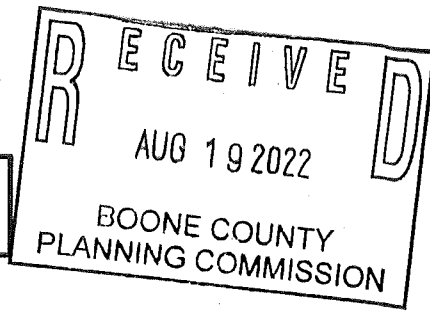


**BOARD OF ADJUSTMENT
BOONE COUNTY PLANNING COMMISSION**



Five (5) scaled copies and one (1) 11 x 17 reduction of submitted drawings are required

Site Plan Review is not granted by the appropriate Board of Adjustment

An application consists of all fees paid in full, submitted drawings, and a completed application form

SECTION A: (To be completed by applicant)

- 1. Check One Boone Florence Walton Union
- 2. Check One Conditional Use Permit Variance Appeal
 Change in Non-Conforming Use

3. Applicant: Bayer Becker, Inc
Address: 209 Grandview Drive
Ft. Mitchell KY 41017
City State Zip Code
Phone Number: 859-415-1614 Fax Number: _____
Email: mikewillenbrink@bayerbecker.com

4. Description of Request:
The Variance is to reduce the 500 foot road frontage requirement to allow the parcel to have two access points on Service Road

5. Name of Development: Bobcat Enterprises Sales & Service
6. Location of Development: 13350 Service Road
Walton KY 41094
City State Zip Code

7. Acreage Under Review: 6.2

8. Lot Number and Name of Subdivision (if part of a subdivision):
PIDN 0078.00-00-052.05

9. Current Owner: Bobcat Enterprises, Inc.
Address: 9605 Princeton-Glendale Road
Hamilton OH 45011
City State Zip Code
Phone Number: 513-645-1459 Fax Number: _____
Email: ktrapp@bobcatent.com

SECTION B: (To be completed by Planning Commission staff)

1. Date Received: 8-19-22 Fee Received: 966.00 Receipt #: 86823

2. Is application complete: _____

3. Staff Reviewer: Toad Morgan

4. Scheduled Board Action Date: 9/19/22

5. Board Action: _____

- Approved
- Approved with Conditions (see #6)
- Denial (See #7)

6. Conditions of Approval: None

7. Reasons for Denial: _____

Boone County Planning Commission
Boone County Administration Building
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005
Phone: 859-334-2196 Fax: 859-334-2264
plancom@boonecountky.org
www.boonecountky.org

STAFF REPORT

#1

APPLICANT: Bayer Becker for Bobcat Enterprises Sales and Services

LOCATION: East Side Service Road (South of 13330 Service Road), Walton, Kentucky

ZONING: Industrial One (I-1)

DATE: September 19, 2022

PROPOSAL

The applicant is requesting a Variance to reduce the 500-foot minimum road frontage requirement to allow Bobcat Enterprises Sales and Service to have two access points on Service Road. The submitted plan shows that Bobcat Sales and Services is proposing full and one-way out access points and that their parcel has 351.21 feet of frontage on Service Road.

SITE HISTORY

2020 – The eastern part of the subject site was rezoned from Commercial Two (C-2) to Industrial One (I-1). The following conditions were imposed on the approval:

- A. Truck stops, recycling centers, fire stations, sexually oriented businesses, and crematoriums are prohibited uses.
- B. Walton Land Development Company agreed to limit the building size on any lot that was part of the Zone Change to 75,000 square feet.
- C. Walton Land Development Company agreed to improve Service Road at their cost from Big Tex and extending southwards to the entrance of their last lot. Improvements shall include 25' of pavement, curb and gutter, and storm water facilities. All improvements were to comply with the Boone County Subdivision Regulations. Note – The City of Walton later issued a waiver for the curb and gutter requirement .

APPLICABLE REGULATIONS

- A. Section 250 of the Boone County Zoning Regulations states one of the duties of the Board of Adjustment is to hear and decide on applications for variances.
- B. Section 250 of the Boone County Zoning Regulations defines a variance as a departure from dimensional terms of the zoning regulation pertaining to the height, width, or location of structures, and the size of yards and open spaces where such departure meets the requirements of KRS 100.241 to 100.247.
- C. The Board should evaluate the request as it relates to the criteria necessary for granting a Variance as stated in Section 251 of the Boone County Zoning Regulations.

Findings listed in Section 251:

- a. Before any variance is granted, the Board must find that the granting of the variance will not adversely affect the public health, safety or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations. In making these findings, the board shall consider whether:
 - 1. The requested variance arises from special circumstances which do not generally apply to land in the general vicinity, or in the same zone;
 - 2. The strict application of the provisions of the regulations would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant;
 - 3. The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.
 - b. The Board shall deny any request for a variance arising from circumstances that are the result of willful violations of the zoning regulation by the applicant subsequent to the adoption of the zoning regulation from which relief is sought.
- D. Section 1130 of the Boone County Zoning Regulations states that “the purpose of the Industrial One district is to allow different types of small to large scale light manufacturing, warehouse, distribution and related service uses, which require direct accessibility to a regional transportation system. Manufacturing operations in this district will generally not utilize unrefined raw materials, whose processing may potentially create undesirable noise, odors, dust, smoke, hazardous materials or waste or be delivered in large bulk transportation forms. Such districts are located in areas which provide employment opportunities for community and regional labor markets. Districts will be located on suitable lands accessible from expressways and/or arterials. In addition, this zoning district allows for integrated office campus and/or industrial/warehouse developments with a business park setting, characterized by landscaped entrances, boulevard streets, large amounts of green space and low building coverage ratio, multi-level buildings, constant architectural and signage theme, parking structures, and integrated pedestrian and recreation facilities. This district is also to provide for appropriate public facilities and/or services to the permitted uses identified in the district. This zoning classification can range from a compact multi-level office development on several acres to an extensive mixed office/warehouse/distribution development that is located on many acres. This zoning classification often includes some limited commercial wholesale and retail uses intended to serve the district and constructed to blend in visually with the character of the area.”
- E. Section 3221.2 of the Boone County Zoning Regulations states that a proposed development is permitted one access point for each 500 feet of site frontage.

