

**BOARD OF ADJUSTMENT  
BOONE COUNTY PLANNING COMMISSION**

**RECEIVED**  
93920  
DEC 22 2025  
BOONE COUNTY  
PLANNING COMMISSION

One (1) scaled copy and one (1) 11 x 17 reduction of submitted drawings are required

Site Plan Review is not granted by the appropriate Board of Adjustment

001

An application consists of all fees paid in full, submitted drawings, and a completed application form

**SECTION A: (To be completed by applicant)**

1. Check One  Boone  Florence  Walton  Union
2. Check One  Conditional Use Permit  Variance  Appeal  
 Change in Non-Conforming Use
3. Applicant: Larry Dziurdzik  
Address: 1955 Raymond Drive, Suite 119  
Northbrook Illinois 60062  
City State Zip Code  
Phone Number: 847-309-6567 Fax Number: N/A  
Email: c\_larrydziurdzik@costco.com
4. Description of Request:  
Allowance to construct parking spaces within the specified 10' parking setback.
5. Name of Development: Costco Wholesale
6. Location of Development: 800 Heights Boulevard  
Florence Kentucky 41042  
City State Zip Code
7. Acreage Under Review: 0.85 Acres
8. Lot Number and Name of Subdivision (if part of a subdivision):  
Lot Number 5, Florence Heights Subdivision
9. Current Owner: Kayleen Burnett (Costco Wholesale Corporation)  
Address: 730 Lake Drive  
Issaquah Washington 98027  
City State Zip Code  
Phone Number: (425) 313-8085 Fax Number: N/A  
Email: kburnet@costco.com

10. Proposed Use(s) on Site: Customer and employee parking area.
11. Total Square Footage of Existing and/or Proposed Buildings: 166,066 SF
12. Current Zoning: C-2/PD/MR/CD
13. 1043 258 2040B  
Deed Book Page Group Number
14. Is the site subject to a zone change:  Yes  No  
If yes, date of approval: \_\_\_\_\_
15. Have you submitted a Site Plan with this request:  Yes  No
16. Have you submitted a list of adjoining property owners with this request:  Yes  No
17. I, or we, understand and agree that this application and drawing(s) are being filed in accordance with the Boone County Zoning Regulations.

Property Owner's Signature:

Kayle Burnett

Applicant's Signature:

Wm D. Smith Agent for Corbin Wholesale

Dated: December 18, 2025

**SECTION B:** (To be completed by Planning Commission staff)

1. Date Received: 12/22/25 Fee Received: 93920 Receipt #: \$966.00

2. Is application complete:

3. Staff Reviewer: Stu Gelp

4. Scheduled Board Action Date: 1-14-26

5. Board Action: 1-14-26

- Approved
- Approved with Conditions (see #6)
- Denial (See #7)

6. Conditions of Approval: That shrubs be planted within the remaining space between the proposed parking and the existing wall.

7. Reasons for Denial: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Boone County Planning Commission  
Boone County Administration Building  
2950 Washington Street, Room 317  
P.O. Box 958  
Burlington, Kentucky 41005  
Phone: 859-334-2196  
[plancom@boonecountyky.org](mailto:plancom@boonecountyky.org)  
[www.boonecountyky.org](http://www.boonecountyky.org)

## STAFF REPORT

#1

APPLICANT: Lawrence Dziurdzik (Costco Representative) on behalf of Costco Wholesale (Owner)

LOCATION: 800 Heights Boulevard, Florence, Kentucky

ZONING: Commercial-Two/Planned Development/Mall Road (C-2/PD/MR)

DATE: January 14, 2026

### PROPOSAL

- A. The applicant is requesting a Variance of Section 3620 reducing the landscape Buffer Yard "A" from ten (10) foot wide down to approximately six (6) feet in width along the I-75 ramp to allow for the construction of additional parking.

### SITE HISTORY

- 2012 The Mall Road District Study was adopted by the City of Florence on March 13, 2012, establishing the existing C-2/PD/MR Zoning District for the site.
- 2014 The Boone County Planning Commission approved a Major Site Plan on September 18, 2014, for a new commercial building, parking, and fuel center.
- The Boone County Planning Commission approved a Final Plat on September 22, 2014, creating the lot and a right-of-way parcel for a future Interstate ramp.
- 2015 The Boone County Planning Commission approved a Minor Site Plan on April 27, 2015, for an addition to the fuel canopy.
- 2021 The Boone County Planning Commission approved Minor Site Plans for a trash compactor and ADA improvements to the site.

### APPLICABLE REGULATIONS

- A. Section 202.C of the Boone County Zoning Regulations states that one of the duties of the Board of Adjustment is to hear and decide on applications for variances.
- B. Section 4000 of the Boone County Zoning Regulations defines a variance as a departure from dimensional terms of the zoning regulation pertaining to the height, width, or location of structures, and the size of yards and open spaces where such departure meets the requirements of KRS 100.241 to 100.247.
- C. The Board should evaluate the request as it relates to the criteria necessary for granting a Variance as stated in Section 204.D and 204.E of the Boone County Zoning Regulations.

1. Findings listed in Section 204.D and 204.E:
  - a. Before any variance is granted, the Board must find that the granting of the variance will not adversely affect the public health, safety or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations. In making these findings, the board shall consider whether:
    - (1) The requested variance arises from special circumstances which do not generally apply to land in the general vicinity, or in the same zone;
    - (2) The strict application of the provisions of the regulations would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant;
    - (3) The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.
  - b. The Board shall deny any request for a variance arising from circumstances that are the result of willful violations of the zoning regulation by the applicant subsequent to the adoption of the zoning regulation from which relief is sought.
- D. Section 2604.A. of the Boone County Zoning Regulations states that Development proposals in the Mall Road (MR) Overlay District shall follow the standards outlined in this section. These standards may be adjusted by the Zoning Administrator if necessary to better meet the recommendations discussed in the other chapters of this document. Additionally, variances may be requested for the dimensional standards outlined in this chapter per the Board of Adjustment procedures that are outlined in ARTICLE 2 of the Boone County Zoning Regulations. For topics not addressed in this section, the standards set forth in the Boone County Zoning Regulations shall be followed.
- E. Section 2604.K.1. of the Boone County Zoning Regulations states that landscaping shall be provided in accordance with SECTION 3605 "Landscape Review Procedure" of the zoning regulations. Several alternate requirements or options to the normal ARTICLE 36 requirements are stated in this document. Compliance with these requirements or options shall be deemed to be in compliance with the stated sections from ARTICLE 36. Other provisions specific to the Mall Road (MR) Overlay District include:
  - a. Street Trees: The installation of street trees is recommended or specified in several instances in this document, including along public streets and private drives or shared private development streets/driveways which function as "streets." In such instances, the trees selected shall be limbed and matched along each specific street or lot frontage where they are installed. The trees selected shall be regularly placed with an average spacing of thirty-five (35) feet

to forty (40) feet on center. Acceptable street trees include: Elm (American or Patriot), Autumn Gold Ginkgo (male), Honeylocust, Littleleaf Linden, London Planetree, Maple (Autumn Blaze or Red), and Japanese Zelkova. Where space does not permit these trees, smaller trees including Akebono Yoshino Cherry, Canada Red Chokecherry, Crabapple, Kousa Dogwood, Ivory Silk Japanese Tree Lilac, or other smaller trees with comparable characteristics may be substituted. The smaller trees shall be regularly placed with an average spacing of 25 feet to 30 feet on center. The minimum installation size for street trees shall be 2 inch caliper.

- F. Section 3620 of the Boone County Zoning Regulations states that when a use adjoins a street, regardless of whether it is public or private, landscaping shall be required from Buffer Yard A (See Table 36-2). This landscaping is not required to be placed in a linear design, but shall be required to be dispersed throughout the street frontage and not clustered entirely at the ends of the property. This landscaping will provide screening for vehicular use areas, while also allowing flexibility for uses which require high visibility from street frontages. The required shrubs from Plant List C and E can be reduced by fifty percent (50%) if the buffer yard width is increased from 10 feet to twenty (20) feet and can be eliminated if the buffer yard area is increased to thirty (30) feet. However, in all cases the trees required from Plant List A, B, C, or D shall still be required.

#### SURROUNDING LAND USES AND ZONING

North: ULH&P Site and the Florence Mall (C-2/PD/MR)  
South: Menard's and Dave & Buster's (C-2/PD/MR)  
East: Various Commercial properties (C-2/PD/PO), (C-3/PD/PO), & (O-2/PD/PO)  
West: Crossroad Community Church (C-2/PD/MR)

#### SITE CHARACTERISTICS

- A. The approximate 17-acre property is located on the north side of Heights Boulevard and is bounded by the interstate ramp along the north and east sides of the property.
- B. The site has approximately one thousand (1,000) feet of frontage along Heights Boulevard.
- C. The site has been developed for a Costco commercial building, parking, and fuel center.
- D. Access to the site is proposed from two curb cuts on Heights Boulevard.
- E. Topographically, the site has been graded for the development with a steeper slope in the north along the interstate ramp.

#### CITY OF FLORENCE COMMENTS

- A. The City of Florence does not have an issue with the landscaping buffer being reduced from 10' to 6' along the I-71/75 Interstate ramp. However, the application materials did not include a landscaping plan. We recommend a condition be imposed which requires

the subject area be landscaped with some combination of columnar trees and shrubbery.

STAFF COMMENTS

- A. The applicant has provided a narrative that provides some history of the site, general site operations, and potential findings related to the request.
- B. The original site plan showed parking in the proposed location. The parking was not constructed due to the interstate ramp proposal.
- C. The interstate ramp is at a much higher elevation, and the proposed parking will be near the base of the ramp wall.
- D. Staff believes that additional parking is a necessity for the site.
- E. Staff does not believe the request will alter the essential character of the general vicinity, nor is an unreasonable circumvention of the requirements of the zoning regulations. The request is due to the construction of the interstate ramp wall and not as the result of actions of the applicant.

CONCLUSION

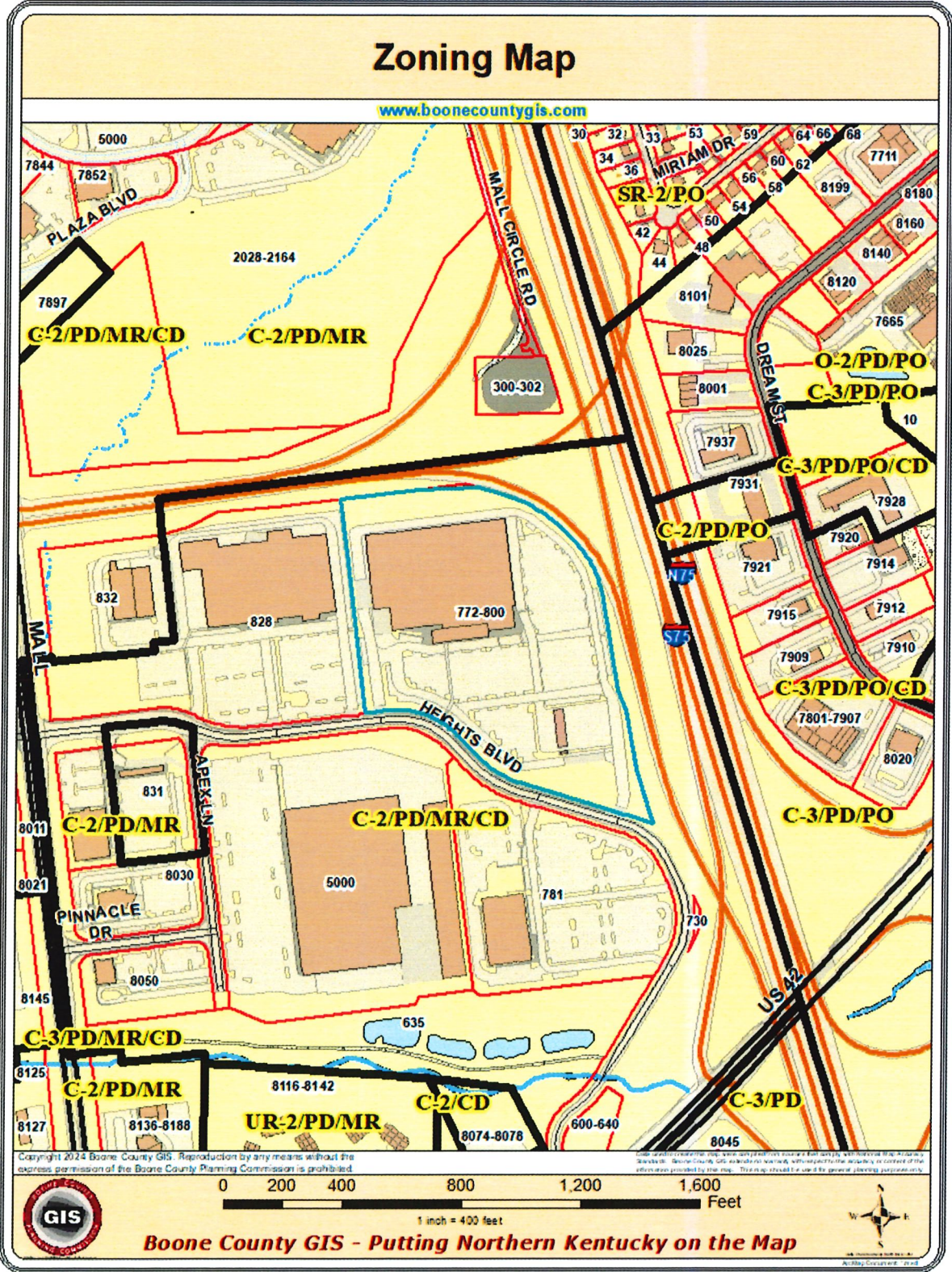
- A. KRS 100.241 and Section 202 of the Boone County Zoning Regulations give the Union Board of Adjustment and Zoning Appeals the authority to act on the request.
- B. Sections 204.D and 204.E of the Boone County Zoning Regulations identifies criteria necessary for granting a Variance.

