 square feet of medical clinics when the interior renovations are complete. The parking requirement is 1 space per 200 square feet. $14,332 / 200 = 72$ parking stalls required.

Proposed Daycare In 5 Years

- Two spaces are required per caregiver - 8 caregivers x 2 = 16 parking stalls required.
- One space for every other employee = 0.
- One space per company vehicle – 6 vans = 6 parking spaces required.

The Zoning Administrator can consider a parking waiver based on the fact that most of daycare participants will be picked up and dropped off at the facility. A concern still exists because 72 of the 84 on-site parking spaces will be accounted for by the medical clinics that operate out of the building. This only leaves 12 parking spaces for the daycare. Based on the figures provided, the daycare could have up to 8 employees and 6 vans parked in the lot when they reach 50 participants.

Staff recommends the property owner should pursue a shared parking agreement with one of the hotels across the street or Christo Rey Church to allow overflow parking. Another option would be to reduce the participants, staff, or vans on-site.

CONCLUSION

- A. KRS 100.237 and Section 205 of the Boone County Zoning Regulations give the Florence Board of Adjustment and Zoning Appeals the authority to act on the Conditional Use Permit application.

Respectfully Submitted,



Todd K. Morgan, AICP
Senior Planner, Zoning Services

TKM/ss

Attachments

- *Site Vicinity Map
- *Applicant's Cover Letter
- *Submitted Plans
- *Zoning Map
- *2040 Future Land Use Map
- *2022 Aerial Map
- *Topographical Map
- *Application

In October 2021, Baptist Life Communities submitted a Letter of Intent to provide PACE (Program of All-Inclusive Care for the Elderly) Services to Boone, Campbell and Kenton counties. Baptist Life Communities is partnering with Volunteers of America National Services and St. Elizabeth Medical Center to develop and operate the PACE program. The partner has resulted in the creation of an organization called VOANS Senior Community Care of Northern Kentucky. At the request of the Kentucky Cabinet for Health and Family Services, the service area has been expanded to include the following additional counties: Carroll, Gallatin, Owen, Grant and Pendleton.

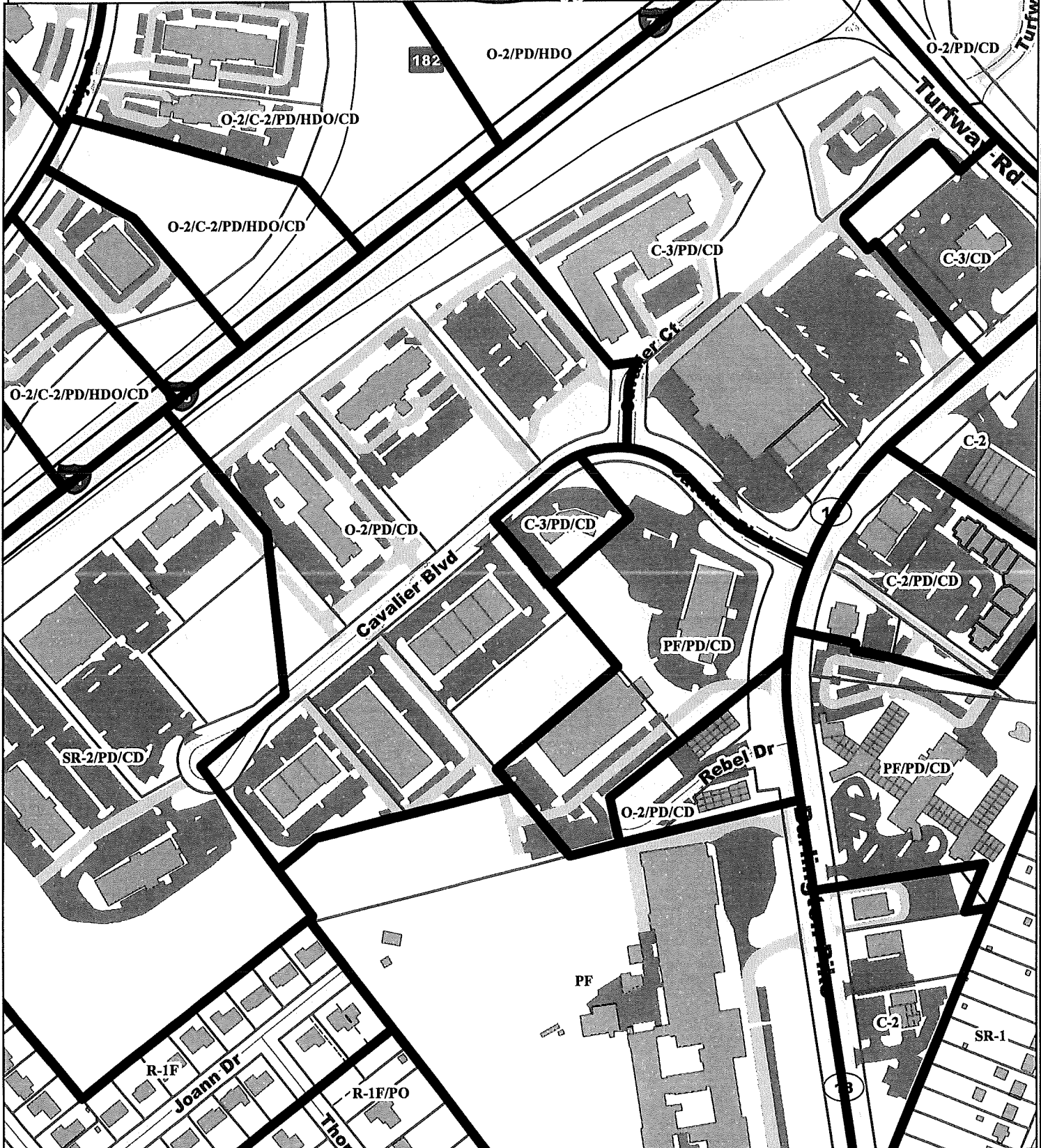
VOANS Senior Community Care of Northern Kentucky and the Cabinet for Health and Family Services are working towards opening the program by February 1, 2024. VOANS Senior Community Care of Northern Kentucky filed a CMS application on 12/29/2023. In order for the day center facility to be ready to be opened by 2/1/2024, a Federal and State inspection needs to be completed by 8/15/2023.

We are seeking Board approval to proceed with the renovation of the property at 47 Cavalier Blvd Florence, KY 41042. Please, consider the following information as the request for PACE day center renovation and development is considered and approved:

1. Proposed days and hours of operation:
The PACE Day Center will have operating hours Monday – Friday from 8:00 AM to 5:00 PM
2. Maximum number of adults that could be cared for at any given time.
The final number will be determined by the Cabinet for Health and Family Services Office of the Inspector General. We are planning for an average daily attendance of 50 participants in year 5 of operations. These participants will be able to engage in social activities, visit with their primary care provider, visit with their nurse and/or social worker, receive rehabilitation services (occupational therapy and physical therapy), receive personal care services such as bathing and have a meal for lunch.
3. Maximum number of employees that could work on site at any given time. This should be broken into caregivers and other employees.
At the point when there will be 50 participants attending the day center, we would see the following staffing to provide services
 - *Direct Care Staff = 6 to 8 on any one shift*
4. Number of company vehicles (vans) that will be kept on site.
At the point where there will be 50 participants attending the day center, we would expect 4 to 6 vans to be kept on site after hours
5. The transportation of the adults being cared for. Are they all picked up and dropped by company vehicles?
Participants in PACE Programs are generally not able to transport themselves to and from the day center. On occasion, family members will provide transportation to and from the day center but this is uncommon. PACE Programs are expected to transport participants to and from the day center as well as to other medical and social appointments.
6. Can any activities occur outdoors?
The Recreation and Activity staff does plan outdoor activity but usually off site. Once or twice per year there may be a brief activity outside such as a picnic or parade to celebrate an event or holiday.