SITE CHARACTERISTICS

- A. The approximate 8.24 acre parcel is located along the east side of Service Road and is immediately to the south of Big Tex Trailers.
- B. The site has 351.21 feet of frontage along Service Road.
- C. The site is currently undeveloped.
- D. Overhead electric poles exist along the parcel frontage.
- E. The topography of the site ranges from 870' above sea level in the northwest portion of the site to 820' above sea level near the southeast property corner.

SURROUNDING LAND USES AND ZONING

North: Big Tex Trailers, Undeveloped 6.34 Acre Parcel (I-1)

South: Walton Self Storage is Under Construction (I-1)

East: Undeveloped Parcel in Walton Towne Center Subdivision (C-2/PD)

West: I-75 (I-1)

STAFF COMMENTS

- A. The Board needs to analyze the Variance criteria before acting on the request.

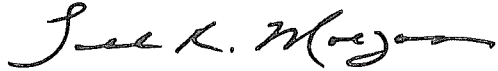
Staff went out to the site and observed that there is excellent sight distance from both proposed access points. As a result, Staff does not believe the request will adversely affect the public health, safety, or welfare.

Staff also believes that denying the request could create an unnecessary hardship on the applicant.
- B. Staff has attached an email chain between the applicant, Matt Bogen, and Robert Franxman regarding sight distance and Encroachment Permits. In summary, the email chain concludes that sight distance is met.

CONCLUSION

- A. KRS 100.241 and Section 220 of the Boone County Zoning Regulations give the Walton Board of Adjustment and Zoning Appeals the authority to act on the request.
- B. Section 251 of the Boone County Zoning Regulations identifies criteria necessary for granting a Variance. The applicant needs to provide information as to how their application meets these criteria.

Respectfully submitted,



Todd K. Morgan, AICP
Senior Planner, Zoning Services

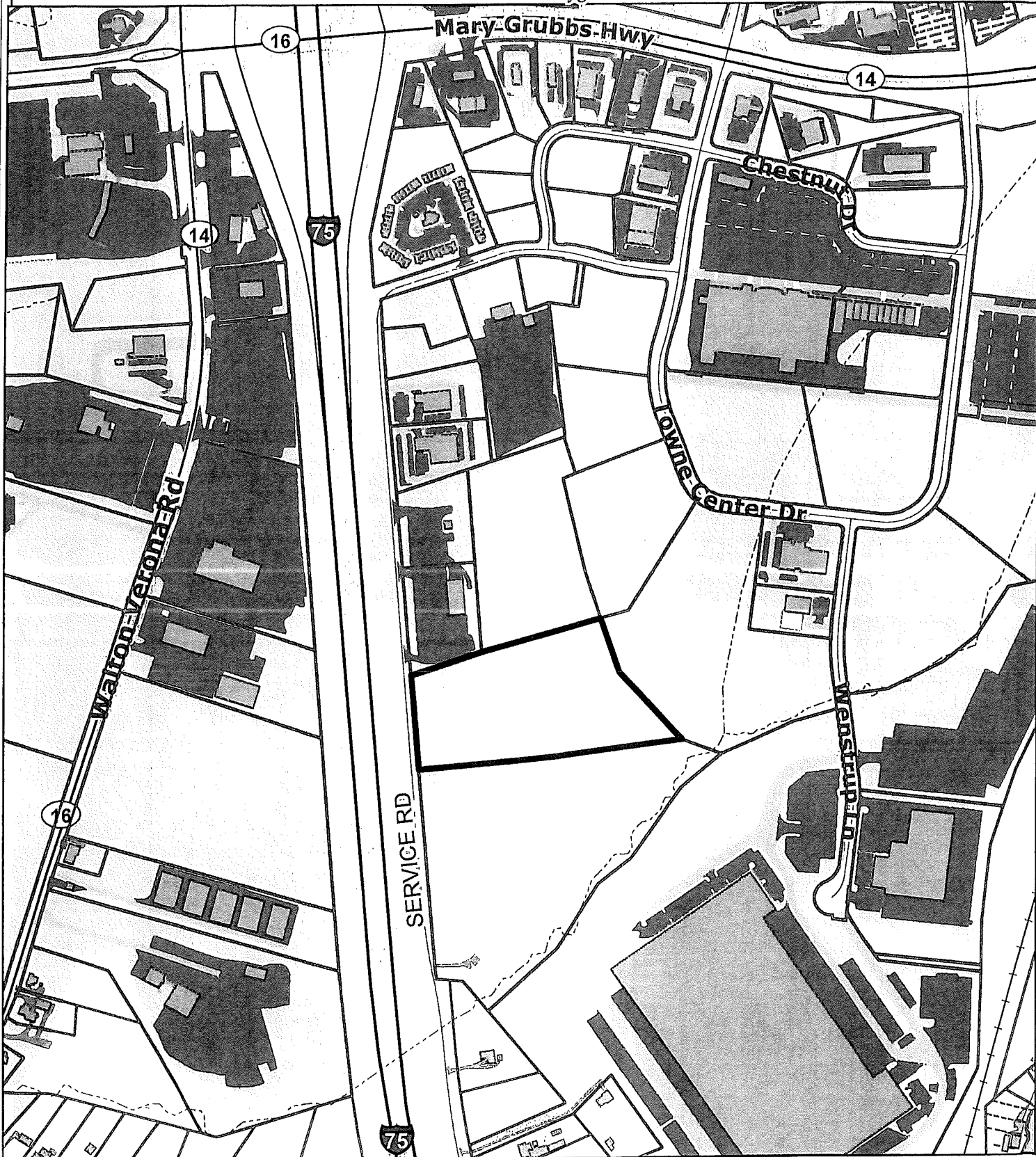
TKM/ss

Attachments

- *Site Vicinity Map
- *Proposed Plan
- *2022 Aerial Map
- *Topographical Map
- *Zoning Map
- *Email Chain Between the Applicant, Matt Bogen, Rob Franxman
- *Application