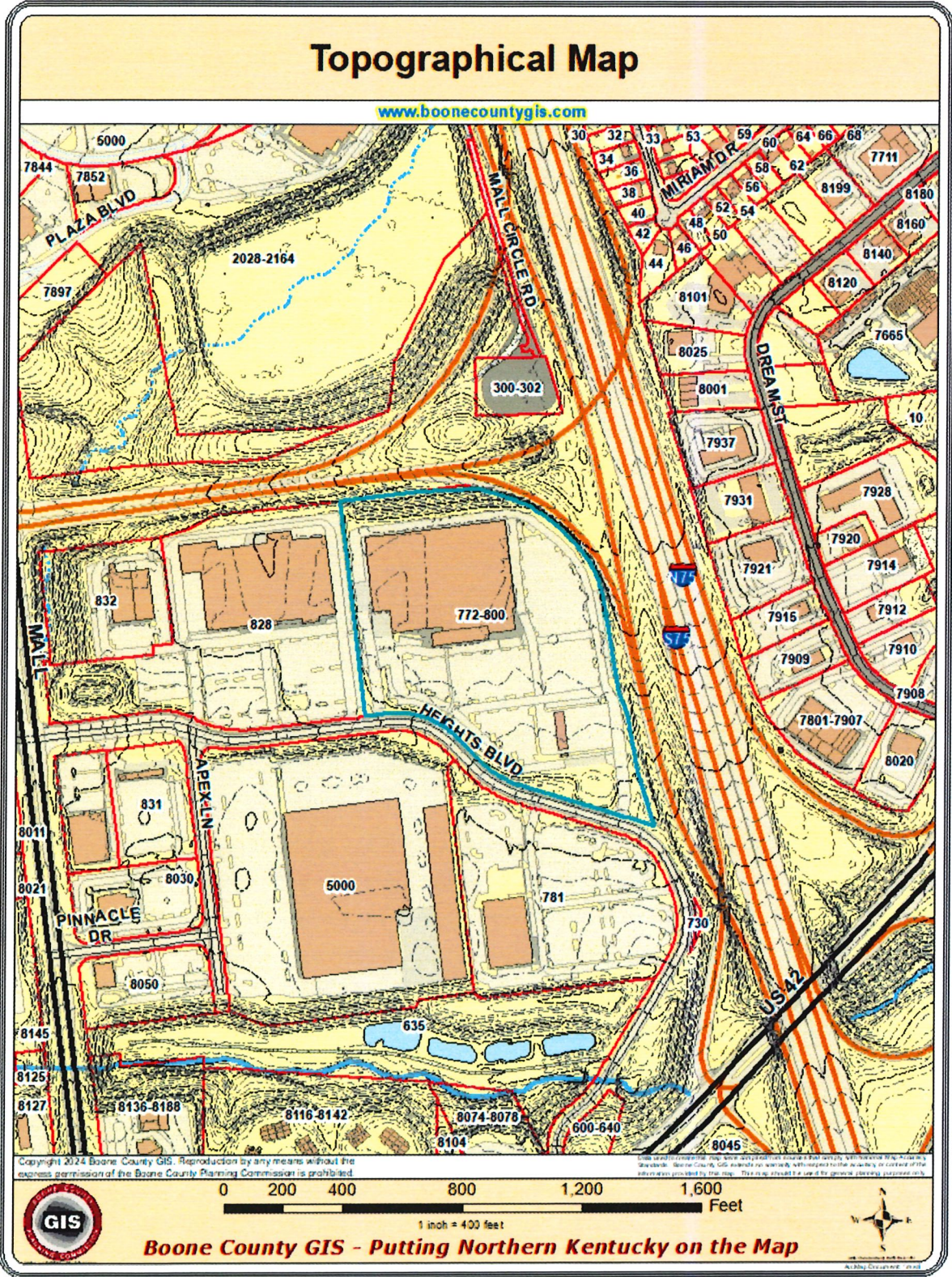
Respectfully submitted,

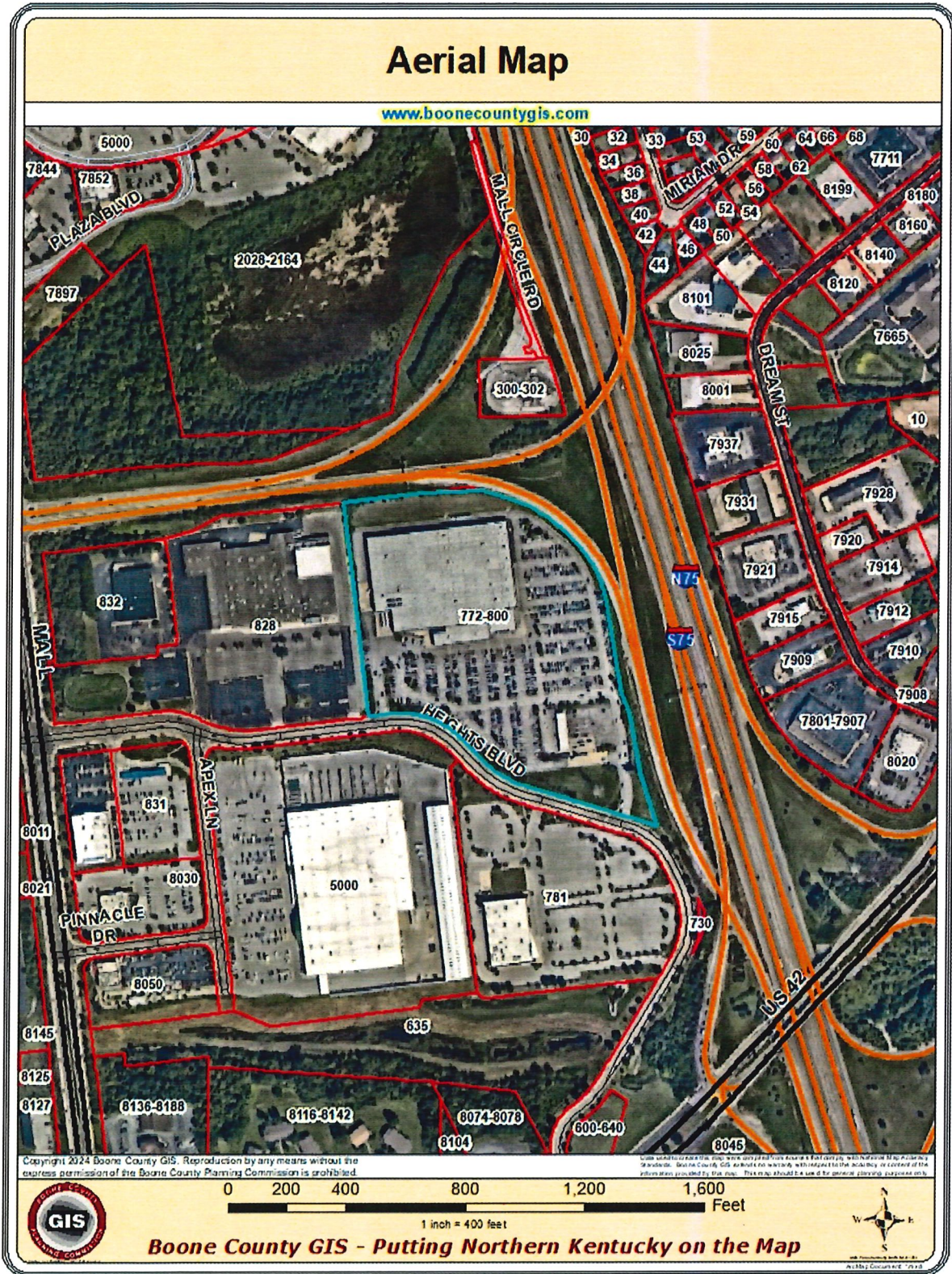


Steven C. Lilly, PLS  
Planner, Zoning Services

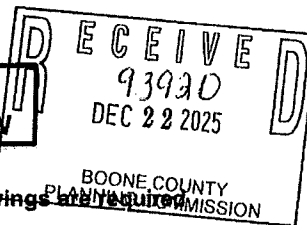








**BOARD OF ADJUSTMENT  
BOONE COUNTY PLANNING COMMISSION**



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Address: 1955 Raymond Drive, Suite 119  
Northbrook Illinois 60062  
City State Zip Code  
Phone Number: 847-309-6567 Fax Number: N/A  
Email: c\_larrydziurdzik@costco.com
4. Description of Request:  
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5. Name of Development: Costco Wholesale
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City State Zip Code
7. Acreage Under Review: 0.85 Acres
8. Lot Number and Name of Subdivision (if part of a subdivision):  
Lot Number 5, Florence Heights Subdivision
9. Current Owner: Kayleen Burnett (Costco Wholesale Corporation)  
Address: 730 Lake Drive  
Issaquah Washington 98027  
City State Zip Code  
Phone Number: (425) 313-8085 Fax Number: N/A  
Email: kburnet@costco.com

Board of Adjustment  
Page 2

10. Proposed Use(s) on Site: Customer and employee parking area.
11. Total Square Footage of Existing and/or Proposed Buildings: 166,066 SF
12. Current Zoning: C-2/PD/MR/CD
13. 

Deed Book	Page	Group Number
<u>1043</u>	<u>258</u>	<u>2040B</u>
14. Is the site subject to a zone change:  Yes  No  
If yes, date of approval: \_\_\_\_\_
15. Have you submitted a Site Plan with this request:  Yes  No
16. Have you submitted a list of adjoining property owners with this request:  Yes  No
17. I, or we, understand and agree that this application and drawing(s) are being filed in accordance with the Boone County Zoning Regulations.

Property Owner's Signature:

Kayle Burnett

Applicant's Signature:

Wendy D. Smith Agent for Costco Wholesale

Dated: December 18, 2025



December 22, 2025

Boone County Planning Commission  
Boone County Administration Building  
2950 Washington Street  
Burlington, KY 41005  
859-334-2265

**RE: Costco Wholesale Corporation-Request for Board of Adjustment  
for Parking Setback**

Dear Boone County Planning Commission,

On behalf of Costco Wholesale, please find attached a Board of Adjustment application and supporting documents in support of our request to construct parking within the required 10' landscape and parking setback.