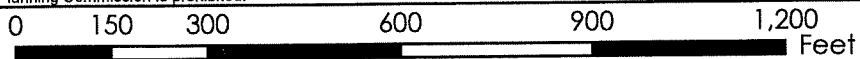
ZONING MAP

www.boonecountygis.com



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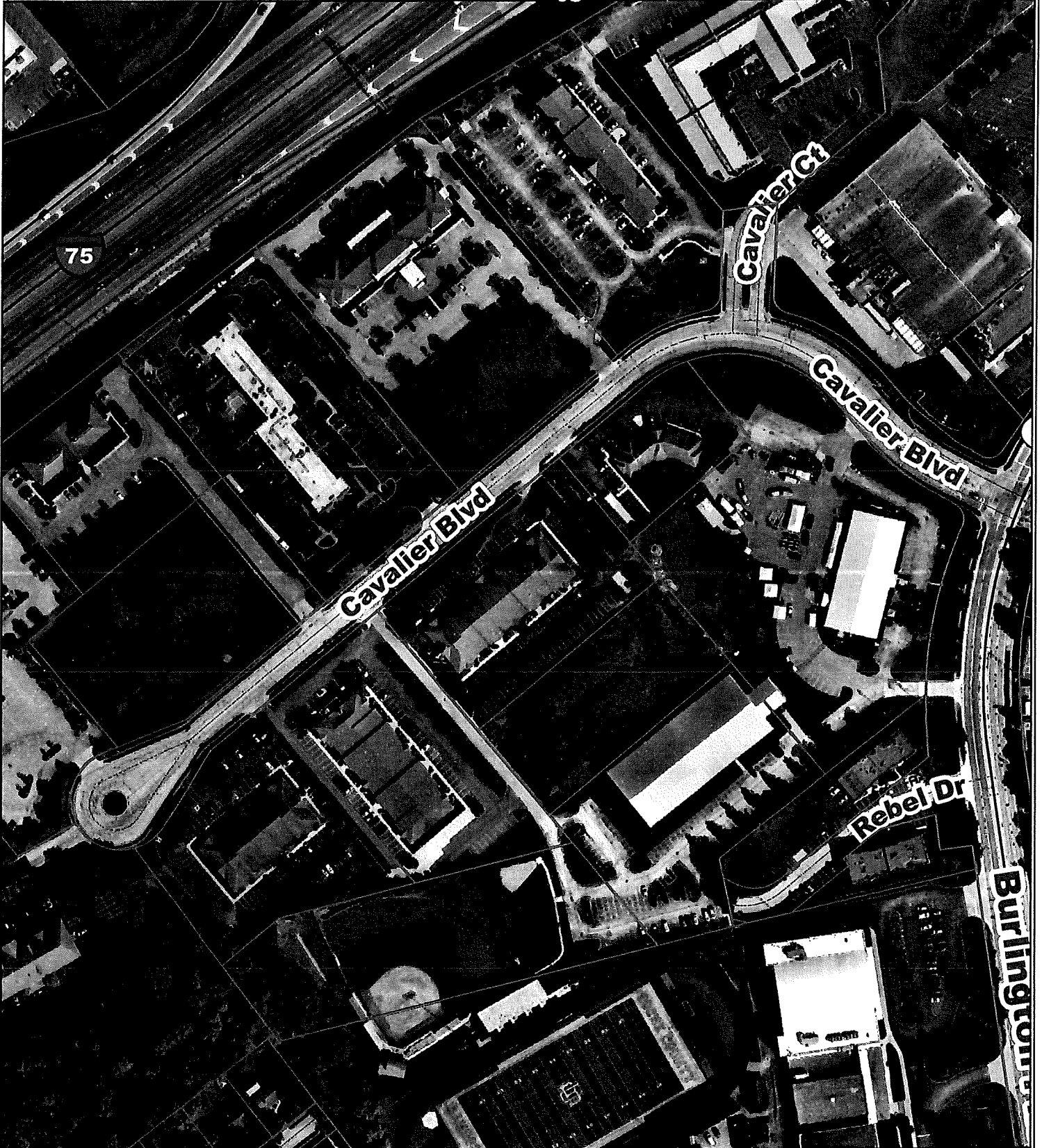
1 inch = 300 feet



Boone County GIS - Putting Northern Kentucky on the Map

2022 AERIAL MAP

www.boonecountygis.com



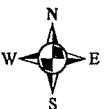
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0 100 200 400 600 800 Feet

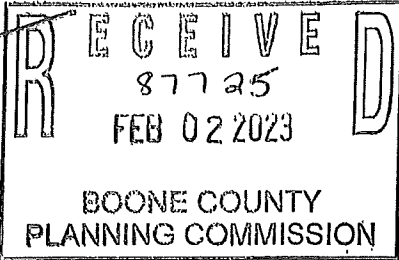
1 inch = 200 feet



Boone County GIS - Putting Northern Kentucky on the Map

Map Created: 10/20/2020

Map File: C:\GIS\Map\2020\2020_10_20_2020.mxd
ArcMap Document: *.mxd



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Email: mfrrazier@chct.reit

Table Z...
Schedule Z...
71 Park Rd.
with 11
t. Wright
124 41011
4.
-9
1-3160

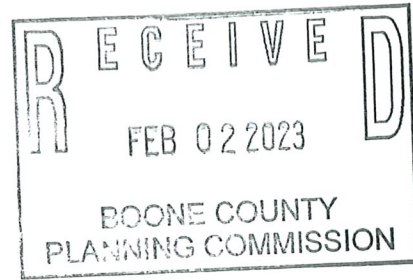
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No Exterior Work Is Planned
With This Application.