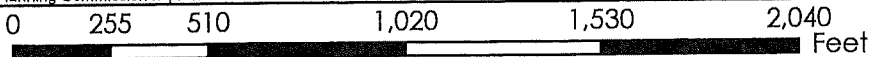
SITE VICINITY MAP

www.boonecountygis.com



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1 inch = 500 feet

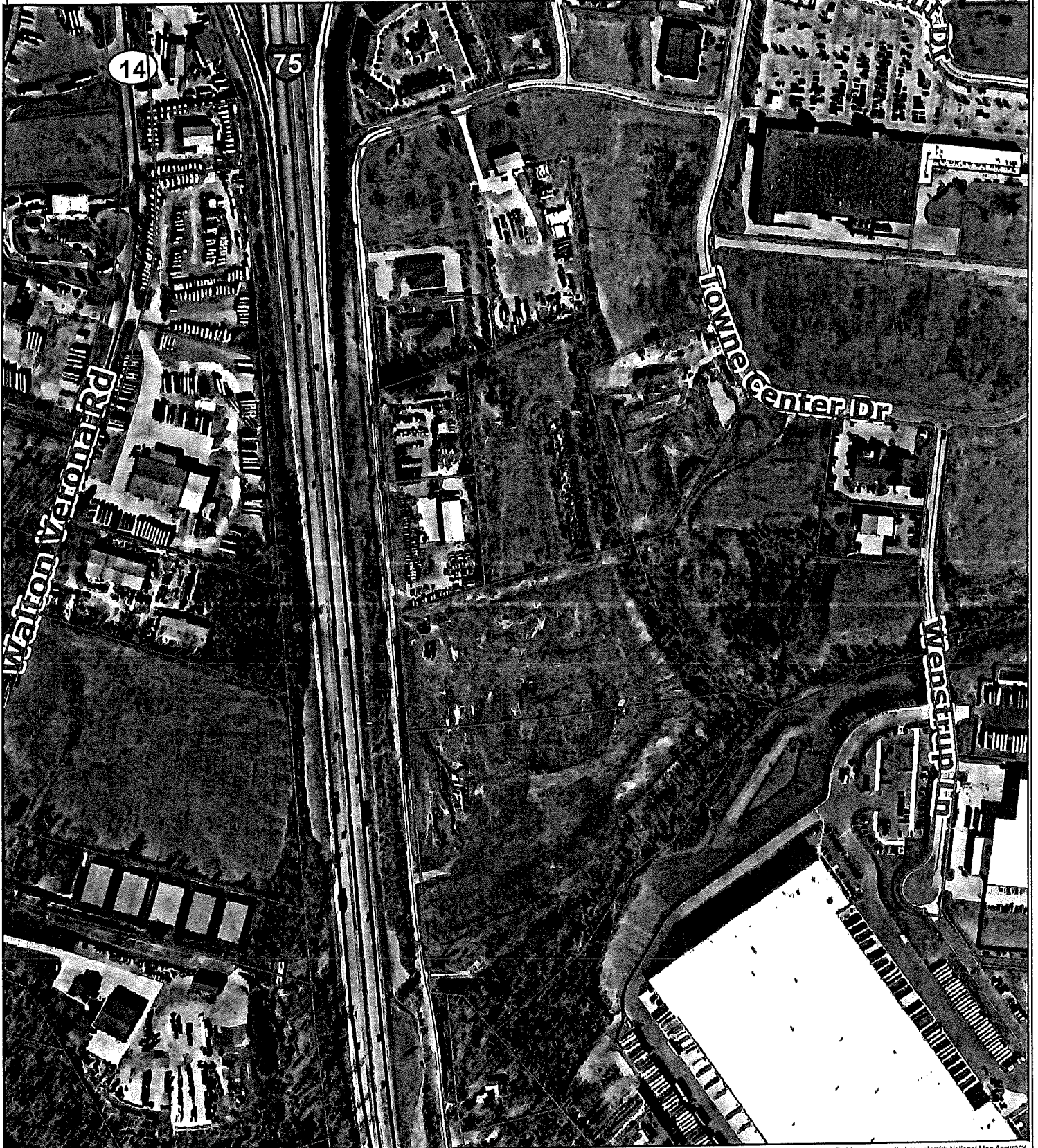


Boone County GIS - Putting Northern Kentucky on the Map



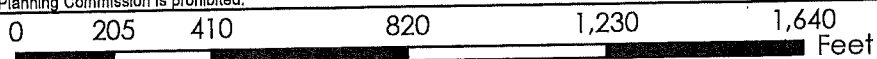
2022 AERIAL MAP

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1 inch = 400 feet

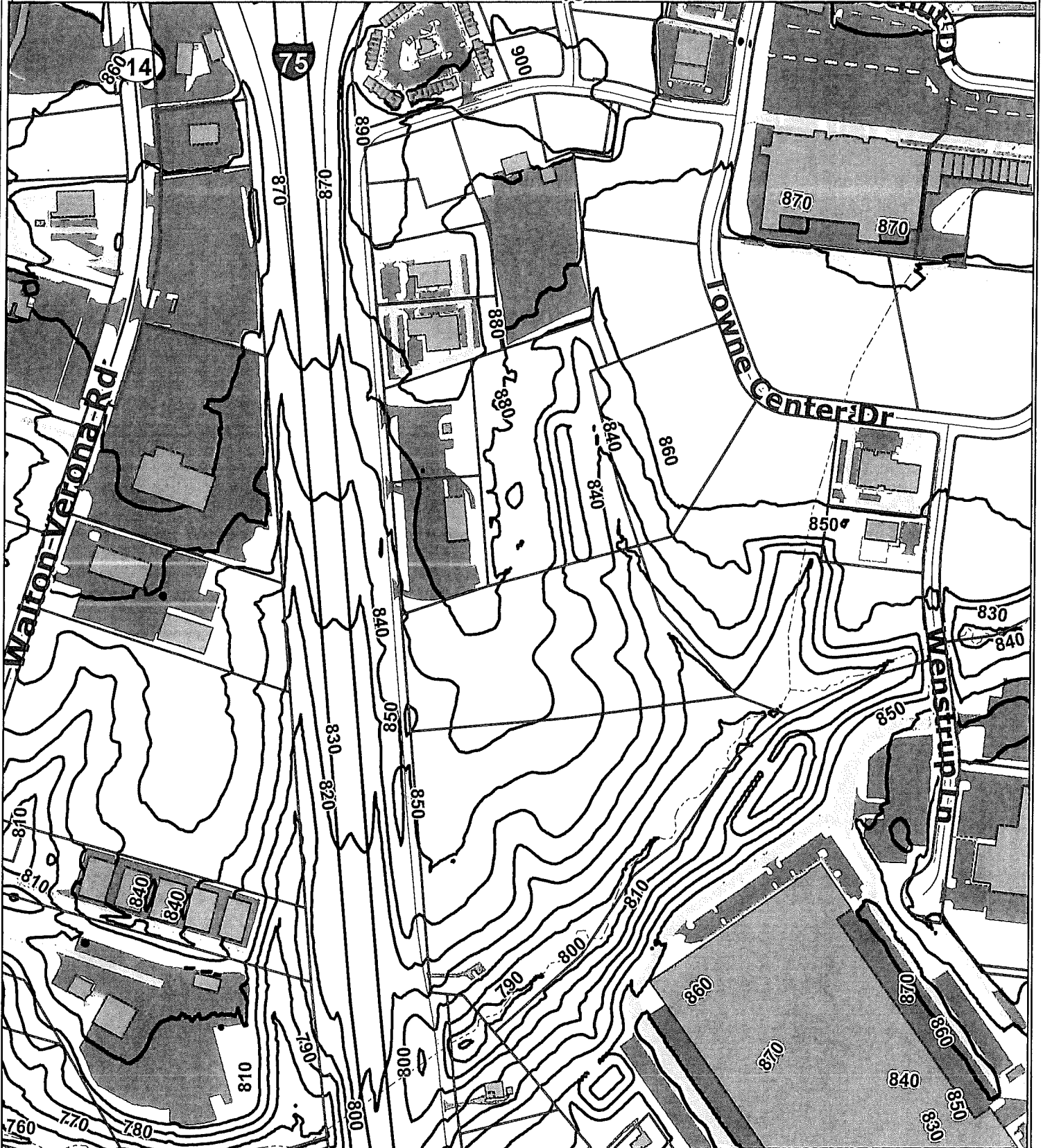


Boone County GIS - Putting Northern Kentucky on the Map



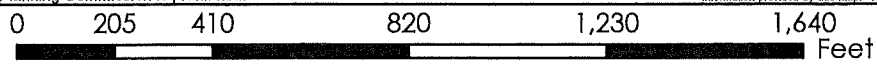
TOPOGRAPHICAL MAP

www.boonecountygis.com



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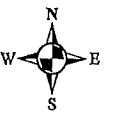
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1 Inch = 400 feet



Boone County GIS - Putting Northern Kentucky on the Map



Todd Morgan

From: Mike Willenbrink <mikewillenbrink@bayerbecker.com>
Sent: Tuesday, September 06, 2022 1:13 PM
To: Robert Franxman; Matt Bogen
Cc: Todd Morgan; Tony Tuttle; Daniel Rice
Subject: RE: 21-0212 Bobcat 13350 Service Road Walton KY
Attachments: 21-0212 CD Bobcat IntersectionSightDistanceStudy 220906.pdf

EXTERNAL MESSAGE

Thanks for the feedback Rob and Matt. For your records attached please find the intersection sight distance exhibits.

FYI on a recent other Walton project where there was similar low traffic volume and I believe the requirement was to meet Stopping Sight Distance, so that was the basis of the original exhibits in the emails below. In this case not a big deal, either way sight distance is met for this project.

Thanks again.

Mike

From: Robert Franxman <rfranxman@boonecountyky.org>
Sent: Wednesday, August 31, 2022 4:37 PM
To: Mike Willenbrink <mikewillenbrink@bayerbecker.com>; Matt Bogen <mbogen@cardinalengineering.net>
Cc: Todd Morgan <TMorgan@boonecountyky.org>; Tony Tuttle <tonytuttle@bayerbecker.com>; Daniel Rice <Drice@boonecountyky.org>
Subject: RE: 21-0212 Bobcat 13350 Service Road Walton KY

Hi Mike,