1. Board of Adjustment Application
2. Costco Wholesale Special Warranty Deed dated 2014.
3. Deed of Conveyance to KYTC by Costco Wholesale, dated September 21, 2025.
4. Originally approved Site Layout Plan for the property dated 6/29/2015 as prepared by CEC Engineers.
5. Engineering Plans for permit as prepared by CEC, dated 11/20/2025.
6. Application fees

**Introduction and Variance Request**

Costco at Florence has been in operation for approximately 11 years, opening in 2015. The site and engineering permit plans that were approved in 2014 included a 10.5' parking setback along the east and northeast boundary lines. Prior to Costco beginning site construction, Kentucky Transportation Cabinet (KYTC) presented plans to Costco that included a wall and ramp design to southbound 71/75. In order for KYTC to construct the ramp, additional property was required from Costco including a construction easement. The new boundary that was agreed on between Costco and KYTC reduced the 10.5' parking setback. Costco did not move forward with installing approximately 33 parking spaces due to KYTC's construction activities and the demand for additional parking was not warranted until now.

Costco's operational and real estate teams evaluated this property for parking availability, member and employee safety and has concluded the following:

- Average member trip shopping durations are longer, resulting in less turnover frequency as compared to many big box retailers.
- Parking demand varies seasonally with peak months occurring in May, August, October, November, December, and early January. Parking demand is high on most weekends at this store's location.
- It has been observed that during peak hours throughout the weekend and holidays, parking demand is approaching 75%-80% capacity. At this percentage, the parking supply is limited and the length of time to find an available space increases, thereby creating unnecessary traffic conflicts.
- The number of employees working at this warehouse location has increased over the last 5 years to keep up with sales and membership demands.
- Parking can be increased on this property by utilizing perimeter areas and request a variance where parking is contiguous to KYTC ROW to allow a reduction in parking setbacks.

Costco desires to increase parking for members and employees throughout the property by adding parking spaces where feasible. The current parking for the property is 612 spaces. With the approval of the parking setback variance, 98 spaces will be constructed bringing the total parking to 710 spaces. The additional parking will create better traffic flow throughout the property, accommodate parking demand during peak hours, and promote safer driving conditions.

#### **Section 204 Variances-Finding of Fact**

*Before any variance is granted, the Board must find that the granting of the variance will not adversely affect the public health, safety or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations. In making these findings, the board shall consider whether:*

1. The requested variance arises from special circumstances which do not generally apply to land in the general vicinity, or in the same district.

**Response:** The requested variance is unique and only applies to Costco's property. A boundary line adjustment to benefit the State and general public was

requested by the Kentucky Transportation Cabinet and Costco Wholesale Corporation subsequently agreed to, resulting in a non-conforming setback for parking. The requested variance will not adversely impact nearby land uses, zoning, or alter the essential character of the vicinity.

2. The strict application of the provisions of the regulations would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant.

**Response:** A 10' parking setback will not be possible as the Costco boundary line was adjusted to accommodate KYTC's ramp design. The proposed setback varies from 6.4' to 8.3' in width. Parking can be constructed at the proposed area in a safe manner and would be a reasonable use of the land at this location. The proposed parking would continue the existing parking at the perimeter of the property at this location. An unnecessary hardship would be created if the 10' setback was enforced as the interior drive aisles, parking and location of the building cannot be altered or changed in any way.

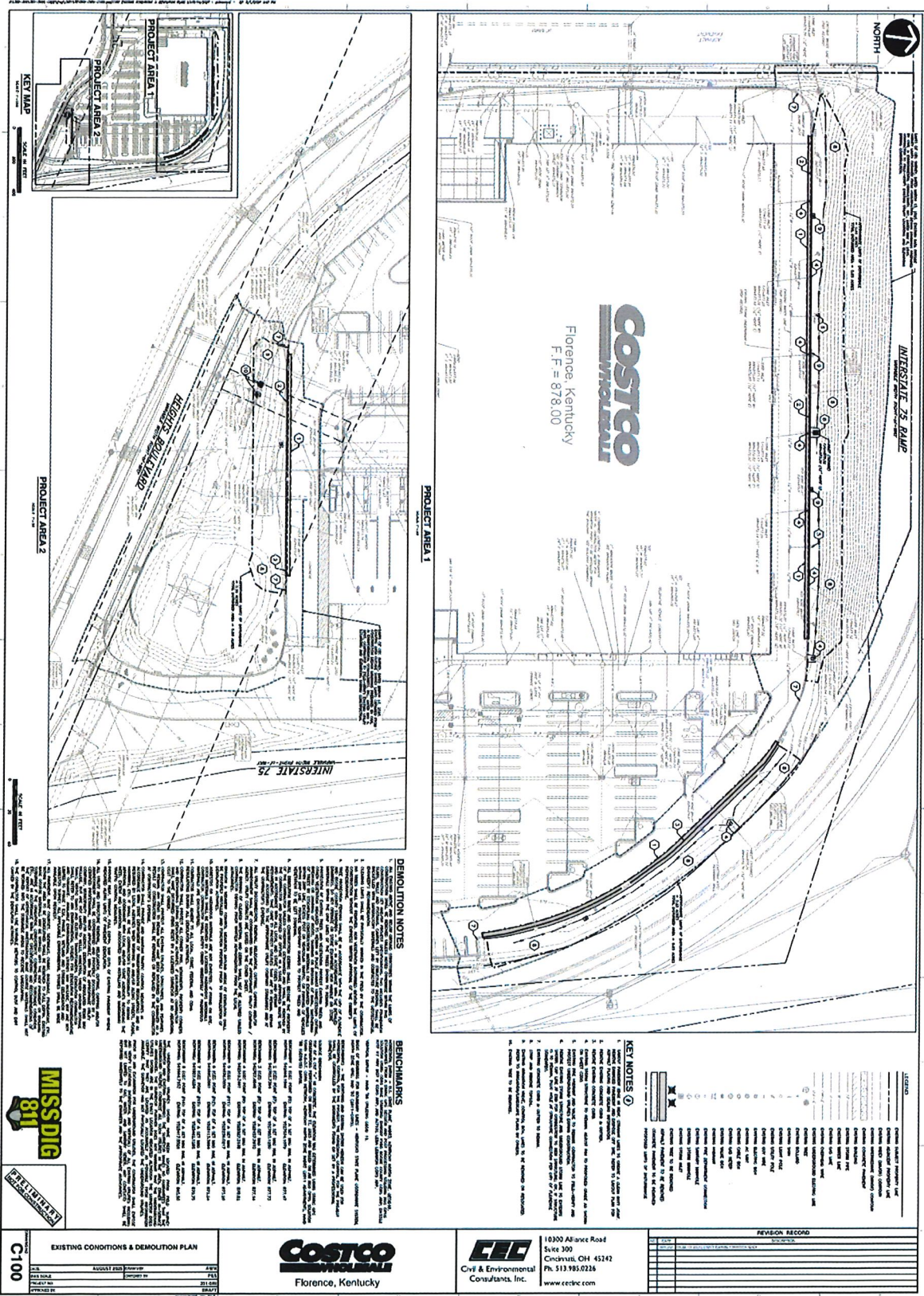
3. The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulations from which relief is sought.

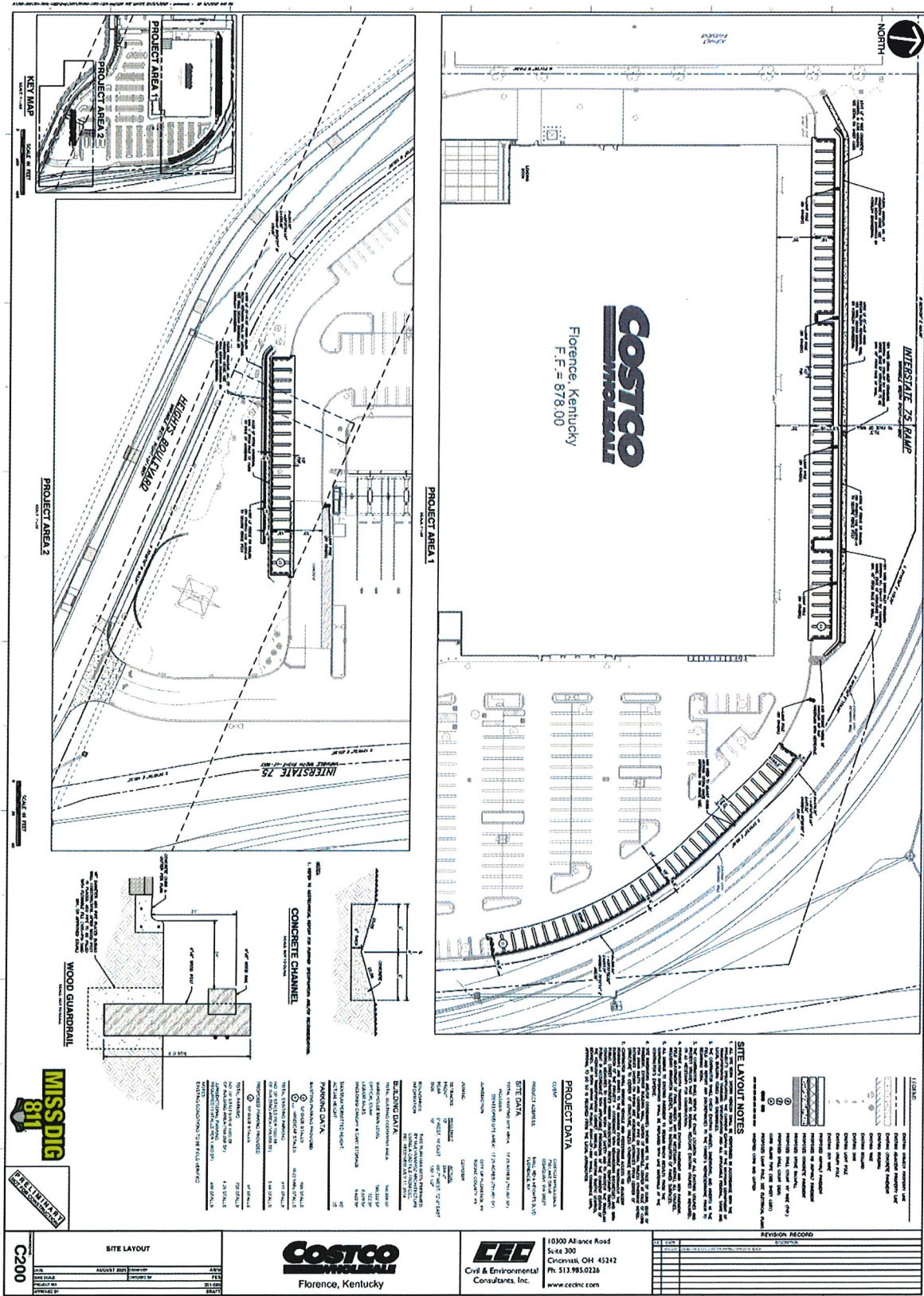
**Response:** The parking setback requirement was required at the time Costco submitted permit plans for approval. Following approval, the Costco property boundary was adjusted to accommodate KYTC's ramp. The conveyance of land to KYTC occurred after the permit plans were approved, thereby making referenced plans non-conforming.