INTERIOR IMPROVEMENTS FOR:

PACE ADULT DAY CARE & OFFICES

47 CAVILIER BLVD.
FLORENCE, KY 41042

PROFESSIONAL SEAL



OWNER

CHCT KENTUCKY
47 CAVILIER BLVD.
FLORENCE, KY 41042

ARCHITECT

CASLER DESIGN GROUP, INC. / PMBA ARCHITECTS
10805 INDECO DRIVE
CINCINNATI, OHIO 45241 (513) 791-0456

CONTRACTOR

T.B.D.
ADDRESS
CITY, STATE ZIP CODE (513) 111-1111

ISSUED FOR:
PERMIT: 12.16.22

INTERIOR IMPROVEMENTS FOR:
PACE ADULT
DAY CARE & OFFICES

47 CAVILIER BLVD.
FLORENCE KY 41042

ARCHITECTS:

CASLER
DESIGN GROUP, INC.
Architecture • Planning • Interior Design
10805 Indeco Drive • Cincinnati, Ohio 45241
(Phone) 513.791.0456 • (Fax) 513.792.7488



PMBA Architects
114 Louisiana Avenue
Perryburg, OH 43551-1457

419.873.8450
PMBA@PMBAArchitects.com
www.PMBAArchitects.com

designingwellness

CONSULTANTS:

JOB NUMBER 5401.000

DRAWN BY JML

CHECKED BY CAP

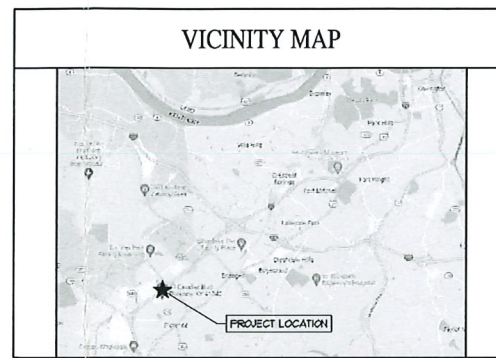
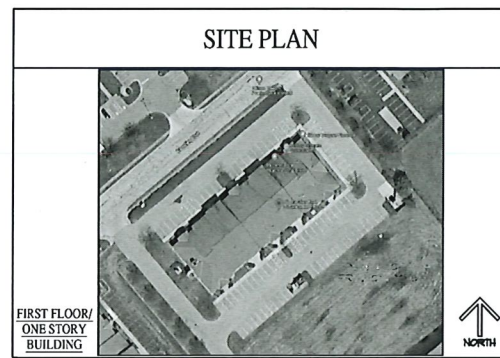
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TITLE SHEET
AND
NOTES

T1.01

ARCHITECTURAL GRAPHIC SYMBOLS

	ROOM TITLE ROOM NUMBER		DOOR NUMBER
	KEYNOTE NUMBER		REVISION NUMBER
	WALL TYPE NOTATION		FINISH OR FLOOR HEIGHT NOTATION
	COLUMN REFERENCE		WINDOW NOTATION
	SECTION OR DETAIL DRAWING NUMBER		ELEVATION MARKER
			WORK POINT ELEVATION



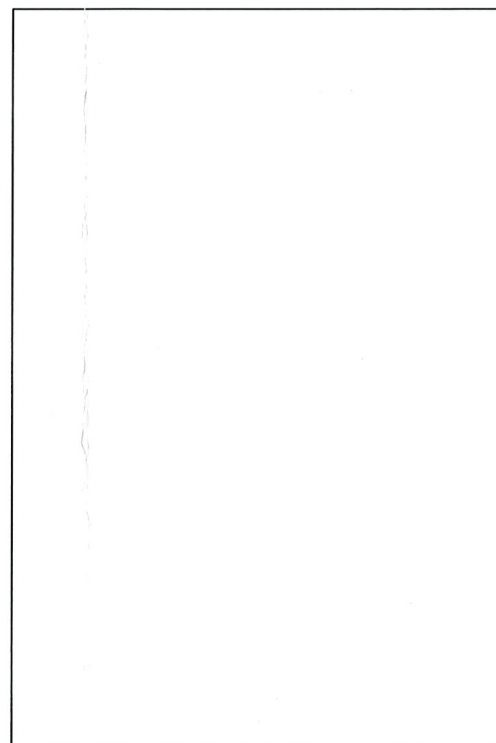
- ### GENERAL NOTES
- ALL CONTRACTORS SHALL VISIT THE SITE AND THOROUGHLY ACQUANT THEMSELVES WITH THE CONDITIONS IN THE FIELD, COMPLETELY REVIEW THESE DOCUMENTS AND FULLY UNDERSTAND THE NATURE AND SCOPE OF THE WORK TO BE PERFORMED. IN ADDITION, CONTRACTORS SHALL NOTIFY THE ARCHITECT IN WRITING OF MATERIAL DISCREPANCIES FOUND ON THE DRAWINGS OR ANY EXISTING CONDITIONS FOUND ON THE SITE WHICH CONFLICT WITH CONDITIONS AS SHOWN IN THE CONTRACT DOCUMENTS PRIOR TO COMMENCEMENT OF WORK. COMMENCEMENT OF WORK DENOTES ACCEPTANCE OF RESPONSIBILITY FOR THE WORK AND ASSOCIATED COSTS. NO SUBSEQUENT CLAIM BASED UPON DIFFERENCES BETWEEN ACTUAL CONDITIONS AND THOSE INDICATED WILL BE CONSIDERED.
 - DIMENSIONS, DETAILS, ETC. RELATING TO EXISTING CONDITIONS AND/OR OTHER EXISTING ITEMS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF THE WORK. ADDITIONALLY, CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO FABRICATING OR RELOCATING ANY ITEMS TO BE INCORPORATED IN THE WORK.
 - DRAWINGS ARE NOT TO BE SCALED. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS AND WHERE REQUIREMENTS OF TWO OR MORE STANDARDS APPLY, THE REQUIREMENTS OF THE MOST RESTRICTIVE SHALL APPLY.
 - DIMENSIONS ON FLOOR PLANS ARE INDICATED AS FOLLOWS:
AT EXISTING WALLS: TAKEN FROM FACE OF WALL.
AT NEW WALLS: SHOWN TO FACE OF STUDS, OR TO FACE OF MASONRY, UNLESS NOTED OTHERWISE.
 - PROVIDE SOLID WOOD BLOCKING IN STUD WALLS AS REQUIRED TO SUPPORT WALL-MOUNTED CABINETRY, COUNTERTOPS, AND ALL OTHER COMPONENTRY. COMBUSTIBLE WOOD, NOT TREATED, IS ALLOWED FOR BLOCKING MATERIAL FOR HANDRAILS, FILLWORK, CABINETS, AND WINDOW AND DOOR FRAMES.
 - COORDINATE DEMOLITION AND CONSTRUCTION OPERATIONS WITH OWNER TO ALLOW FOR THE CONTINUED OPERATIONS OF AFFECTED OCCUPANTS.
 - ALL DISTURBED AREAS CAUSED BY NEW OR RECYCLED CONSTRUCTION WHICH IS NOT SPECIFICALLY NOTED TO RECEIVE NEW FINISHES SHALL BE REFINISHED TO MATCH EXISTING FINISH.
 - CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION, INCLUDING DUST BARRIERS, TO PROTECT OCCUPIED AREAS OF THE BUILDING FROM DEMOLITION AND CONSTRUCTION DUST AND DEBRIS. ALL PROTECTIVE MEASURES AND DUST BARRIER LOCATIONS MUST BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.
 - ALL SUSPENDED ITEMS SUCH AS CEILING, DUCTS, PIPES, CONDUITS, ETC. SHALL BE SUSPENDED DIRECTLY FROM EXISTING BUILDING STRUCTURE.
 - THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL PORTIONS OF WORK, INCLUDING COORDINATING THE DUTIES OF ALL TRADES, UNLESS NOTED OTHERWISE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDITIONS AT THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK (AT ALL TIMES, NOT LIMITED TO NORMAL WORKING HOURS).
 - THE CONTRACTOR SHALL INSTALL MATERIALS, SUPPLIES AND EQUIPMENT PER MANUFACTURER'S CURRENT SPECIFICATIONS AND RECOMMENDATIONS.
 - THE CONTRACTOR SHALL PROVIDE SEALANT AT ALL JOINTS BETWEEN ALL DISSIMILAR MATERIALS, WINDOW AND DOOR OPENINGS, MECHANICAL PENETRATIONS, EXPANSION JOINTS, ETC. AND WHERE INDICATED ON DRAWINGS TO ASSURE A COMPLETE WEATHER TIGHT ASSEMBLY.
 - THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND GOVERNMENTAL FEES, LICENSES, INSPECTIONS, AND OTHER CONSENTS FOR GENERAL CONSTRUCTION NECESSARY FOR PROPER EXECUTION AND COMPLETION OF WORK, UNLESS NOTED OTHERWISE.