A lot of times we require the sight distance to meet Intersection sight distance rather than stopping sight distance. In this instance I will assume you and Matt are both comfortable that the encroachment volumes are significantly low enough that stopping sight distance is appropriate. In addition, it appears additional distance is "available" based on the plots. Therefore, no further comments from me. Keep in mind that this information will need to be verified during the actual encroachment permit inspection.

Thanks,
Rob

From: Mike Willenbrink <mikewillenbrink@bayerbecker.com>
Sent: Tuesday, August 30, 2022 4:49 PM
To: Matt Bogen <mbogen@cardinalengineering.net>; Robert Franxman <rfranxman@boonecountyky.org>
Cc: Todd Morgan <TMorgan@boonecountyky.org>; Tony Tuttle <tonytuttle@bayerbecker.com>
Subject: RE: 21-0212 Bobcat 13350 Service Road Walton KY

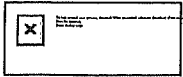
EXTERNAL MESSAGE

Thanks again for the feedback noted below Matt and Rob. For your review, please find the requested sight profile exhibits.

FYI the Walton Board of Adjustments meeting for this waiver request noted below is scheduled for 9/19/22 Monday at 630PM. If possible, please confirm you don't have any further comments after review of the attached exhibits prior to the meeting. We understand we will still need to submit the encroachment permit application, but Todd suggested that we provide these exhibits prior to the meeting.

Thanks.

Mike

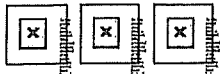


Mike Willenbrink, PE LEED AP
Principal

D: 859-415-1614
E: mikewillenbrink@bayerbecker.com

bayerbecker.com

mason | cincinnati | ft. mitchell | oxford



From: Matt Bogen <mbogen@cardinalengineering.net>

Sent: Monday, August 8, 2022 9:16 AM

To: Robert Franxman <rfranxman@boonecountyky.org>; Mike Willenbrink <mikewillenbrink@bayerbecker.com>

Cc: Todd Morgan <TMorgan@boonecountyky.org>

Subject: RE: 21-0212 Bobcat 13350 Service Road Walton KY

Thanks Rob. Agree with the need for sight profiles.