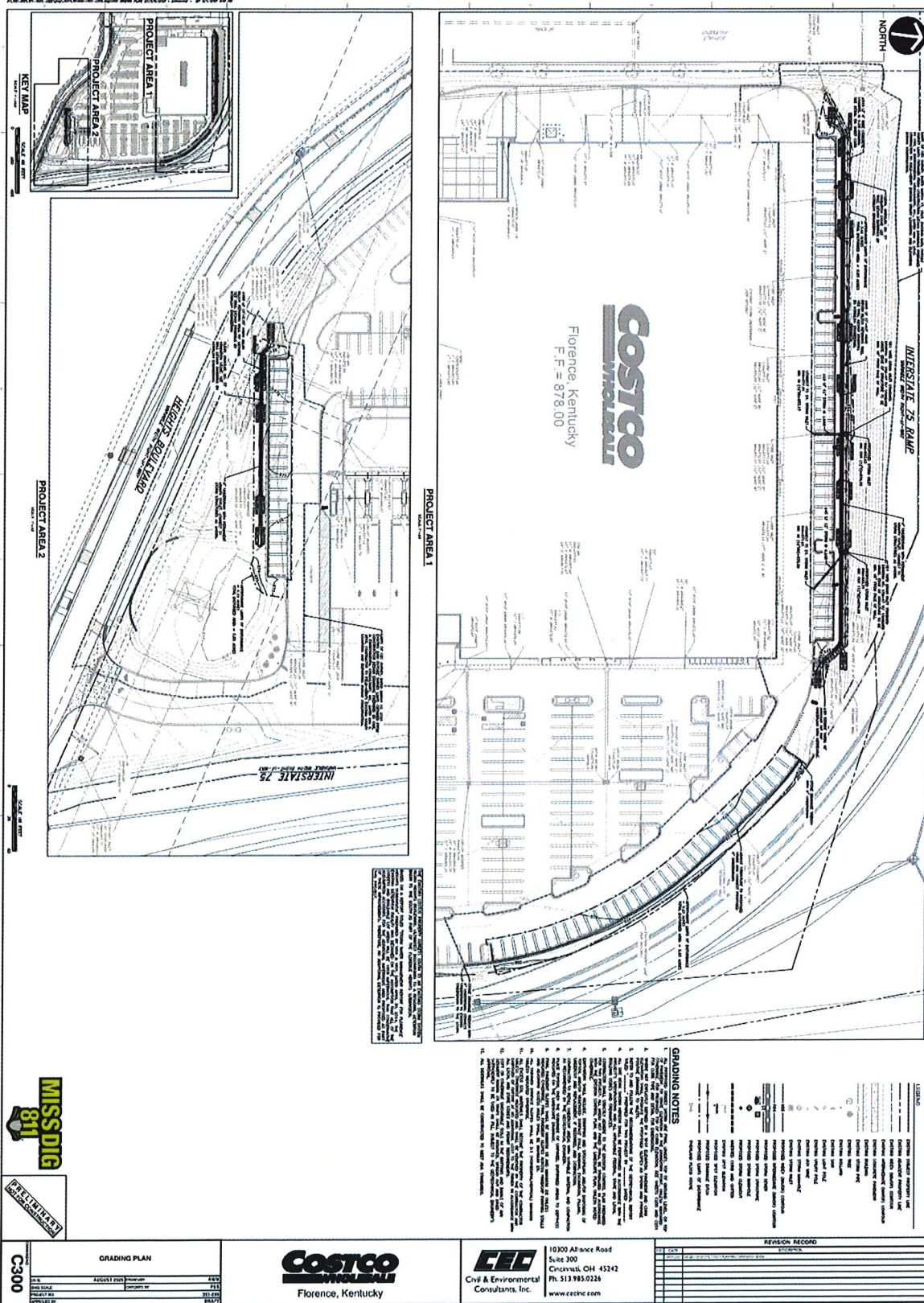
Costco's design team has coordinated the proposed parking design with KYTC District 6 Traffic and Permits Engineer and submitted a permit application which is currently being reviewed. We expect to receive approvals from KYTC in January.

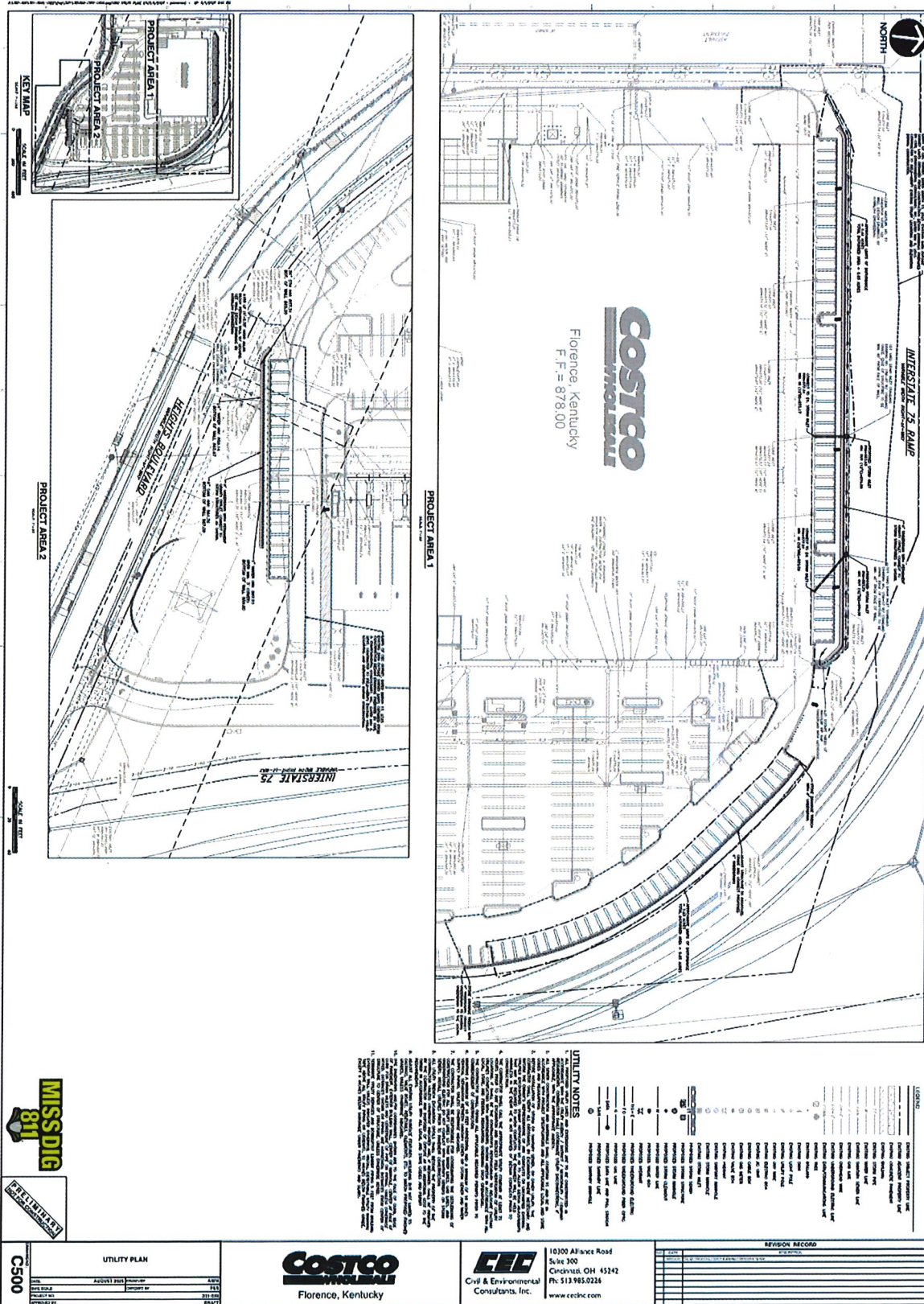
Costco continues to provide the best quality shopping and services to its members at this Costco location. The proposed parking will provide for the needs of Costco today, while continuing to provide the convenience and services that Costco members and employees look for and expect.

We understand that we will appear before the Board of Adjustments on January 14<sup>th</sup>, 2026, to discuss our variance request and we look forward to continuing working with you and your staff on our proposed property improvements. If you have any questions or require additional information prior to the meeting, please do not hesitate to contact me directly at 224-269-4290.









**COSTCO**  
 WHOLESALE  
 Florence, Kentucky  
 F.I.F. = 878,000



UTILITY PLAN			
DATE	APPROVED	DATE	BY
DATE	APPROVED	DATE	BY
DATE	APPROVED	DATE	BY



**CEE**  
 Civil & Environmental  
 Consultants, Inc.  
 10100 Alliance Road  
 Suite 300  
 Cincinnati, OH 45242  
 Ph: 513.985.0224  
 www.ceeinc.com

UTILITY NOTES

1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
2. UTILITIES NOT SHOWN ARE THE RESPONSIBILITY OF THE USER.
3. ALL UTILITIES SHALL BE DELETED AND REINSTALLED AS SHOWN ON THIS PLAN.
4. ALL UTILITIES SHALL BE DELETED AND REINSTALLED AS SHOWN ON THIS PLAN.
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10. ALL UTILITIES SHALL BE DELETED AND REINSTALLED AS SHOWN ON THIS PLAN.

REVISION RECORD	
NO.	DESCRIPTION

**PROJECT DATA**

CLIENT: COSTCO WHOLESALE  
730 LAKE DRIVE  
ISSAQUAH, WA 98027

PROJECT ADDRESS: MALL RD & HEIGHTS BLVD.  
FLORENCE, KY

SITE DATA:

TOTAL EXISTING SITE AREA: 17.20 ACRES (749,232 SF)  
INCLUDES:  
DEVELOPED SITE AREA: 17.20 ACRES (749,232 SF)

JURISDICTION: CITY OF FLORENCE, KY  
BOONE COUNTY, KY

ZONING: C2/PD/MR/CD

SETBACKS: **REQUIRED**    **ACTUAL**

FRONT 10'    264'-2"

REAR 5' WEST, 10' EAST    65'-7" WEST, 72'-6" EAST

SIDE 10'    130'-1 1/2"

BOUNDARIES INFORMATION: THIS PLAN HAS BEEN PREPARED BY MULVANNY G2 ARCHITECTURE USING A CAD FILE FROM CEC, INC. RECEIVED JULY 11, 2014

**BUILDING DATA:**

TOTAL BUILDING FOOTPRINT AREA: 166,066 SF

WAREHOUSE MAIN LEVEL 150,322 SF

OPTICAL EXAM 522 SF

LIDIOR SALES 8,570 SF

ENCLOSED CANOPY & CART STORAGE 6,822 SF

MAXIMUM PERMITTED HEIGHT: 80'  
ACTUAL HEIGHT: 35'

**PARKING DATA:**

EXISTING PARKING PROVIDED:

ⓐ 10' WIDE STALLS 595 STALLS

ⓑ ADA HANDICAP STALLS 16 (3 VAN) STALLS

TOTAL EXISTING PARKING: 611 STALLS

NO. OF STALLS PER 1000 SF OF BUILDING AREA (166,066 SF): 3.68 STALLS

PROPOSED PARKING PROVIDED:

ⓐ 10' WIDE STALLS 96 STALLS

TOTAL PARKING: 707 STALLS

NO. OF STALLS PER 1000 SF OF BUILDING AREA (166,066 SF): 4.26 STALLS

JURISDICTIONAL PARKING REQUIRED (3 STALLS PER 1,000 SF): 498 STALLS

NOTES:  
EXISTING CONDITIONS TO BE FIELD VERIFIED.

**BENCHMARKS**

HORIZONTAL DATUM - U.S. STATE PLANE, NAD83, KENTUCKY NORTH ZONE, GEOID18, ESTABLISHED FROM A STATIC GPS SESSION AND POST PROCESSING UTILIZING NGS OPUS SOLUTION USING CORS BASE STATIONS: DHR007 WYBO BOONE COUNTY CORS AND: DK3322 KYTP KY HWY DOT & CORS AND: A71192 LEBANON CORS ARP.

VERTICAL DATUM - NAVD '88 UTILIZING GEOID 18.

BASE OF BEARINGS FOR BOUNDARY LINES - KENTUCKY STATE PLANE COORDINATE SYSTEM, NORTH ZONE GRID, NAD '83 (2011-CORS).

BENCHMARKS - THE NORTHING AND EASTING SHOWN HEREON CAN BE USED FOR HORIZONTAL CONTROL FOR THE PROJECT. THE HORIZONTAL CONTROL FOR THE PROJECT SHALL BE CONTROLLED BY THE MONUMENTS FOUND OR SET BY A PROFESSIONAL SURVEYOR.