ABBREVIATIONS

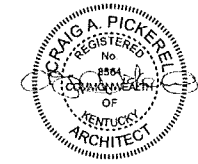
ACT	ACOUSTICAL CEILING TILE	MFG	MANUFACTURER
ADJ	ADJACENT / ADJUSTABLE	MIN	MINIMUM
AFB	ABOVE FINISH FLOOR	MISC	MISCELLANEOUS
ALT	ALTERNATE	MO	MASONRY OPENING
ALUM	ALUMINUM	MS	MOST SIKS
APPROX	APPROXIMATELY	MTD	MOUNTED
BLKG	BLOCKING	MTG	MOUNTING
CER	CERAMIC	MTL	MATERIAL
CJ	CONTROL JOINT	N/A	NOT APPLICABLE
CL	CENTERLINE	NC	NOT IN CONTRACT
CLG	CEILING	NO.	NUMBER
CLR	CLEAR	NO.-CON	NON-COMBUSTIBLE
CHU	CONCRETE MASONRY UNITS	NTS	NOT TO SCALE
CONC	CONCRETE	OC	ON CENTER
CONT	CONTINUOUS	OPNG	OPENING
CPT	CARPET	P LAM	PLASTIC LAMINATE
CT	CERAMIC TILE	PART	PARTITION
CTR	CENTER	PLYUD	PLYWOOD
DM	DIMENSION	PNL	PANEL
DN	DOWN	PR	PAIR
DR	DOOR	PT	PRESSURE TREATED
DS	DOWNSPOUT	PTD	PAINTED
DTL	DETAIL	QT	QUARRY TILE
DUS	DRAIN	RD	ROUGH OPENING
EA	EACH	RENF	REINFORCING
EJ	EXPANSION JOINT	REQD	REQUIRED
ELEV	ELEVATION	REV	REVISION
EQ	EQUAL	REF	REFRIGERATOR
EUC	ELECTRIC WATER COOLER	RFT	RIGHT OF WAY
EXIST	EXISTING	SAB	SOUND ATTENUATION BATT.
EXP	EXPANSION	SCHED	SCHEDULE
EXT	EXTERIOR	SECT	SECTION
FD	FLOOR DRAIN	SQ	SQUARE FEET
FE	FIRE EXTINGUISHER CABINET	SHT	SHEET
FLR / FL	FLOOR	SIM	SYMBOL
FO	FOUNDATION	SM	SHEET METAL
FRW	FIRE-RETARDANT TREATED WOOD	SS	STAINLESS STEEL
FTG	FOOTING	STD	STANDARD
FRFR	FURRING	STRCT	STRUCTURAL
GA	GAUGE	SUSP	SUSPENDED
GALV	GALVANIZED	T	TREAT
GYP. BD.	GYP. BOARD	THPRD	TEMPERED
HC	HANDICAP	TYP	TYPICAL
HDR	HARDWARE	UNO.	UNLESS NOTED OTHERWISE
HT / HGT	HEIGHT	VB	VNTL. BASE
HM	HOLLOW METAL	VCT	VNTL. COMPOSITION TILE
INSUL	INSULATION	W	WITH
INT	INTERIOR	WC	WATER CLOSET
LAV	LAVATORY	WD	WOOD
LVT	LUXURY VINYL TILE	WR	WATER RESISTANT
MAS	MASONRY	WLF	WELDED WIRE FABRIC
MATL	MATERIAL		
MAX	MAXIMUM		

INDEX OF DRAWINGS

DWG. NO.	DESCRIPTION	ISSUE DATES:							
ARCHITECTURAL									
T101	TITLE SHEET AND CODE NOTES								
A001	LIFE SAFETY PLAN	12/06/22							
A100	DEMOLITION PLAN								
A101	FLOOR PLAN								
A102	REFLECTED CEILING PLAN								
A103	DOOR SCHEDULE, DETAILS AND WALL PART. TYPES								
A104	ENLARGED TOILET ROOM PLANS AND ELEVATIONS								
A105	INTERIOR ELEVATIONS								
A106	INTERIOR ELEVATIONS								
A107	INTERIOR ELEVATIONS AND CASEWORK SECTIONS								
A108	ROOM FINISH SCH. & FINISH MATERIALS SCHEDULE								
A109	FINISH PLAN								
A110	FF&E PLAN								
MEP AND FIRE ALARM DRAWINGS WILL BE ACCOMPLISHED THROUGH GENERAL CONTRACTOR BY DESIGN-BUILD METHOD. DRAWINGS WILL BE SUBMITTED SEPARATELY.									



PROFESSIONAL SEAL



ISSUED FOR:
TEST FIT: 6.14.22
DD SET: 11.14.22
PERMIT: 12.16.22

INTERIOR IMPROVEMENTS FOR:
**PACE ADULT
DAY CARE & OFFICES**

47 CAVALIER BLVD.
FLORENCE KY 41042

ARCHITECTS:

CASLER
DESIGN GROUP, INC.
Architecture • Planning • Interior Design
10606 Inness Drive • Cincinnati, OH 45241
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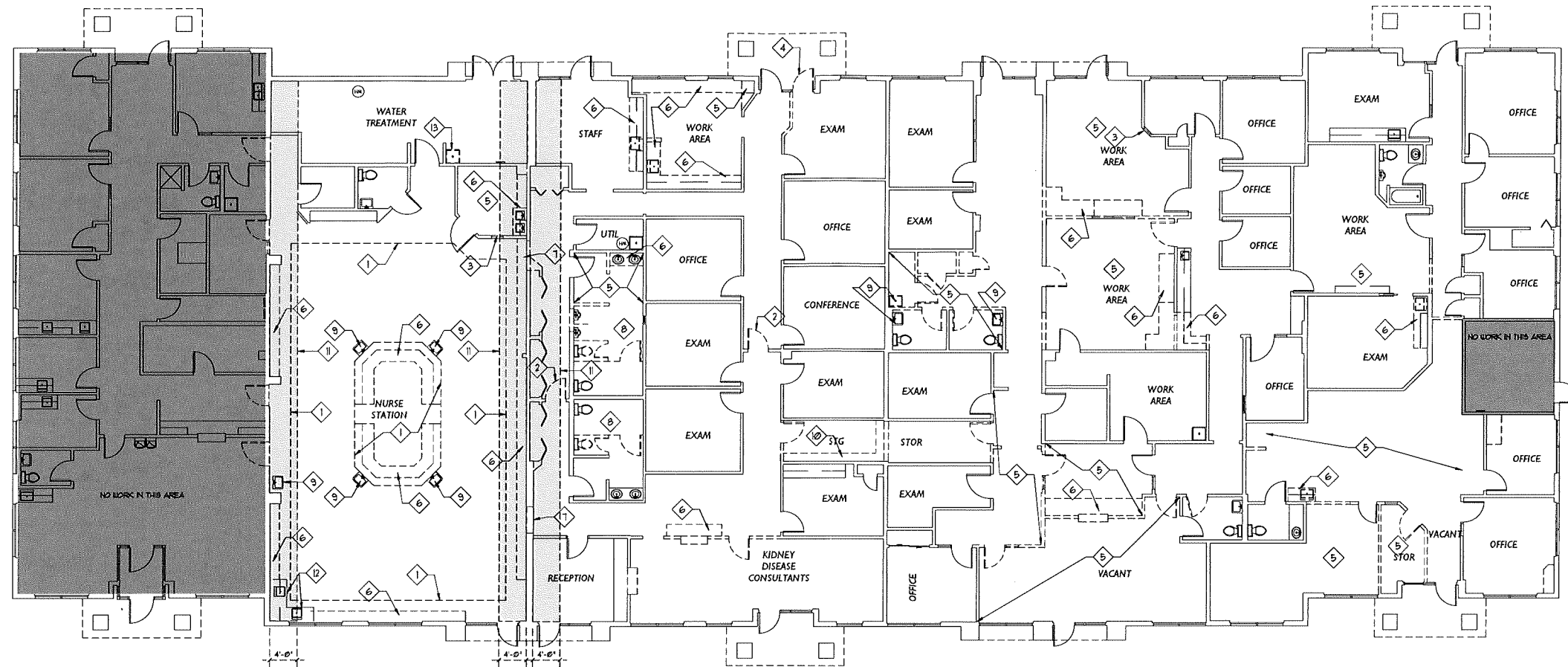


PMBA Architects
114 Louisiana Avenue
Perrysburg, OH 43051-1457

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designingwellness

CONSULTANTS:



DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

- A. REMOVE ALL WALL AND FLOOR FINISHES IN AREA OF WORK UNLESS OTHERWISE NOTED.
- B. SEE MEP DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.
- C. ALL DASHED ITEMS ON THE DEMOLITION PLAN TO BE REMOVED AS SHOWN. REFER TO WALL LEGEND.
- D. DISPOSE OF ALL DEMOLITION MATERIALS IN LEGAL MANNER AND AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- E. REMOVE ABANDONED FLOOR DRAINS, AND PIPING PROTRUDING THROUGH FLOOR IN AREA OF WORK. PLUG/CAP LINES BELOW FLOOR. REMOVE REMAINDER OF PIPING ABOVE FLOOR.
- F. FIELD VERIFY EXTENT OF REQUIRED DEMOLITION WORK WITH EXISTING CONDITIONS.
- G. REMOVE ALL CEILING PADS AND REPLACE WITH NEW CLEAN EXISTING CEILING GRID TO REMAIN.
- H. ADD ALTERNATE: REMOVE ALL EXISTING INTERIOR LIGHT FIXTURES AND REPLACE WITH NEW LED TROFFERS.
- I. PROTECT EXISTING TO REMAIN DOORS, CASEWORK, ETC. DURING CONSTRUCTION.
- J. SALVAGE ALL DOORS TO BE REMOVED. RE-USE WHERE POSSIBLE.

DEMOLITION NOTES

1. REMOVE SOFFIT.
2. REMOVE EXISTING DOOR SLAB ONLY. EXISTING DOOR FRAME TO REMAIN.
3. REMOVE GLASS WINDOW AND FRAME.
4. REMOVE EXTERIOR DOOR AND FRAME.
5. REMOVE ACOUSTIC CEILING TILE, GRID AND LIGHTS. SEE REFLECTED CEILING PLAN ON A109 FOR EXTENTS OF NEW CEILING.
6. REMOVE EXISTING CASEWORK.
7. REMOVE PORTION OF EXISTING WALL FOR NEW DOOR AND FRAME.
8. REMOVE TOILET PARTITIONS, SINKS AND COUNTERTOPS AS SHOWN.
9. REMOVE SINK - SEE PLUMBING DRAWINGS.
10. REMOVE S-BELVING.
11. REMOVE EXISTING CEILING 4'-0" FROM WALL FOR INSTALLATION OF FIRE WALL, AS REQUIRED.
12. MOVE CASEWORK TO ALLOW FOR NEW 2 HOUR FIRE BARRIER. REMOVE SINK AND REPLACE COUNTERTOP ON FIRE BARRIER SIDE.
13. REMOVE MOP SINK AND SAVE FOR REINSTALLATION.

WALL LEGEND

- ==== INDICATES CONSTRUCTION TO BE REMOVED
- — — — INDICATES EXISTING CONSTRUCTION TO BE LEFT UNDISTURBED
- INDICATES NO WORK IN THIS AREA
- ▨ REMOVE EXISTING CEILING 4'-0" FROM WALL FOR INSTALLATION OF FIRE WALL, AS REQUIRED.

JOB NUMBER 5401.000

DRAWN BY JML

CHECKED BY CAP

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DEMOLITION PLAN

A1.00

PROFESSIONAL SEAL



ISSUED FOR:
TEST FIT: 6.14.22
DD SET: 11.14.22
PERMIT: 12.16.22

INTERIOR IMPROVEMENTS FOR:
**PACE ADULT
DAY CARE & OFFICES**

47 CAVALIER BLVD.
FLORENCE KY 41042

ARCHITECTS:

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16628 Inwood Drive • Cincinnati, OH 45241
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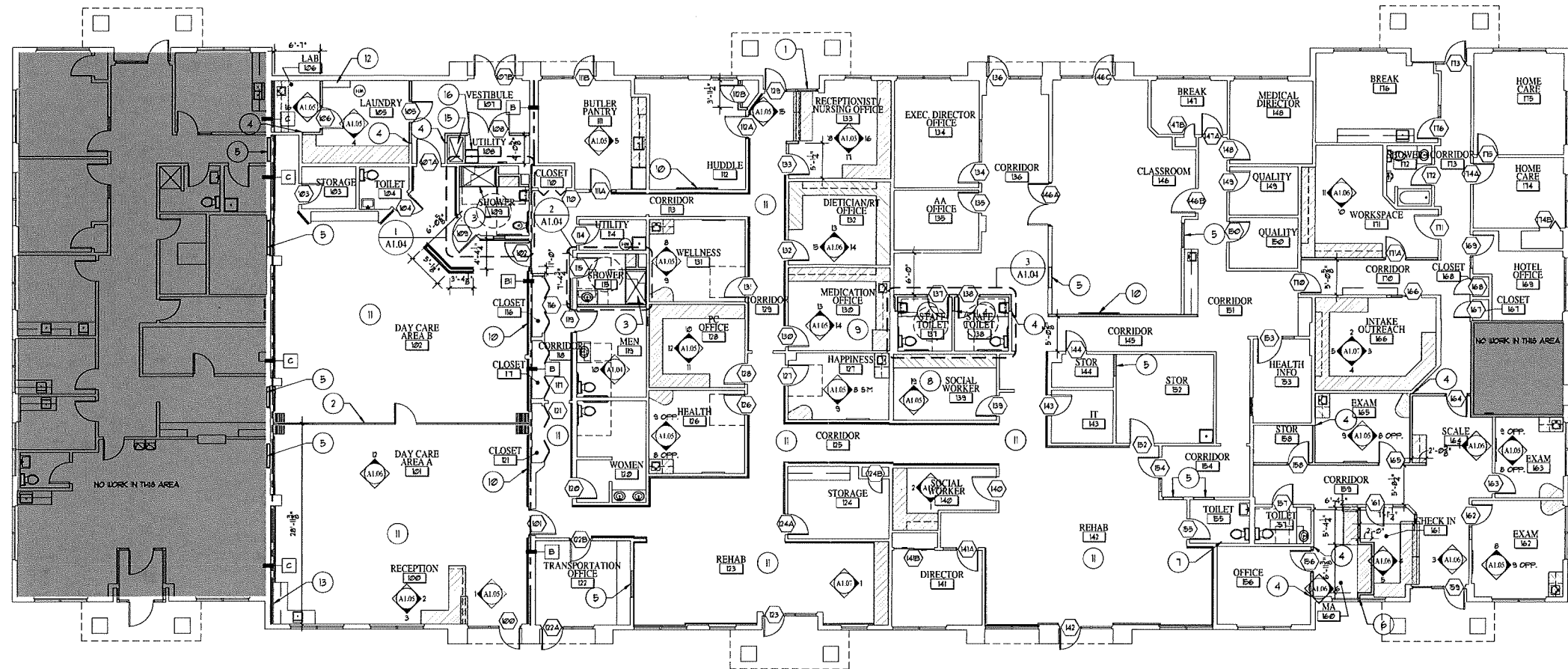
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FLOOR PLAN

A1.01



FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. ALL APPLIANCES, EQUIPMENT AND FURNITURE SHALL BE PROVIDED BY TENANT UNLESS OTHERWISE NOTED.
- B. IT WILL BE THE RESPONSIBILITY OF THE TENANT TO MOVE ALL FURNITURE, PERSONAL ITEMS, COMPUTER AND ELECTRONIC EQUIPMENT.
- C. NEW CASEWORK AT EXISTING WALLS, REMOVE DRYWALL AS NECESSARY TO PROVIDE BLOCKING AND PIPING CONNECTIONS. PATCH AND REPAIR DRYWALL FINISH UPON COMPLETION OF CABINETRY INSTALLATION.
- D. DISTURBED AREAS CAUSED BY NEW OR REMODELED CONSTRUCTION WHICH ARE NOT SPECIFICALLY NOTED TO RECEIVE NEW FINISHES SHALL BE REFINISHED TO MATCH EXISTING FINISH.
- E. ALL NEW CASEWORK INDICATED WITH A HATCH AND SHOWN IN ELEVATION.
- F. PROVIDE NURSE CALL CORD AND LIGHT AT ALL PATIENT TOILET ROOMS.

FLOOR PLAN NOTES

- 1. PROVIDE NEW STOREFRONT WINDOW AND FRAME TO MATCH EXISTING
- 2. NEW MOVEABLE PARTITION WITH CENTRAL DOOR PROVIDE STRUCTURAL SUPPORT ABOVE (MFP-U) HOUR FIRE BARRIER.
- 3. NEW ADA PRE-FAB SHOWER UNIT - PROVIDE NEW TILE FLOORS, BASE AND WALLS TO 5'-0" IN SHOWER ROOMS.
- 4. ALIGN FINISH FACE OF NEW PARTITION WITH FINISH FACE OF EXISTING PARTITION
- 5. FILL OPENING TO MATCH EXISTING WALL CONSTRUCTION
- 6. ALIGN CENTER OF NEW PARTITION WITH CENTER OF WINDOW MULLION. SEE DETAIL 5/A1.03.
- 7. PROVIDE NURSE CALL PULL CORD AND LIGHT OUTSIDE DOOR
- 8. PROVIDE PANG BUTTON
- 9. PROVIDE NEGATIVE AIR PRESSURE IN THIS ROOM. EXTEND WALLS TO GYP. BD. ABOVE TO SEAL THE ROOM
- 10. PROVIDE BLOCKING IN WALL FOR WALL MOUNTED TV.

FLOOR PLAN NOTES

- 11. WOOD LOOK HANDRAIL ON ALL WALL IN THIS AREA
- 12. SHELF PROVIDED BY OWNER
- 13. MOVE EXISTING CASEWORK TO ALLOW FOR NEW 2 HOUR FIRE BARRIER
- 14. REMOVE SINK
- 15. NEW 2'-6" X 4'-0" SHOWER PAN AND ACRYLIC WALL PANEL SURROUND TO 1'-0" LITH HAND HELD SHOWER HEAD AND HOSE (FOR WHEELCHAIR CLEANING ONLY)
- 16. RE-INSTALL EXISTING MOP SINK

PARTITION NOTES

- 1. ALL NEW PARTITIONS SHALL BE WALL TYPE 'A' UNLESS NOTED OTHERWISE. SEE DETAIL 5/A1.03.
- A. GYP. BD. WALL TO CEILING SEE DETAIL 5/A1.03
- B. 2 HOUR FIRE RATED BARRIER TO DECK SEE DETAIL 6/A1.03 (ALTER EXISTING WALL)
- C. 2 HOUR FIRE RATED BARRIER SHAFT WALL TO DECK SEE DETAIL 7/A1.03 (NEW WALL ADDED)

WALL LEGEND

- INDICATES EXISTING CONSTRUCTION TO BE LEFT UNDISTURBED
- INDICATES NEW CONSTRUCTION
- INDICATES REQUIRED 2 HOUR FIRE RATED BARRIER TO DECK