Matt Bogen, PE
Walton City Engineer



CARDINAL
ENGINEERING
LAND SURVEYING

One Mook Road
Wilder, KY 41071
PHONE: 859-581-9600
DIRECT: 859-392-3673

From: Robert Franxman <rfranxman@boonecountyky.org>

Sent: Monday, August 8, 2022 9:05 AM

To: Mike Willenbrink <mikewillenbrink@bayerbecker.com>

Cc: Matt Bogen <mbogen@cardinalengineering.net>; Todd Morgan <TMorgan@boonecountyky.org>

Subject: RE: 21-0212 Bobcat 13350 Service Road Walton KY

I'll defer to Matt since the development is in Walton. My only comment would be that even with variance approval, both access points will need to meet appropriate standards (i.e. sight distance) for encroachment permit approval.

From: Mike Willenbrink <mikewillenbrink@bayerbecker.com>
Sent: Monday, August 8, 2022 8:59 AM
To: Robert Franxman <rfranxman@boonecountky.org>
Subject: FW: 21-0212 Bobcat 13350 Service Road Walton KY

EXTERNAL MESSAGE

Morning Rob,

As follow-up to Matt Bogen's email below do you have any additional feedback related to this request. Our next step would be to formally submit to variance application to Todd Morgan to schedule the Walton BOA meeting. In discussions with Todd he recommended to get feedback from Matt and you prior to submitting.

Thanks for your time.

Mike

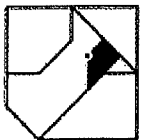
From: Matt Bogen <mbogen@cardinalengineering.net>
Sent: Wednesday, August 3, 2022 1:18 PM
To: Mike Willenbrink <mikewillenbrink@bayerbecker.com>; Robert Franxman <rfranxman@boonecountky.org>
Cc: rwilliams@cityofwalton.org; Todd Morgan AICP (tmorgan@boonecountky.org) <tmorgan@boonecountky.org>; Tony Tuttle <tonytuttle@bayerbecker.com>; gregensburger@cityofwalton.org; Gabe Brown <gbrown@cityofwalton.org>
Subject: RE: 21-0212 Bobcat 13350 Service Road Walton KY

Mike,

I don't have an issue with this variance. Traffic volumes on this part of Service Rd. are low and the other businesses to the north have a similarly close spacing (albeit on separate lots).

Thanks,

Matt Bogen, PE
Walton City Engineer



**CARDINAL
ENGINEERING
LAND SURVEYING**

One Moock Road
Wilder, KY 41071
PHONE: 859-581-9600
DIRECT: 859-392-3673

From: Mike Willenbrink <mikewillenbrink@bayerbecker.com>
Sent: Monday, August 1, 2022 5:11 PM
To: Matt Bogen <mbogen@cardinalengineering.net>; Robert Franxman <rfranxman@boonecountky.org>
Cc: rwilliams@cityofwalton.org; Todd Morgan AICP (tmorgan@boonecountky.org) <tmorgan@boonecountky.org>; Tony Tuttle <tonytuttle@bayerbecker.com>
Subject: 21-0212 Bobcat 13350 Service Road Walton KY

Hello Matt and Rob:

We are working with Bobcat Enterprises as they develop the site located at 13350 Service Road Walton KY. (Just south of Big Tex Trailer) We have submitted the plans to Boone County Planning Commission for site plan review. One of the review comments was related to the two access points shown on the attached site plan.

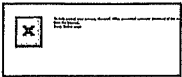
It appears Service Road is a City of Walton public street. With the plan review comments, Todd recommended to reach out to both of you for review and understand any concerns/feedback prior to applying for a formal variance from Section 3221 of the Boone County Zoning Regulations which allows one access point for every 500' of frontage. (FYI our lot frontage width is 351' with the irregular lot getting wider further east.)

As currently shown our south access driveway as an entrance & exit with the north driveway being exit only. Based on operations and avoiding trucks (with trailers) turning around to utilize one driveway, Bobcat wants to create one-way circulation for equipment transport trucks (with trailers) counter-clockwise around the building. In our opinion, with the primary direction of travel on Service Road being from the north, the one-way circulation with the exit on the north side provides efficient and safer traffic flow from the site to the public street.

Do you have any concerns with the driveway configuration as shown?

Thanks and please let Tony or I know if you have any questions.

Mike



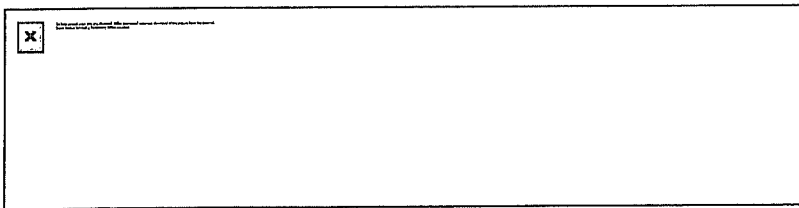
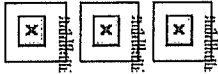
Mike Willenbrink, PE LEED AP
Principal

D: 859-415-1614

E: mikewillenbrink@bayerbecker.com

bayerbecker.com

mason | cincinnati | ft. mitchell | oxford



**BOARD OF ADJUSTMENT
BOONE COUNTY PLANNING COMMISSION**

RECEIVED
AUG 19 2022
BOONE COUNTY
PLANNING COMMISSION

Five (5) scaled copies and one (1) 11 x 17 reduction of submitted drawings are required

Site Plan Review is not granted by the appropriate Board of Adjustment

An application consists of all fees paid in full, submitted drawings, and a completed application form

SECTION A: (To be completed by applicant)

1. Check One Boone Florence Walton Union
2. Check One Conditional Use Permit Variance Appeal
 Change in Non-Conforming Use
3. Applicant: Bayer Becker, Inc
Address: 209 Grandview Drive
Ft. Mitchell KY 41017
City State Zip Code
Phone Number: 859-415-1614 Fax Number: _____
Email: mikewillenbrink@bayerbecker.com
4. Description of Request:
The Variance is to reduce the 500 foot road frontage requirement to allow the parcel to have two access points on Service Road
5. Name of Development: Bobcat Enterprises Sales & Service
6. Location of Development: 13350 Service Road
Walton KY 41094
City State Zip Code
7. Acreage Under Review: 6.2
8. Lot Number and Name of Subdivision (if part of a subdivision):
PIDN 0078.00-00-052.05
9. Current Owner: Bobcat Enterprises, Inc.
Address: 9605 Princeton-Glendale Road
Hamilton OH 45011
City State Zip Code
Phone Number: 513-645-1459 Fax Number: _____
Email: ktrapp@bobcatent.com

Bobcat Enterprises Sales & Service

10. Proposed Use(s) on Site: _____
11. Total Square Footage of Existing and/or Proposed Buildings: 15,000 sf (Footprint)
12. Current Zoning: I-1
13.