SOURCE BENCHMARK  
TOP OF A CUT "1" IN CONCRETE. THE ELEVATION WAS DETERMINED USING STATIC GPS OBSERVATIONS PERFORMED ON MARCH 13, 2023 AND BASED ON AN NGS OPUS SOLUTION USING K2.011 CORS NETWORK, KENTUCKY NORTH ZONE, NAD83 (2011 ADJUSTMENT), NAVD '88 (GEOID18) DATUM.

BENCHMARK 1 (CEC POINT #5): TOP OF A SET MAG NAIL IN ASPHALT.  
NORTHING: 542658.1846    EASTING: 1527534.1079    ELEVATION: 877.47

BENCHMARK 2 (CEC POINT #7): TOP OF A SET MAG NAIL IN ASPHALT.  
NORTHING: 542705.7364    EASTING: 1527803.1250    ELEVATION: 877.73

BENCHMARK 3 (CEC POINT #8): TOP OF A SET MAG NAIL IN ASPHALT.  
NORTHING: 542707.4548    EASTING: 1528157.7870    ELEVATION: 877.14

BENCHMARK 4 (CEC POINT #9): TOP OF A SET MAG NAIL IN ASPHALT.  
NORTHING: 542519.3461    EASTING: 1528327.3136    ELEVATION: 878.52

BENCHMARK 5 (CEC POINT #11): TOP OF A SET MAG NAIL IN ASPHALT.  
NORTHING: 541876.6039    EASTING: 1528236.0217    ELEVATION: 873.20

BENCHMARK 6 (CEC POINT #12): TOP OF A SET MAG NAIL IN ASPHALT.  
NORTHING: 541890.0061    EASTING: 1528113.3604    ELEVATION: 872.24

BENCHMARK 7 (CEC POINT #13): TOP OF A SET MAG NAIL IN ASPHALT.  
NORTHING: 541857.4204    EASTING: 1528452.1205    ELEVATION: 870.75

BENCHMARK 8 (CEC POINT #14): TOP OF A SET MAG NAIL IN ASPHALT.  
NORTHING: 541864.7153    EASTING: 1528477.8536    ELEVATION: 865.60

**REFERENCE:**

1. EXISTING INFORMATION IS BASED ON A FIELD SURVEY PERFORMED BY CEC & ENVIRONMENTAL CONSULTANTS, INC. (CEC) IN MARCH OF 2023. OTHER EXISTING INFORMATION DEPICTED ON THE PLANS IS PER RECORD DRAWINGS CREATED BY CEC, TITLED "CONSTRUCTION DRAWINGS COSTCO WHOLESALE DEVELOPMENT", DATED MAY 8, 2015. REFER TO SURVEY BOUNDARY LINE ON THE PLAN.

**FLOOD NOTE:**

THE PARCEL DESCRIBED AND SHOWN HEREIN LIES WITHIN ZONE "X" (UN-SHADED) AS SAID PARCEL PLOTS ON MAP NUMBER 21015C02100 (DATED MARCH 21, 2023) OF THE FLOOD INSURANCE RATE MAPS FOR CITY OF FLORENCE, BOONE COUNTY, KENTUCKY. THE ACCURACY OF THIS FLOOD HAZARD STATEMENT IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP.

**UTILITY NOTE:**

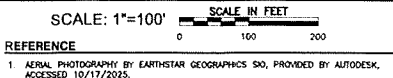
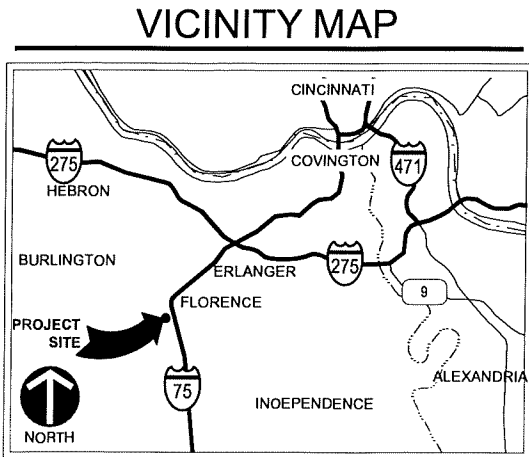
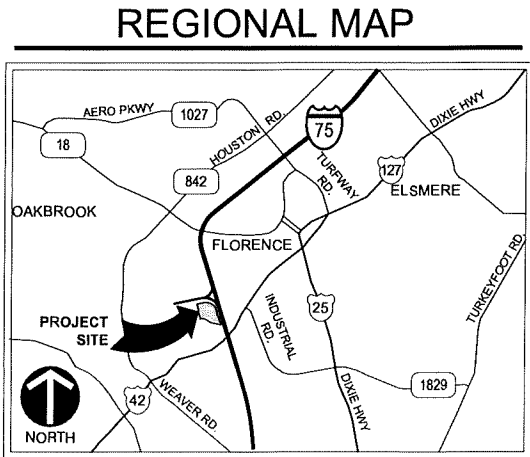
THE UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY A THIRD PARTY, VIA A SURVEY, GIS OR OTHER, PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES. CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, STORM SEWER AND SANITARY SEWER. ANY CONFLICTS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND THE APPROPRIATE AUTHORITIES.

# CONSTRUCTION DRAWINGS

## COSTCO WAREHOUSE PARKING LOT EXPANSION

### 800 HEIGHTS BOULEVARD

### CITY OF FLORENCE, KENTUCKY 41042



DRAWING INDEX	
Sheet Number	Sheet Title
C000	COVER SHEET
C100	EXISTING CONDITIONS & DEMOLITION PLAN
C200	SITE LAYOUT
C300	GRADING PLAN
C301	PAVEMENT AT KYTC WALL WITH ASBUILT SURVEY
C302	EROSION & SEDIMENT CONTROL PLAN
C303	EROSION & SEDIMENT CONTROL NOTES & DETAILS
C400	STORM SEWER PLAN & PROFILES
C401	STORM SEWER CALCULATIONS AND DETAILS
C500	UTILITY PLAN
C800	SITE DETAILS

**PROJECT CONTACTS:**

**PLANNING & ZONING:**  
BOONE COUNTY  
**PLANNING COMMISSION**  
2950 WASHINGTON ST, P.O. BOX 958  
BURLINGTON, KENTUCKY 41005  
CONTACT: LAUREN ELLIOTT, PLANNER  
PH: (859) 334-2196  
PLANCOM@BOONECOUNTYKY.ORG

**FIRE MARSHAL:**  
CITY OF FLORENCE FIRE/EMS DEPARTMENT  
8101 DREAM ST  
FLORENCE, KENTUCKY 41042  
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PH: (859) 647-5660  
RDNEY.WREN@FLORENCE-KY.GOV

**WATER SERVICE:**  
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PH: (859) 629-4833  
EGER.JEFF@GMAIL.COM

**STORM SEWER SERVICE:**  
CITY OF FLORENCE PUBLIC SERVICES  
DEPARTMENT (SANITARY & STORM SEWER SYSTEM)  
8100 EWING BOULEVARD  
FLORENCE, KENTUCKY 41042  
CONTACT: LESTER LAUDERMAN, LEAO OPERATOR  
PH: (859) 371-5491

**ELECTRIC SERVICE:**  
DUKE ENERGY KENTUCKY, INC.  
2010 DANA AVE  
CINCINNATI, OHIO 45207  
CONTACT: GORDON THOMPSON  
PH: (513) 458-3804

**OVERHEAD ELECTRIC LINES:**  
OHIO VALLEY ELECTRIC COMPANY  
3932 U.S. ROUTE 23  
PIKETON, OHIO 45661  
CONTACT: PHIL MCCORD  
PH: (740) 645-7237

**GAS SERVICE:**  
DUKE ENERGY KENTUCKY, INC.  
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**TELEPHONE SERVICE:**  
ALTA FIBER  
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FLORENCE, KENTUCKY 41042  
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DAVID.COX@ALTA.FIBER.COM

**SANITARY SERVICE:**  
CITY OF FLORENCE PUBLIC SERVICES  
DEPARTMENT (SANITARY & STORM SEWER SYSTEM)  
8100 EWING BOULEVARD  
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CONTACT: LESTER LAUDERMAN, LEAO OPERATOR  
PH: (859) 371-5491

**STATE & FEDERAL HIGHWAYS:**  
KENTUCKY TRANSPORTATION CABINET,  
DISTRICT 6  
421 BUTTERMILK PIKE  
COVINGTON, KENTUCKY 41017  
CONTACT: LINZY BREFELD  
PH: (859) 341-2700  
LINZY.BREFELD@KY.GOV

**OWNER**  
COSTCO WHOLESALE  
730 LAKE DRIVE  
ISSAQUAH, WASHINGTON 98027  
CONTACT: EO NAVARRO  
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(425) 313-6770 (fax)

**ENGINEER**  
CIVIL & ENVIRONMENTAL  
CONSULTANTS, INC.  
10300 ALLIANCE ROAD, SUITE 300  
CINCINNATI, OHIO 45242  
CONTACT: BRYAN BENDER, P.E.  
(513) 985-0226  
(513) 985-0228 (fax)

**ARCHITECT**  
MG2 CORPORATION  
1101 SECONO AVENUE, SUITE 100  
SEATTLE, WASHINGTON 98101  
CONTACT: ROJ LAPEYRE  
(206) 962-6500

**ELECTRICAL ENGINEER**  
T.E., INC.  
830 N. RIVERSIDE DRIVE, SUITE 200  
RENTON, WASHINGTON 98057  
CONTACT: JOEL MORTENSON  
(425) 970-3753

**LANDSCAPE/IRRIGATION**  
KIMLEY-HORN  
570 LAKE COOK ROAD, SUITE 200  
DEERFIELD, ILLINOIS 60015  
CONTACT: AMANDA McABEE, PLA  
(847) 260-7804

**STRUCTURAL WALL DESIGN**  
KOWALSKI ENGINEERING  
3710 SECTION ROAD  
CINCINNATI, OHIO 45236  
CONTACT: JOE KOWALSKI  
(513) 403-5657

NOTE: THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND SHALL CONTACT THE KENTUCKY UTILITIES PROTECTION SERVICE A MINIMUM OF TWO (2), BUT NO MORE THAN TEN (10) WORKING DAYS PRIOR TO DIGGING AT TELEPHONE NO. 1-800-752-6007. NO EXCAVATION SHALL COMMENCE UNTIL ALL APPLICABLE UTILITIES HAVE BEEN CLEARED. NON-MEMBER UTILITIES MUST BE CONTACTED DIRECTLY.

NOTE: PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, AND SANITARY SEWER. ANY CONFLICTS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND THE APPROPRIATE AUTHORITIES.



NO.	DATE	REVISION RECORD	DESCRIPTION

10300 Alliance Road  
Suite 300  
Cincinnati, OH 45242  
Ph: 513.985.0226  
www.cecinc.com



DATE	DRAWN BY	CHECKED BY	SCALE	PROJECT NO.	DRAWING NO.

COVER SHEET

11/20/2025

C000

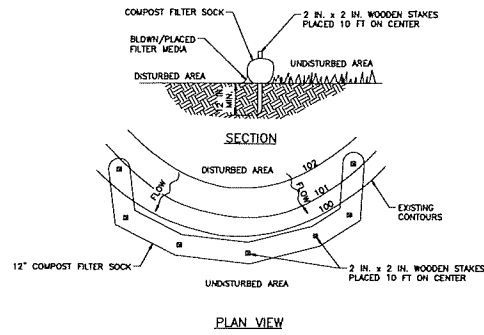






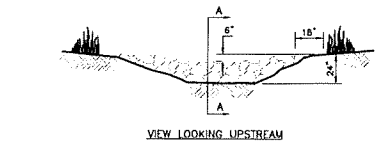




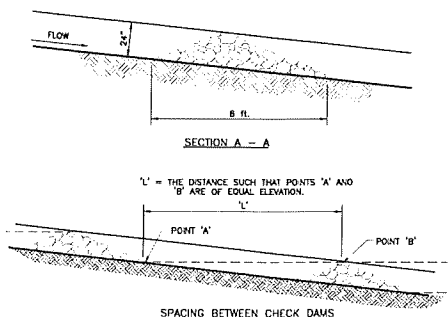


- NOTES:
- SEDIMENT COLLECTING BEHIND FILTER MUST BE REMOVED BEFORE IT IS HALFWAY UP THE SOCK.
  - REPAIR OR REPLACE ANY FILTER SOCK THAT IS DAMAGED OR UNDERCUT.
  - REMOVE FILTER SOCK WHEN GRASS IS ESTABLISHED AND FINAL GRADE IS MET.