ISSUED FOR:
 TEST FIT: 6.14.22
 DD SET: 11.14.22
 PERMIT: 12.16.22

INTERIOR IMPROVEMENTS FOR:
PACE ADULT DAY CARE & OFFICES

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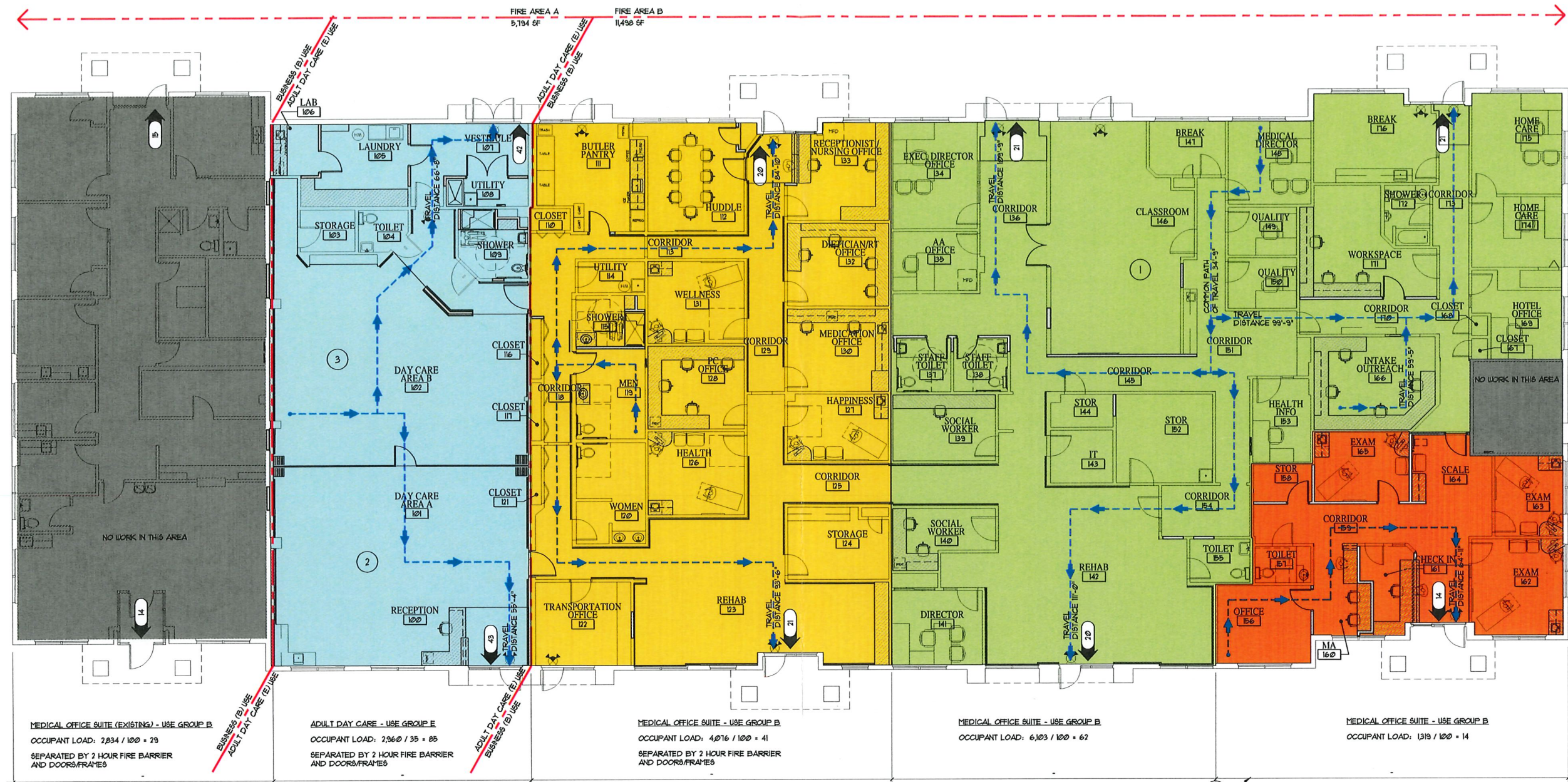
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CONSULTANTS:

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LIFE SAFETY PLAN
 AND CODE NOTES



BUILDING CODE NOTES

PROJECT SUMMARY:
 PROJECT IS A PROPOSED ADULT DAY CARE (ELDERLY CARE) AND MEDICAL OFFICE SPACE LOCATED IN AN EXISTING OFFICE BUILDING. THE DAY CARE CENTER IS A TYPE I FACILITY, PROVIDING CARE FOR 13 OR MORE ADULT CLIENTS AND IS ONLY OPEN DURING DAYTIME HOURS AND IS NOT OVERNIGHT STAY OR AMBULATORY CARE. PACE IS THE TENANT IN A LEASED SPACE IN AN EXISTING SINGLE STORY NON-CONFORMING BUILDING. THE EXISTING BUILDING HAS FRONT AND BACK EXITING AS WELL AS ACCESS ON ALL SIDES FOR PARKING/ACCESS.

NEW 2-HOUR FIRE RATED BARRIERS HAVE BEEN ADDED TO SEPARATE THE ADULT DAY CARE 'E' USE FROM THE ADJACENT MEDICAL OFFICE 'B' USE GROUPS. ADDITIONALLY, THE BUILDING HAS BEEN SUBDIVIDED INTO TWO FIRE AREAS TO REDUCE THE SQUARE FOOTAGE OF EACH FIRE AREA TO BELOW THE ALLOWABLE BUILDING AREA.

EACH EGRESS DOOR IN THE BUSINESS (B) USE SUITES HAS LESS THAN 30 OCCUPANTS EXITING AS SHOWN ON THE LIFE SAFETY PLAN ABOVE.

ALL WORK IS ON THE INTERIOR, EXCEPT NEW WALL DOOR OPENINGS ON THE REAR OF THE BUILDING.

- ALL WORK SHALL BE DONE IN AN APPROVED WORKMANLIKE MANNER AND SHALL BE IN COMPLIANCE WITH GOVERNING CODES AND REGULATORY AGENCIES.
- CONSTRUCTION MANAGER SHALL OBTAIN BUILDING PERMIT, SUBCONTRACTORS SHALL OBTAIN ALL OTHER PERMITS REQUIRED BY AUTHORITY HAVING JURISDICTION.
- REFER TO STRUCTURAL, PLUMBING, MECHANICAL (HVAC) AND ELECTRICAL DOCUMENTS FOR ADDITIONAL CODE REQUIREMENT INFORMATION.

PER THE 2018 KENTUCKY BUILDING CODE:

FIRE AREA A USE GROUP:	SEPARATED MIXED USE, BUSINESS (B) AND ADULT DAY CARE (TYPE I), EDUCATIONAL E
CONSTRUCTION TYPE: REQUIRED SEPARATION OF B & E OCCUPANCY	TYPE V-B 2 HOURS
ALLOWABLE BUILDING HEIGHT:	1 STORY
ALLOWABLE BUILDING AREA: (WITH FRONTAGE INCREASE)	9,000 SF 13,300 SF
ACTUAL BUILDING HEIGHT:	1 STORY
ACTUAL BUILDING AREA:	5,194 SF
AREA OF TENANT LEASE SPACE: (B) USE AREA: (E) USE AREA:	2,834 SF 2,360 SF

FIRE AND SMOKE PROTECTION FEATURES:	BUSINESS (B) TYPE V-B N/A	ADULT DAY CARE (E) TYPE I N/A
REQUIRED SEPARATION OF OCCUPANCY	1 STORY 9,000 SF 14,355 SF	1 STORY 11,498 SF
ACTUAL BUILDING HEIGHT:	1 STORY	1 STORY
ACTUAL BUILDING AREA:	11,498 SF	11,498 SF
FIRE WALLS:	2 HOURS (TABLE 706.4) NONE REQUIRED, NONE PROVIDED	
INTERIOR FINISHES (MIN PER TABLE 803.3):	USE GROUP B	GROUP E
EXIT ENCLOSURE AND EXIT PASSAGE PASSAGEWAYS:	CLASS A	CLASS A
CORRIDORS:	CLASS B	CLASS B
ROOMS AND ENCLOSED SPACES:	CLASS C	CLASS C
INTERIOR FLOOR FINISHES:	SHALL COMPLY WITH DOC FF-1 "FILL TEST" (SECTION 804.4)	

LIFE SAFETY PLAN
 SCALE: 1/8" = 1'-0"