<u>1165</u>	<u>358</u>	<u>2082</u>
Deed Book	Page	Group Number
14. Is the site subject to a zone change: Yes No
If yes, date of approval: _____ August 5, 2020 BCPC
15. Have you submitted a Site Plan with this request: Yes No
16. Have you submitted a list of adjoining property owners with this request: Yes No
17. I, or we, understand and agree that this application and drawing(s) are being filed in accordance with the Boone County Zoning Regulations.

ORIGINAL Property Owner's Signature: _____
(Faxed, Photocopied or Scanned Signatures will **NOT** be Accepted)

ORIGINAL Applicant's Signature: Michael Mitchell
(Faxed, Photocopied or Scanned Signatures will **NOT** be Accepted)

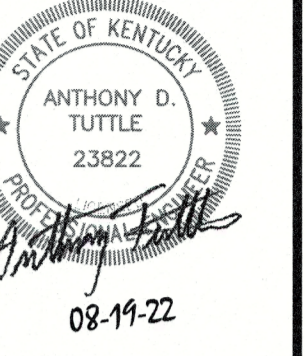
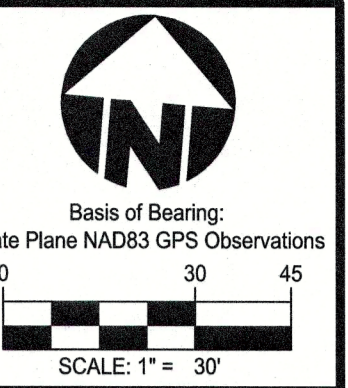
Plot time: Aug 19, 2022, 1:05pm
 Drawing Name: J:\2022\12-10212\CD\VDWG\12-0212 CD.dwg - Layout Tab: C1.0 Site Plan

SR-JR Homes, LLC
 D1101, Pg. 662
 Parcel One
 2.25 Ac.
 PIDN 078.00-00-051.02
 Group 2080

SR-JR Homes, LLC
 D.B. 1165, Pg. 208
 6.3435 Ac.
 PIDN 078.00-00-052.04



VICINITY MAP
 (Not to Scale)



GENERAL CONSTRUCTION NOTES:

- CONTRACTOR TO OBTAIN AN ENCROACHMENT PERMIT FROM BOONE COUNTY PUBLIC WORKS FOR THE ACCESS POINTS AND GRADING WITHIN THE SERVICE ROAD RIGHT-OF-WAY.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE BOONE COUNTY SUBDIVISION REGULATIONS, CITY OF WALTON RULES & REGULATIONS, AND THE STATE OF KENTUCKY TRANSPORTATION CABINET SPECIFICATIONS.
- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION. SITE CONTRACTOR SHALL PROPERLY REMOVE DEBRIS AND SEDIMENT FROM BMP'S AS THE PROJECT PROGRESSES.
- CONTRACTOR TO VERIFY ALL QUANTITIES INCLUDING EARTHWORK VOLUMES WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- UNDERGROUND PIPES AND CONDUITS ARE PLOTTED FROM STRUCTURE TO STRUCTURE OR FROM FIELD MARKINGS OR UTILITY PLANS WHERE APPLICABLE. EXACT LOCATION OF UNDERGROUND IMPROVEMENTS CANNOT BE DETERMINED WITHOUT EXCAVATING AND COMPLETELY EXPOSING THEM.
- THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THE PLAN HAVE BEEN OBTAINED BY FIELD CHECKS AND SEARCHES OF AVAILABLE RECORDS AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR UPON THE PREMISES. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY LOCATIONS WITH UTILITY COMPANIES BEFORE MAKING EXCAVATIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS WHETHER SHOWN ON THESE PLANS OR NOT.
- THESE PLANS, AS PREPARED BY BAYER BECKER, DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE DEMOLITION/CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF BAYER BECKER'S REGISTERED PROFESSIONAL HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY U.S. OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL CONTRACTORS INCLUDING BUT NOT LIMITED TO THE CLEARING, EXCAVATION, PAVING, PLUMBING, ELECTRICAL, SIGN, FIRE PROTECTION, HVAC CONTRACTORS SHALL BE UNDER THE DIRECTION OF THE GENERAL CONTRACTOR OR OWNER WHO WILL BE HELD RESPONSIBLE FOR THE COORDINATION OF ALL WORK ON THIS PROJECT AND THE PROPER EXECUTION OF THE SAME.

SITE PLAN NOTES:

- PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
- HANDICAP CURB RAMPS SHALL MEET ALL LOCAL AND ADA REQUIREMENTS.
- SAWCUT EXISTING PAVEMENT TO CREATE BUTT JOINT ALONG EXISTING PAVEMENT OR ALONG PROPOSED CURBS THAT ABUT EXISTING PAVEMENT. IF REPLACEMENT OF EXISTING PAVEMENT IS REQUIRED, REPLACE MINIMUM 2' WIDTH PAVEMENT TO PROVIDE FOR PROPER COMPACTION.
- BUILDING FOOTPRINT SHOWN IS APPROXIMATE. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- PARKING SPACE MARKINGS TO BE 4" WIDE WHITE PAINTED STRIPES.