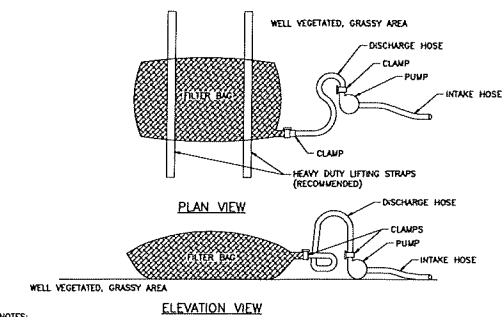
**DETAIL 1**  
**COMPOST FILTER SOCK**  
NOT TO SCALE



NOTE:  
KEY STONE INTO THE DITCH BANKS AND EXTEND IT BEYOND THE BLANKETS A MINIMUM OF 18" TO PREVENT OVER FLOW AROUND DAM.



**DETAIL 4**  
**ROCK CHECK DAM**  
NOT TO SCALE

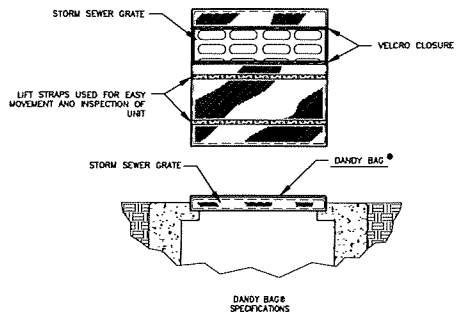


- NOTES:
- LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH DOUBLE STITCHED "I" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE STRENGTH	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4633	110 LB
MULLEN BURST	ASTM D-3786	350 PSF
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	60 SEIVE

- A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
- BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 2% FOR SLOPES EXCEEDING 2%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
- NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR LV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.
- THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
- THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
- FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

**DETAIL 7**  
**PUMPED WATER FILTER BAG**  
NOT TO SCALE



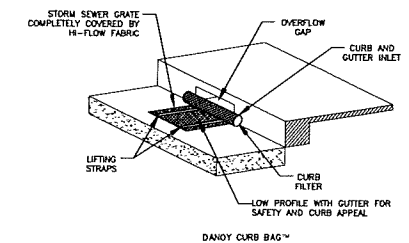
NOTE: THE DANDY BAGS WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

**H-FLOW DANDY BAG (SAFETY ORANGE)**

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	KN (LBS)	1.62 (365) X 0.89 (200)
GRAB TENSILE ELONGATION	ASTM D 4632	%	24 X 10
PUNCTURE STRENGTH	ASTM D 4833	KN (LBS)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3786	KPA (PSI)	3097 (450)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	KN (LBS)	0.51 (115) X 0.33 (75)
UV RESISTANCE	ASTM D 4355	%	80
APPARENT OPENING SIZE	ASTM D 4751	MM (US STD SIEVE)	0.425 (40)
FLOW RATE	ASTM D 4491	1/30 MIN/IN (GAL/MIN/FT <sup>2</sup> )	5907 (145)
PERMITTIVITY	ASTM D 4491	SEC	2.1

\*NOTE: ALL DANDY BAGS CAN BE ORDERED WITH OUR OPTIONAL OIL ABSORBENT PALLETS

**DETAIL 2A**  
**INLET FILTER**  
NOT TO SCALE



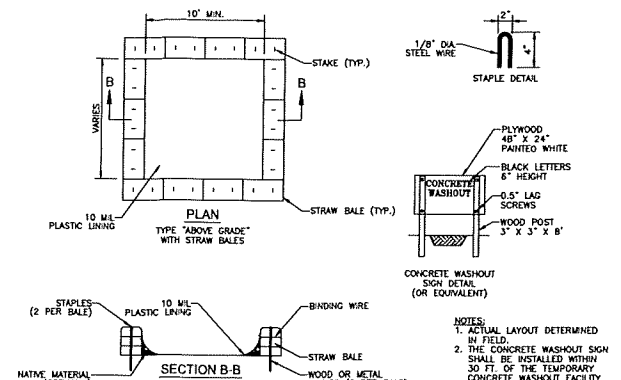
NOTE: THE DANDY CURB BAGS WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

**DANDY CURB BAG (SAFETY ORANGE)**

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	KN (LBS)	1.62 (365) X 0.89 (200)
GRAB TENSILE ELONGATION	ASTM D 4632	%	24 X 10
PUNCTURE STRENGTH	ASTM D 4833	KN (LBS)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3786	KPA (PSI)	3097 (450)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	KN (LBS)	0.51 (115) X 0.33 (75)
UV RESISTANCE	ASTM D 4355	%	80
APPARENT OPENING SIZE	ASTM D 4751	MM (US STD SIEVE)	0.425 (40)
FLOW RATE	ASTM D 4491	1/30 MIN/IN (GAL/MIN/FT <sup>2</sup> )	5907 (145)
PERMITTIVITY	ASTM D 4491	SEC	2.1

\*NOTE: ALL DANDY CURB BAGS CAN BE ORDERED WITH OUR OPTIONAL OIL ABSORBENT PALLETS

**DETAIL 2B**  
**INLET FILTER (FOR CURB INLET)**  
NOT TO SCALE



- NOTES:
- PREVENT RUNOFF OF WASH WATER AND CONCRETE WASTE INTO STORM DRAINS, DITCHES AND WATERWAYS.

**DETAIL 3**  
**CONCRETE WASHOUT STATION**  
NOT TO SCALE

**TABLE 1**  
**SEED MIX REQUIREMENTS FOR UPLAND ROW**

Recommended Permanent Seed Mixtures Cool and Warm Season Grass

Mixture Number	Season	Species	Seeding Rate lb./ac.
1	Cool	Tall fescue, or Fine fescue, plus Redtop, or Perennial ryegrass, plus Birdsfoot trefoil	79
		46	
		4	
		19	
2	Cool	Birdsfoot trefoil, plus Tall fescue*	40
		8	
3	Cool	Orchardgrass, or Smooth bromegrass, plus Birdsfoot trefoil	26
		33	
		8	
4	Warm	Fluoro, plus Tall fescue*, or Perennial ryegrass	27
		26	
5	Warm	Switchgrass, or Deer tongue, plus Birdsfoot trefoil	15
		15	
6	Warm	Big Bluestem, plus Birdsfoot trefoil	15
		8	

**TABLE 2**  
**SOIL AMENDMENT APPLICATION RATE EQUIVALENTS**

Soil Amendment	Permanent Seeding Application Rate			Notes
	Per Acre	Per 1,000 sq. ft.	Per 1,000 sq. yd.	
Agricultural lime	6 tons	240 lb.	2,480 lb.	Or as per soil test, may not be required in agricultural fields
10-10-20 fertilizer	1,000 lb.	25 lb.	210 lb.	Or as per soil test, may not be required in agricultural fields
Temporary Seeding Application Rate				
Agricultural lime	1 ton	40 lb.	410 lb.	Typically not required for soil stockpiles
10-10-10 fertilizer	500 lb.	12.5 lb.	100 lb.	Typically not required for soil stockpiles

**MULCH APPLICATION RATES**

Mulch Type	Application Rate (Min.)			Notes
	Per Acre	Per 1,000 sq. ft.	Per 1,000 sq. yd.	
Straw	3 tons	140 lb.	1,240 lb.	Either wheat or oat straw, free of weeds, not chipped or finely broken
Hay	3 tons	140 lb.	1,240 lb.	Timothy, mixed clover and timothy or other native forage grasses
Wood Chips	4 - 6 tons	165 - 275 lb.	1,650 - 2,500 lb.	May prevent germination of grasses and legumes
Hydromulch	1 ton	47 lb.	415	See limitations above

**DETAIL 6**  
**SEEDING SPECIFICATIONS**  
NOT TO SCALE

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 12" OVERLAP. STAPLE THROUGH OVERLAPPED AREA APPROXIMATELY 12" APART.
- EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL 3:1, OR STEEPER SLOPES WITH A MINIMUM OF 6 INCHES OF TOPSOIL.
- SLOPE BLANKETS SHALL BE INSTALLED ON FILL SLOPES IMMEDIATELY AFTER EMBANKMENTS ARE ESTABLISHED. AT THE END OF EACH WORKING DAY, NO MORE THAN 10 FEET OF SOIL SHALL BE EXPOSED WITHOUT BLANKETS ON PERMANENT 3:1 FILL SLOPES. THE CONTRACTOR SHALL INSTALL SUPER SALT FENCE ON 2:1 SLOPES AT 50 FEET (MARK) INTERVALS ALONG THE SLOPE LENGTH IN ACCORDANCE WITH THE EROSION AND SEDIMENTATION CONTROL PLANS AND DETAILS IMMEDIATELY AFTER EMBANKMENTS ARE ESTABLISHED.

**DETAIL 5**  
**EROSION CONTROL BLANKET**  
NOT TO SCALE

**SEQUENCE OF CONSTRUCTION**

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAP AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

- INSTALL FILTER SOCK AND INLET FILTER PROTECTION.
- CLEAR AND GRUB THE SITE, AND REMOVE TOPSOIL WITHIN THE AREAS OF PROPOSED GRADING ON SITE.
- PREPARE FERTILIZER PILES AND STORAGE AREAS INCLUDING DESIGNATED LOCATIONS FOR DUMPSTERS, CENTRAL WASTE INTAKE AND CONCRETE WASHOUT AREA.
- BEGIN ROUGH GRADING AND CONSTRUCTION OF PARKING AREAS AND WALLS.
- TEMPORARILY SEED AS REQUIRED.
- BEGIN FINAL GRADING OPERATIONS AND CONSTRUCTION OF WALLS. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BUILT UP TO FINAL GRADE.
- INSTALL ROCK CHECK DAMS.
- INSTALL STORM SEWERS, FINGER DRAINS AND CURBS.
- INSTALL INLET PROTECTION AND ALL EROSION CONTROL STRUCTURES AS THEY ARE INSTALLED.
- PREPARE SITE FOR PAVING. REMOVE INLET PROTECTION NO MORE THAN 24 HOURS PRIOR TO PLACING STABILIZED BASE COURSE.
- PAVE SITE.
- COMPLETE GRADING AND INSTALL PERMANENT SEEDING, SLOPE PROTECTION AND PLANTINGS. SEE LAYOUT AREAS FOR LOCATION OF PERMANENT SEEDING AND PLANTINGS. RESTORE FERTILIZER AREAS TO MATCH EXISTING CONDITIONS. SEEDS AS REQUIRED TO STABILIZE DISTURBED AREAS.
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES (ONLY IF SITE IS STABILIZED).

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING STEPS HAVE BEEN COMPLETELY INSTALLED. BMP-RELATED STEPS IN THE ABOVE SEQUENCE ARE 11 HOURS FOR CLARITY.