FIRE PROTECTION SYSTEMS:	ADULT DAY CARE (E) 43 EACH REQUIRED	MEDICAL OFFICE (B) 58 EACH REQUIRED
FIRE ALARM REQUIRED, PROVIDE ALARM SYSTEM IN ACCORDANCE WITH IFC REQUIREMENTS FOR MEDICAL OFFICE FACILITY.		
FIRE EXTINGUISHERS SHALL BE SURFACE MOUNTED AND LOCATED AS REQUIRED BY LOCAL FIRE AND BUILDING CODE OFFICIAL, FINAL LOCATION TO BE APPROVED BY AUI.		
EGRESS REQUIREMENTS:		
OCCUPANT LOAD:	11,498 / 100 = 115	2,360 / 35 = 68
USE GROUP B		
USE GROUP E		
TOTAL OCCUPANT LOAD: 200		
COMMON PATH OF EGRESS TRAVEL:	75'	
MAX TRAVEL DISTANCE:	200'	
MINIMUM NUMBER OF EXITS:	(1) FOR OCC. LOAD OF 49 OR LESS (2) FOR OCC. LOAD GREATER THAN 49 2 EXITS PROVIDED	
MINIMUM CORRIDOR WIDTH:	36" FOR OCC. LOAD OF 49 OR LESS 44" FOR OCC. LOAD GREATER THAN 49	
DEAD END CORRIDOR:	20'	
PLUMBING FIXTURE REQUIREMENTS:		
ADULT DAY CARE (E) 43 EACH REQUIRED	PROVIDED	
WATER CLOSETS (MALE)	2	2
WATER CLOSETS (FEMALE)	2	2
LAVATORIES (MALE)	2	2
LAVATORIES (FEMALE)	2	2
DRINKING FOUNTAINS	2	0 (BOTTLE WATER PROVIDED)
SERVICE SINKS	1	1
MEDICAL OFFICE (B) 58 EACH REQUIRED	PROVIDED	
WATER CLOSETS (MALE)	3	3
WATER CLOSETS (FEMALE)	3	3
LAVATORIES (MALE)	3	3
LAVATORIES (FEMALE)	3	3
DRINKING FOUNTAINS	1	0 (BOTTLE WATER PROVIDED)
SERVICE SINKS	1	1

PLAN NOTES

- PROVIDE OCCUPANCY SIGN FOR CLASSROOM. OCCUPANCY TO BE 41 PEOPLE.
- PROVIDE OCCUPANCY SIGN FOR DAYCARE AREA A. OCCUPANCY TO BE 1082 SF / 35 = 31 PEOPLE.
- PROVIDE OCCUPANCY SIGN FOR DAYCARE AREA B. OCCUPANCY TO BE 1038 SF / 35 = 30 PEOPLE.

LIFE SAFETY LEGEND

- FIRE EXTINGUISHER CABINET (FEC)
- EXIT SIGNAGE
- EXIT EGRESS INDICATOR
- 2 HOUR RATED FIRE RATED BARRIER TO DECK UL DESIGN NO. U408

CERTIFICATE OF LAND USE RESTRICTION

- 1. NAME AND ADDRESS OF PROPERTY OWNER(S)
Cooper Holdings LLC
1018 Bayswater Dr
Union, KY 41091

- 2. ADDRESS OF PROPERTY
6823 Dixie Hwy
Florence, KY 41042

- 3. NAME OF SUBDIVISION OR DEVELOPMENT (if applicable)
Whitewater Carwash

- 4. DEED BOOK 1129 PAGE NO. 109 GROUP NO. 2043A

- 5. TYPE OF RESTRICTION(S) (Check all that apply)
 - Zoning Map Amendment: Conditional Use Permit
 - From _____ To _____

 - Development Plan Conditional Zoning

 - Subdivision Plat Other:
 - (Not Recorded)

 - Variance

- 6. NAME AND ADDRESS OF PLANNING COMMISSION, BOARD OF ADJUSTMENT, LEGISLATIVE BODY OR FISCAL COURT WHICH MAINTAINS THE ORIGINAL RECORDS CONTAINING THE RESTRICTION

BOONE COUNTY PLANNING COMMISSION
2950 WASHINGTON STREET, ROOM 317
P.O. BOX 958
BURLINGTON, KENTUCKY 41005


Todd K. Morgan
SIGNATURE OF COMPLETING OFFICIAL

Todd K. Morgan, AICP, Senior Planner
Name and Title of Completing Official

COMMONWEALTH OF KENTUCKY

COUNTY OF BOONE

Subscribed, sworn to, and acknowledged before me by Todd K. Morgan on behalf of the Boone
County Planning Commission this 15th day of March, 2023.



Treva L. Beagle
Notary ID KYNP37603
NOTARY PUBLIC, State at Large

My commission Expires:
November 12, 2025

This instrument was prepared for recording purposes only by:



Nicole Dierna
Boone County Planning Commission
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005

NO TITLE EXAMINATION

(Legal Description and source of Title and Group Number furnished by the applicant.)

CONDITIONS OF APPROVAL

The following Conditions of Approval apply to the Conditional Use Permit approved by the Florence Board of Adjustment and in accordance with the current zoning in effect as of March 9, 2023, Certificate of Land Use Restriction (#23-FBOA-002-A), for Cooper Holdings, LLC, Property Owner(s).

The following conditions will apply:

1. The approval is based on the submitted Concept Plans and pictures, except as modified by the conditions below.
2. The vinyl garage door show on the front façade shall be upgraded to a decorative class garage door. The final determination on the door and amount of glass shall be made by the Zoning Administrator when the Site Plan is submitted for review.
3. All rooftop mechanical equipment shall be screened from public view.
4. The vacuum turbine enclosures and trash dumpster enclosure shall be constructed with masonry materials, which match the building, and solid steel gates.
5. The vacuums and stanchion pipes shall be painted black or a neutral color. The overhead pipe shall be painted black or remain a natural aluminum color.
6. The retaining walls shall be constructed with CMU that matches the building.
7. The permitted architectural, free-standing sign along the Dixie Highway frontage shall be limited to a monument sign that is 8' tall and 32 square feet in area.
8. No height clearance bars shall be permitted in the front yard, but a waist-high traffic control gate shall be permitted.
9. The development shall be limited to a right-in/right-out access point, as permitted by the Kentucky Transportation Cabinet.
10. The following lighting conditions shall apply to the development:
 - A. Wall pack light fixtures shall only be permitted on the parking lot side of the building. Lighting from these fixtures shall be downcast towards the sidewalks and vacuums.
 - B. Light poles and fixtures shall be limited to 15' in height. Light fixtures shall be downcast and oriented towards the sidewalks and vacuums.
 - C. The pay station canopy lighting shall be turned off once the business closes.

11. Buffer Yard B plantings shall be required where the property adjoins 17, 19, and 21 Dortha Avenue.
12. Storm water and detention shall be addressed when the Major Site Plan application is submitted for review. The Planning Commission's Engineer shall closely analyze storm water impacts on Dortha Avenue residents.

The approved Conditional Use Permit as well as the preceding conditions apply to the property described in:

DEED BOOK 1129

PAGE NO. 109

GROUP NO. 2043A