MAP SYMBOL AND SOIL NAME	ACRES IN A0	HYDROLOGIC GROUP PER NRCS WEB SOIL SURVEY
R# - ROSSSHINE Silt Loam 0 TO 4 PERCENT SLOPES	0.4	C/D
R# - ROSSSHINE Silt Loam 6 TO 12 PERCENT SLOPES	0.4	C/D

REVISION RECORD

NO.	DATE	DESCRIPTION

10300 Alliance Road  
Suite 300  
Cincinnati, OH 45242  
Ph: 513.985.0226  
www.cecin.com

**LEE**  
Civil & Environmental Consultants, Inc.

**COSTCO WHOLESALE**  
Florence, Kentucky

EROSION & SEDIMENT CONTROL NOTES & DETAILS

DATE: OCTOBER 2025 DRAWN BY: DRAYAN BENDER  
DWG SCALE: NOT TO SCALE CHECKED BY: BRUNER  
PROJECT NO: 251508  
APPROVED BY: [Signature]

11/20/2025

C303





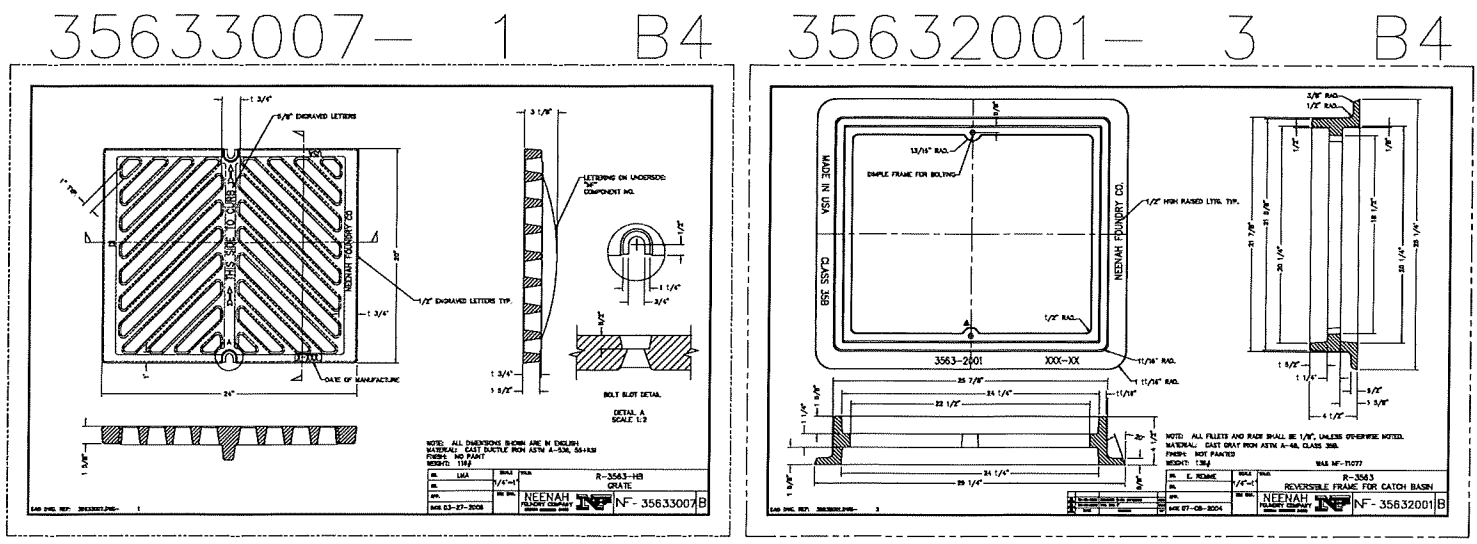
**STORM SEWER COMPOSITE C CALCULATIONS**

Civil & Environmental Consultants, Inc.					
Project Name: Costco Florence, KY					
CEC Project No: 351-569					
Description: Composite C Calculations					
		Runoff Coefficient		Curve Number	
		Impervious = 0.95			
		Pervious = 0.40			
INLETS					
STR	Impervious (ft <sup>2</sup> )	Pervious (ft <sup>2</sup> )	Total (ft <sup>2</sup> )	Total (Acres)	Composite C'
STR 100	23,294	840	24,134	0.57	0.93
STR 101	14,870	1,369	16,239	0.37	0.90
STR 1011	0	4,560	4,560	0.10	0.40
STR 102	5,514	1,174	7,088	0.16	0.86
STR 103	2,108	0	2,108	0.05	0.95
STR 1031	36	3,851	3,887	0.09	0.41
STR 104	4,011	421	4,432	0.10	0.90
STR 1041	0	8,472	8,472	0.19	0.40
STR 105	3,817	510	4,327	0.10	0.89
STR 106	3,584	300	3,884	0.10	0.90
STR 1061	0	10,333	10,333	0.23	0.40
STR 107	3,918	422	4,340	0.10	0.90
STR 108	3,915	414	4,329	0.10	0.90
STR 109	5,071	504	5,574	0.13	0.60
STR 110	0	16,044	16,044	0.37	0.40
STR 111	0	3,703	3,703	0.09	0.40
STR 200	174	10,437	10,611	0.25	0.42
STR 201	10,872	1,428	12,300	0.29	0.80
STR 202	11,736	2,267	14,003	0.32	0.85

**STORM SEWER DESIGN CHART**

From M.H.	To M.H.	Length of Pipe Run (ft.)	Increment Acres (A)	Total Area (A)	Runoff Coeff. (C)	Increment C x A	Total C x A	Inlet Time (Min.)	Time of Conc. Tc (Min.)	Rainfall Intensity (in/hr)	Total Flow Q-CIA (c.f.s.)	Capacity Full (c.f.s.)	Velocity (ft./Sec.)	Diameter of Pipe (in.)	Slope of Pipe (%)	Lower End Invert Elev.	Upper End Invert Elev.	Lower End HG Elev.	Upper End HG Elev.	Lower End Rim Elev.	Upper End Rim Elev.
101	Outfall	76.83	0.37	1.83	0.90	0.33	1.33	10	15.4	4.7	6.27	8.00	3.69	18	0.49	869.93	870.31	871.43	871.62	876.39	872.49
102	101	41.36	0.16	1.36	0.86	0.14	0.96	10	15.1	4.7	4.55	8.48	2.64	18	0.56	870.36	870.59	871.90	871.95	872.49	877.91
103	102	119.05	0.05	1.20	0.95	0.05	0.82	10	14.3	4.9	4.00	7.59	3.01	18	0.45	870.69	871.22	872.01	872.13	872.91	872.02
104	103	67.53	0.10	1.06	0.90	0.09	0.74	10	13.9	4.9	3.63	6.14	3.95	15	0.77	871.32	871.84	872.36	872.61	872.91	877.80
105	104	71.01	0.10	0.76	0.89	0.09	0.57	10	13.4	5.0	2.84	4.55	3.81	15	0.42	871.84	872.14	872.61	872.84	872.20	872.31
106	105	72.11	0.10	0.66	0.90	0.09	0.48	10	12.9	5.1	2.44	5.14	3.41	15	0.54	872.14	872.53	872.96	873.15	872.31	872.31
107	106	72.68	0.10	0.33	0.90	0.09	0.29	10	12.3	5.2	1.53	2.56	3.27	12	0.41	872.53	872.85	873.15	873.30	872.31	877.19
108	107	72.14	0.10	0.23	0.90	0.09	0.20	10	11.5	5.4	1.10	2.32	2.63	12	0.36	872.90	873.16	873.49	873.64	872.31	877.23
109	108	71.72	0.13	0.13	0.90	0.12	0.12	10	10.0	5.7	0.65	2.54	2.56	12	0.43	873.32	873.63	873.97	874.23	872.31	872.23
1061	106	29.55	0.23	0.23	0.40	0.09	0.09	10	10.0	5.7	0.53	6.47	3.81	12	2.81	873.17	874.00	873.36	874.30	877.31	883.35
1031	103	6.10	0.09	0.09	0.41	0.04	0.04	10	10.0	5.7	0.21	9.50	3.49	12	6.07	872.57	872.94	872.67	873.13	877.02	877.75
1041	104	45.30	0.19	0.19	0.40	0.08	0.08	10	10.0	5.7	0.44	7.94	1.79	12	4.23	872.09	874.00	872.61	874.27	877.20	883.59
1011	101	58.27	0.30	0.10	0.40	0.04	0.04	10	10.0	5.7	0.23	5.63	1.47	12	2.13	871.51	872.76	871.90	872.96	872.49	872.63

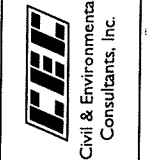
\*CALCULATIONS REPRESENT A 15-YEAR DESIGN STORM.



**STORM DRAIN FRAME AND GRATE**  
C401 NOT TO SCALE

NO.	DATE	REVISION RECORD
1	11/20/2025	ISSUED FOR PERMITS
2	11/20/2025	ISSUED FOR PERMITS
3	11/20/2025	ISSUED FOR PERMITS
4	11/20/2025	ISSUED FOR PERMITS
5	11/20/2025	ISSUED FOR PERMITS
6	11/20/2025	ISSUED FOR PERMITS
7	11/20/2025	ISSUED FOR PERMITS
8	11/20/2025	ISSUED FOR PERMITS
9	11/20/2025	ISSUED FOR PERMITS
10	11/20/2025	ISSUED FOR PERMITS

10300 Alliance Road  
Suite 300  
Cincinnati, OH 45242  
Ph: 513.985.0226  
www.cecinc.com

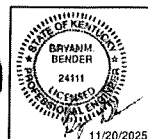


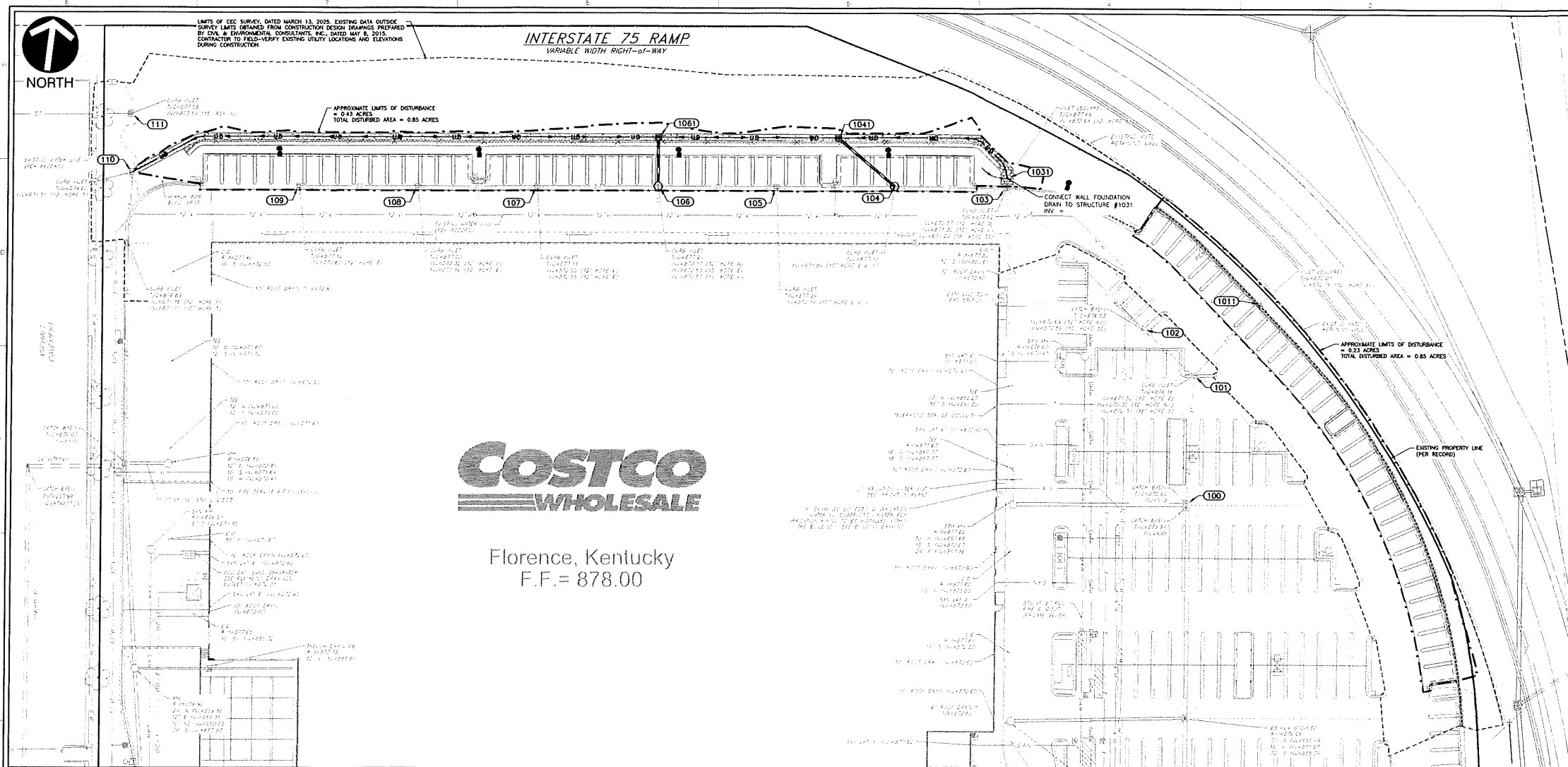
**STORM SEWER CALCULATIONS AND DETAILS**

DATE: OCTOBER 2025  
DRAWN BY: [Signature]  
PROJECT NO: AS SHOWN  
APPROVED BY: [Signature]

DRAWING NO: **C401**

11/20/2025





**LEGEND**

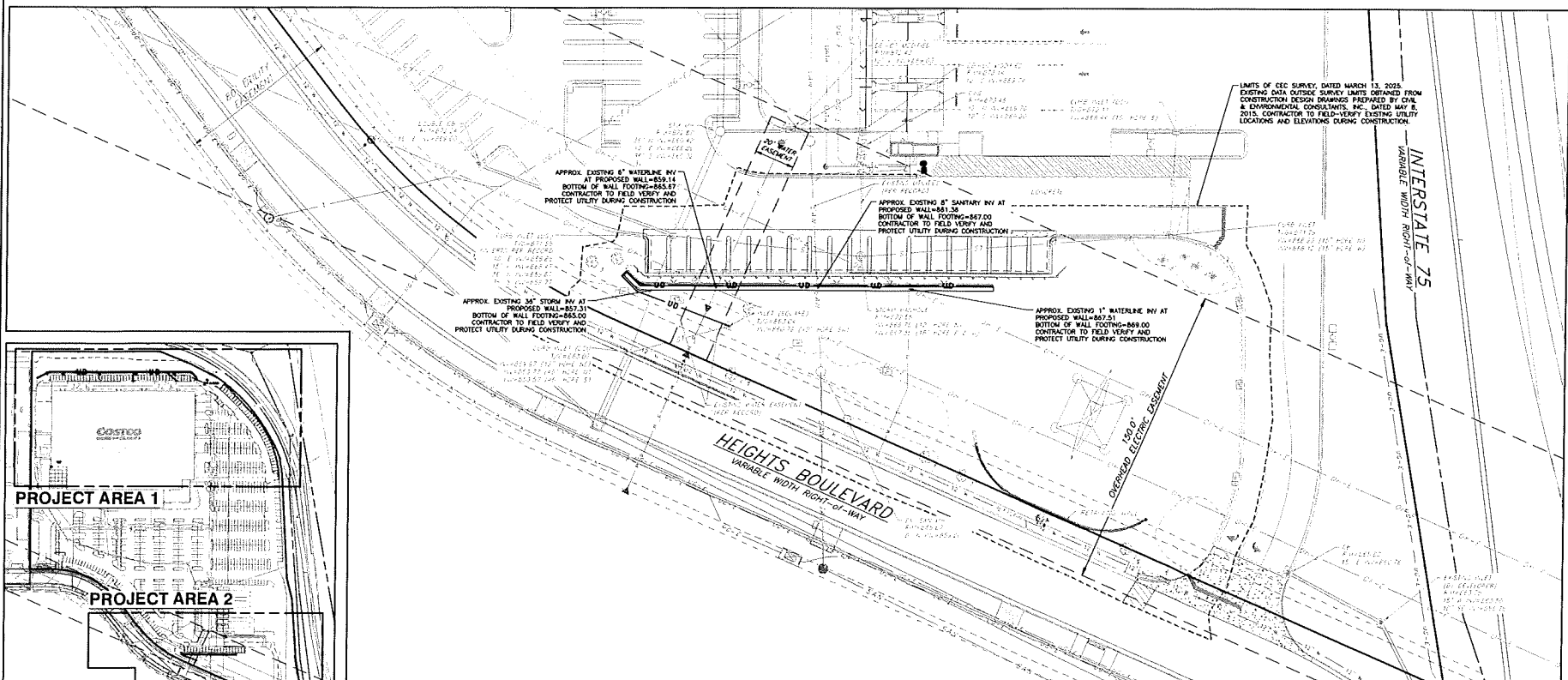
	EXISTING SUBJECT PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING CONCRETE PAVEMENT
	EXISTING BUILDING
	EXISTING STORM PIPE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING DATA/COMMUNICATIONS LINE
	EXISTING TREE
	EXISTING BOLLARD
	EXISTING SIGN
	EXISTING LIGHT POLE
	EXISTING UTILITY POLE
	EXISTING GUY WIRE
	EXISTING ELECTRIC BOX
	EXISTING AC UNIT
	EXISTING CABLE BOX
	EXISTING GAS METER
	EXISTING VALVE BOX
	EXISTING HYDRANT
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE
	EXISTING STORM INLET
	PROPOSED STORM SEWER
	PROPOSED STORM STRUCTURE
	PROPOSED STORM MANHOLE
	PROPOSED STORM CLEANOUT
	PROPOSED WATER LINE
	PROPOSED VALVE BOX
	PROPOSED HYDRANT
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND FIBER OPTIC
	PROPOSED GAS LINE
	PROPOSED DATA LINE AND FULL STATION
	PROPOSED SANITARY LINE
	PROPOSED SANITARY MANHOLE

- UTILITY NOTES**
1. ALL PROPOSED UTILITY LINES AND EXTENSIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE UTILITY AGENCY / DISTRICT / MUNICIPALITY / COMPANY REQUIREMENTS. CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTIONS, IF APPLICABLE, WITH THE APPROPRIATE AGENCY.
  2. ALL SEWER CONSTRUCTION AND MATERIALS SHALL CONFORM TO AND BE IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
  3. BEFORE INSTALLATION OF STORM OR SANITARY SEWER, OR OTHER UTILITY, THE CONTRACTOR SHALL VERIFY ALL CROSSINGS, BY EXCAVATION WHERE NECESSARY, AND INFORM THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR UNCHARTERED EXISTING UTILITIES ENCOUNTERED. SUBMIT NOTIFICATION SO AS TO ALLOW DESIGN ADJUSTMENTS THAT MAY BE REQUIRED TO AVOID CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT HE IS NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
  4. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION AND REQUEST FIELD VERIFICATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
  5. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE REQUIRED PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  6. MAINTAIN A MINIMUM OF 10 FEET HORIZONTAL AND A MINIMUM OF 18 INCHES VERTICAL SEPARATION BETWEEN SANITARY SEWER OR STORM SEWER AND WATER SUPPLY PIPING, UNLESS OTHERWISE INDICATED.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES, GAS LINES, AND UNDERGROUND ELECTRIC DO NOT CONFLICT WITH SANITARY SEWERS OR STORM SEWERS. INSTALL UTILITIES PRIOR TO PAVEMENT CONSTRUCTION.
  8. ALL UTILITY TRENCH EXCAVATION SPILLS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE INDICATED AND, IF REQUIRED, SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
  9. ADJUST ALL EXISTING UTILITY SURFACE FEATURES INCLUDING BUT NOT LIMITED TO CASTINGS, VALVE BOXES, PEDESTALS, CLEANOUTS, ETC. TO MATCH PROPOSED FINISHED GRADES, UNLESS OTHERWISE INDICATED.
  10. SITE DIMENSIONS AND/OR COORDINATES SHOWN ARE TO THE FACE OF CURB, EDGE OF PAVEMENT, EXTERIOR BUILDING WALL, CENTER OF MANHOLE, CENTER AT FACE OF CURB FOR MANHOLE INLETS AND CENTERLINE OF PIPE OR FITTING, UNLESS OTHERWISE NOTED. DISTANCES SHOWN ON PIPING ARE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.

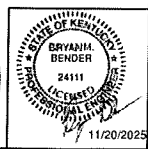
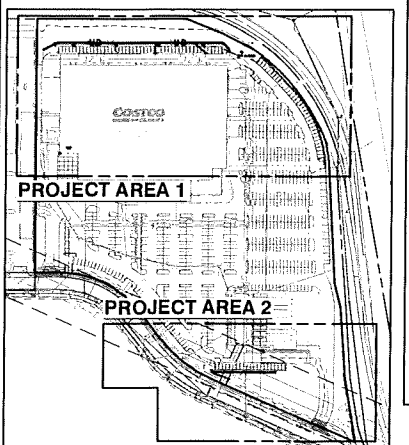
**COSTCO**  
WHOLESALE

Florence, Kentucky  
F.F. = 878.00

**PROJECT AREA 1**  
SCALE: 1"=30'



**PROJECT AREA 2**  
SCALE: 1"=30'



10300 Alliance Road  
Suite 300  
Cincinnati, OH 45242  
Ph: 513.985.0226  
www.cecinco.com

**CEI**  
Civil & Environmental  
Consultants, Inc.

**COSTCO**  
WHOLESALE  
Florence, Kentucky

**UTILITY PLAN**

DATE	11/20/2025
DRAWN BY	BRANDY BENDER
CHECKED BY	BRANDY BENDER
PROJECT NO.	C500
APPREVED BY	

DRAWING NO. **C500**  
11/20/2025



CERTIFICATE OF LAND USE RESTRICTION

1. NAME AND ADDRESS OF PROPERTY OWNER(S)  
Costco Wholesale Corporation  
999 Lake Dr  
Issaquah, WA 98027

2. ADDRESS OF PROPERTY  
800 Heights Blvd  
Florence, KY 41042

3. NAME OF SUBDIVISION OR DEVELOPMENT (if applicable)  
Costco Parking Expansion

4. DEED BOOK 1043                      PAGE NO. 258                      GROUP NO. 2040B

5. TYPE OF RESTRICTION(S) (Check all that apply)

- Zoning Map Amendment:                       Conditional Use Permit  
From \_\_\_\_\_ To \_\_\_\_\_
- Development Plan                                       Conditional Zoning
- Subdivision Plat                                       Other:  
(Not Recorded)
- Variance

6. NAME AND ADDRESS OF PLANNING COMMISSION, BOARD OF ADJUSTMENT, LEGISLATIVE BODY OR FISCAL COURT WHICH MAINTAINS THE ORIGINAL RECORDS CONTAINING THE RESTRICTION

BOONE COUNTY PLANNING COMMISSION  
2950 WASHINGTON STREET, ROOM 317  
P.O. BOX 958  
BURLINGTON, KENTUCKY 41005

\_\_\_\_\_  
SIGNATURE OF COMPLETING OFFICIAL

Steven C. Lilly, Planner  
Name and Title of Completing Official

COMMONWEALTH OF KENTUCKY

COUNTY OF BOONE

Subscribed, sworn to, and acknowledged before me by Steven C. Lilly on behalf of the Boone County Planning Commission this 15<sup>th</sup> day of January, 2026.

---

Treva L. Beagle  
Notary ID KYNP37603  
NOTARY PUBLIC, State at Large

My commission Expires:  
November 12, 2029

This instrument was prepared for recording purposes only by:



---

Nicole Dierna  
Boone County Planning Commission  
2950 Washington Street, Room 317  
P.O. Box 958  
Burlington, Kentucky 41005

NO TITLE EXAMINATION

(Legal Description and source of Title and Group Number furnished by the applicant)

CONDITIONS OF APPROVAL

The following Conditions of Approval apply to the Variance approved by the Florence Board of Adjustment and in accordance with the current zoning in effect as of January 14, 2026, Certificate of Land Use Restriction (#26-FBOA-001-A), for Costco Wholesale Corporation, Property Owner(s).

The following conditions will apply:

1. Shrubs shall be planted within the remaining space between the proposed parking and the existing wall.

The approved Variance as well as the preceding conditions apply to the property described in:

DEED BOOK 1043

PAGE NO. 258

GROUP NO. 2040B