OWNERS:

Bobcat Enterprises, Inc.
 9605 Princeton-Glendale Road
 Hamilton, OH 45011

SITE STATISTICS:

Zoning: Industrial One (I-1)
 Site Area: 8.241 Acres

Building Heights:

Sales Parapet = 22'
 Service Parapet = 30'

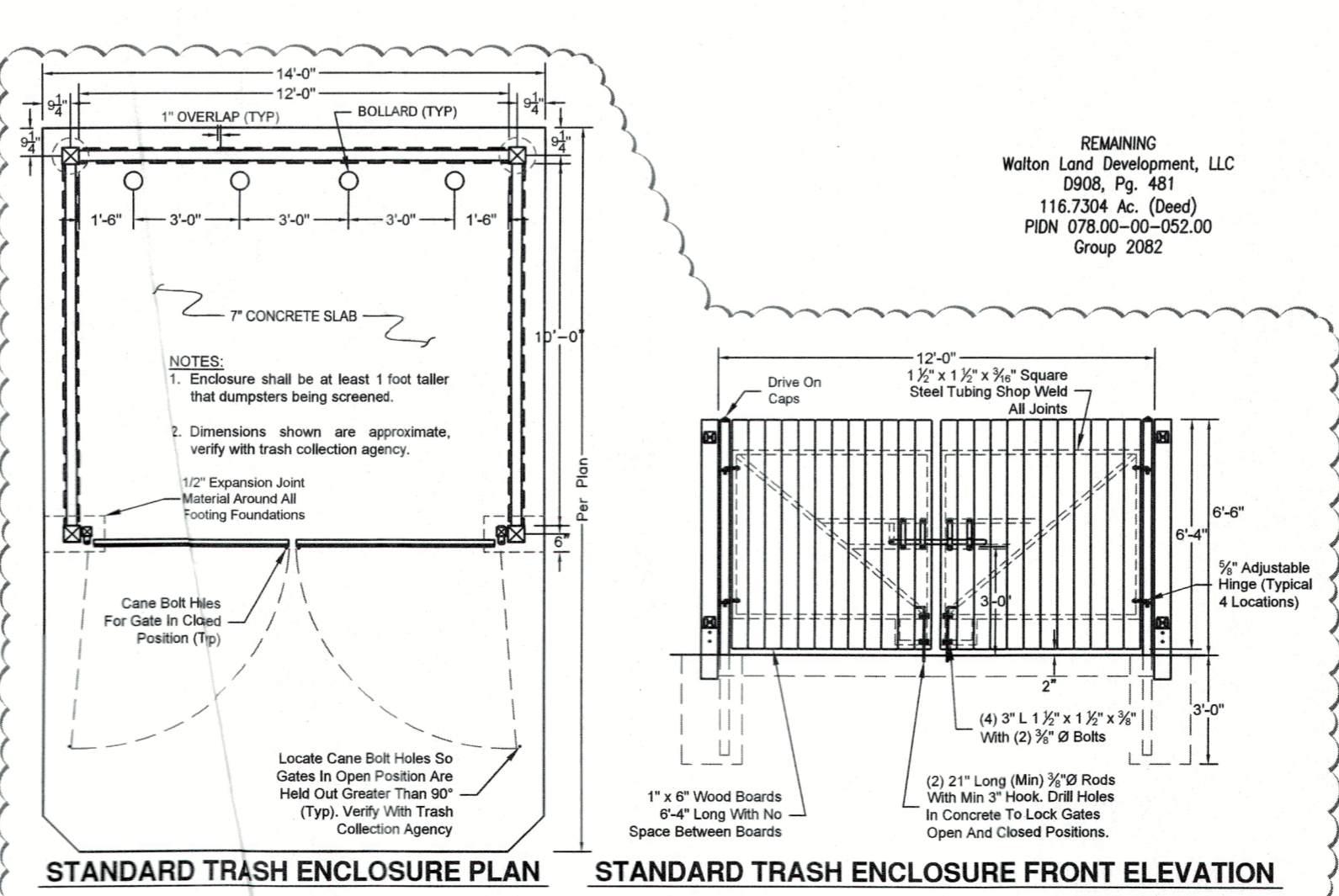
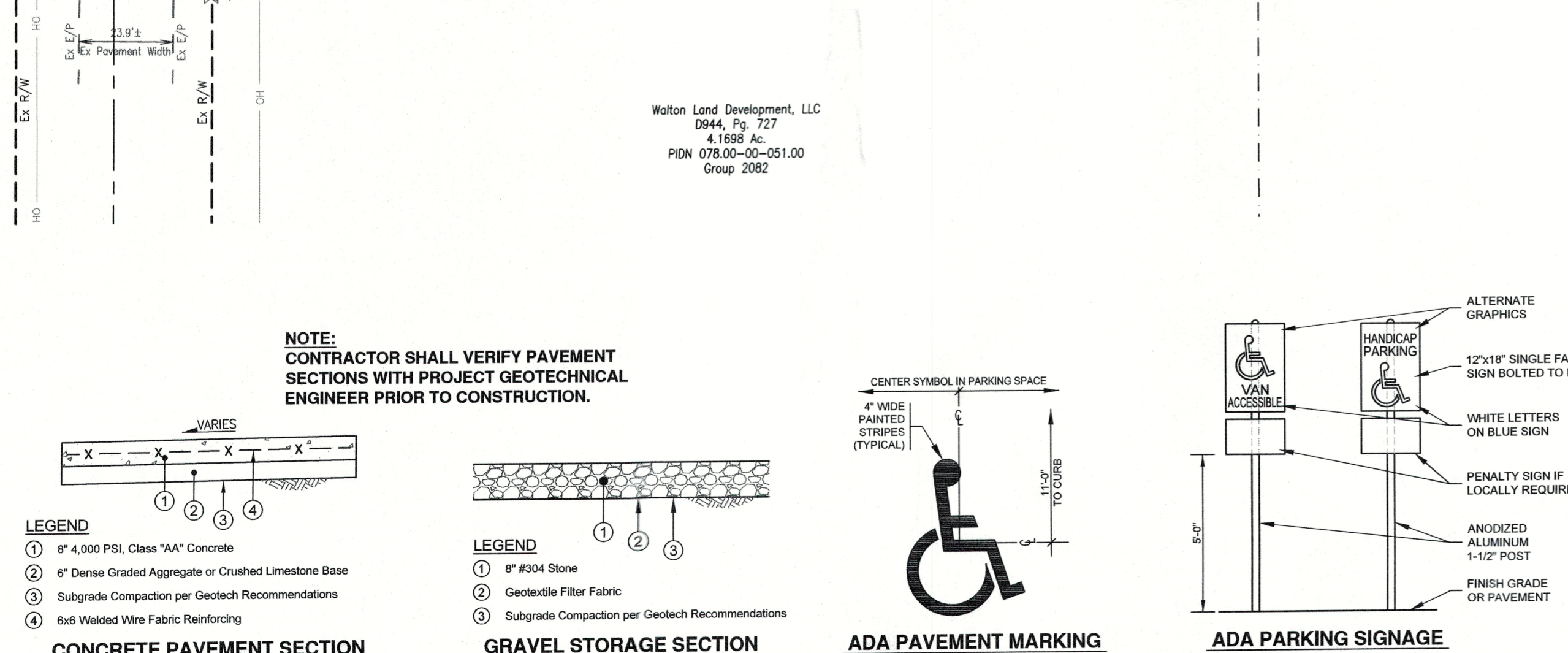
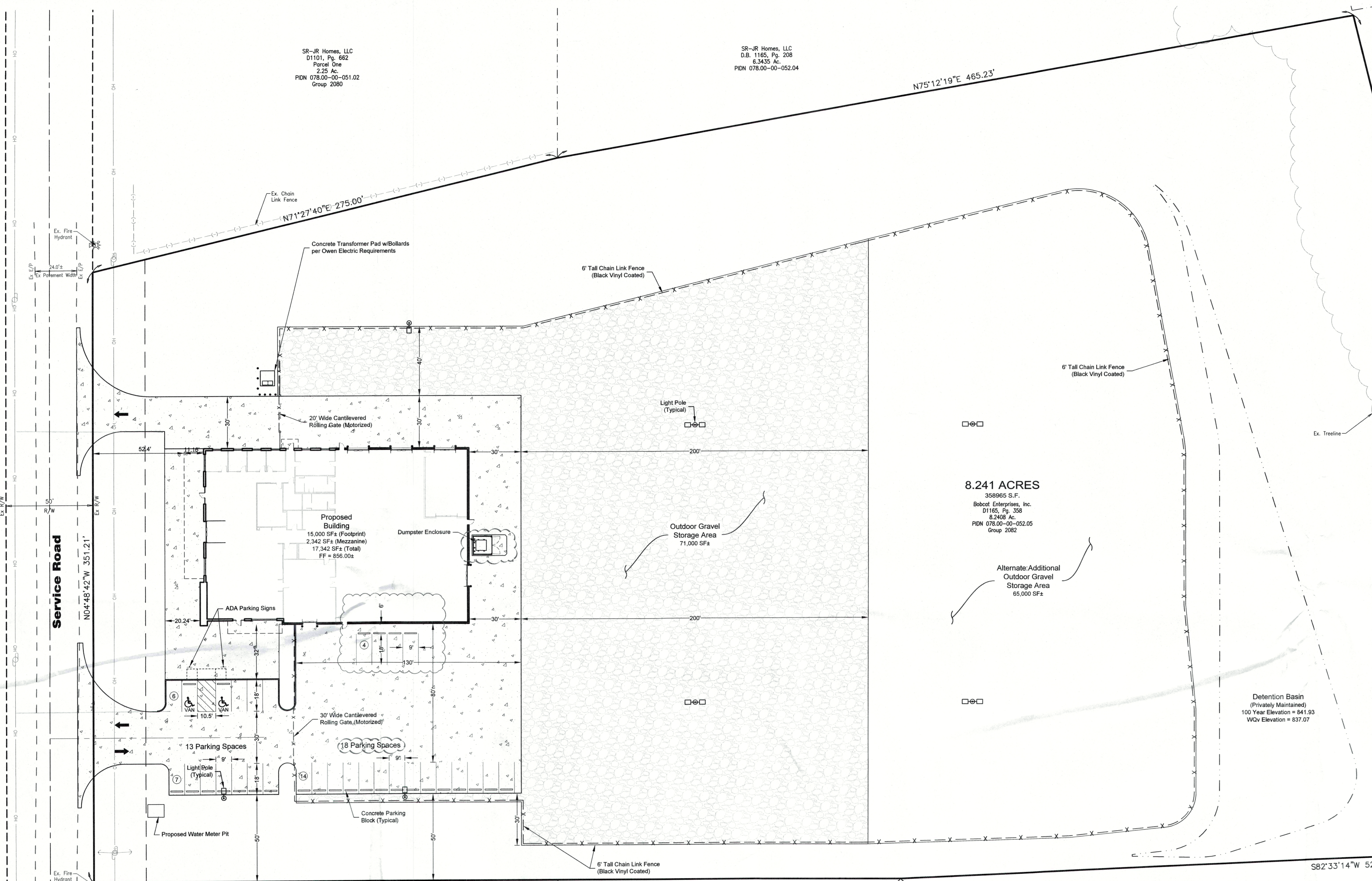
PARKING CALCULATIONS:

Category	Requirement	Count
REQUIRED PARKING:	Sales & Office: 1 Space / 250 GFA	= 16.0 Spaces
	1st Floor Sales & Office = 4,000 sf / 250	
Parts & Service:	1 Space per 2 Employees on Largest Shift OR	= TBD Spaces
	1 Space / 1,000 GFA, whichever is greater	
Break, Training & Locker Rooms = 1,300 sf / 1,000		= 1.3 Spaces
	Parts & Service = 9,700 sf / 1,000	= 9.7 Spaces
Mezzanine (Storage & Mech./HVAC) = 2,342 sf / 1,000		= 2.3 Spaces
	Total Parts & Service	= 13.3 Spaces
Company Vehicles:		= 1.0 Spaces
	Total	= 30.3 Spaces
PROVIDED PARKING:	Standard	= 29 Spaces
	ADA Spaces	= 2 Spaces
Total		= 31 Spaces

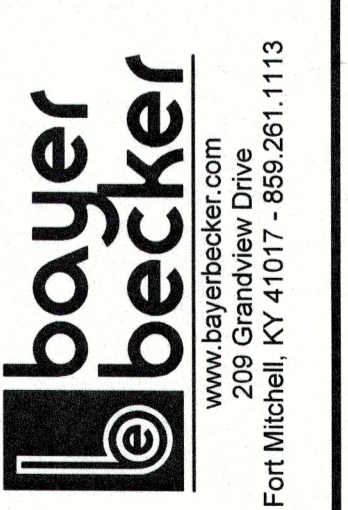
Required Accessible (ADA) Spaces for 26 to 50 = 2 Spaces

INDEX TO PLAN SHEETS

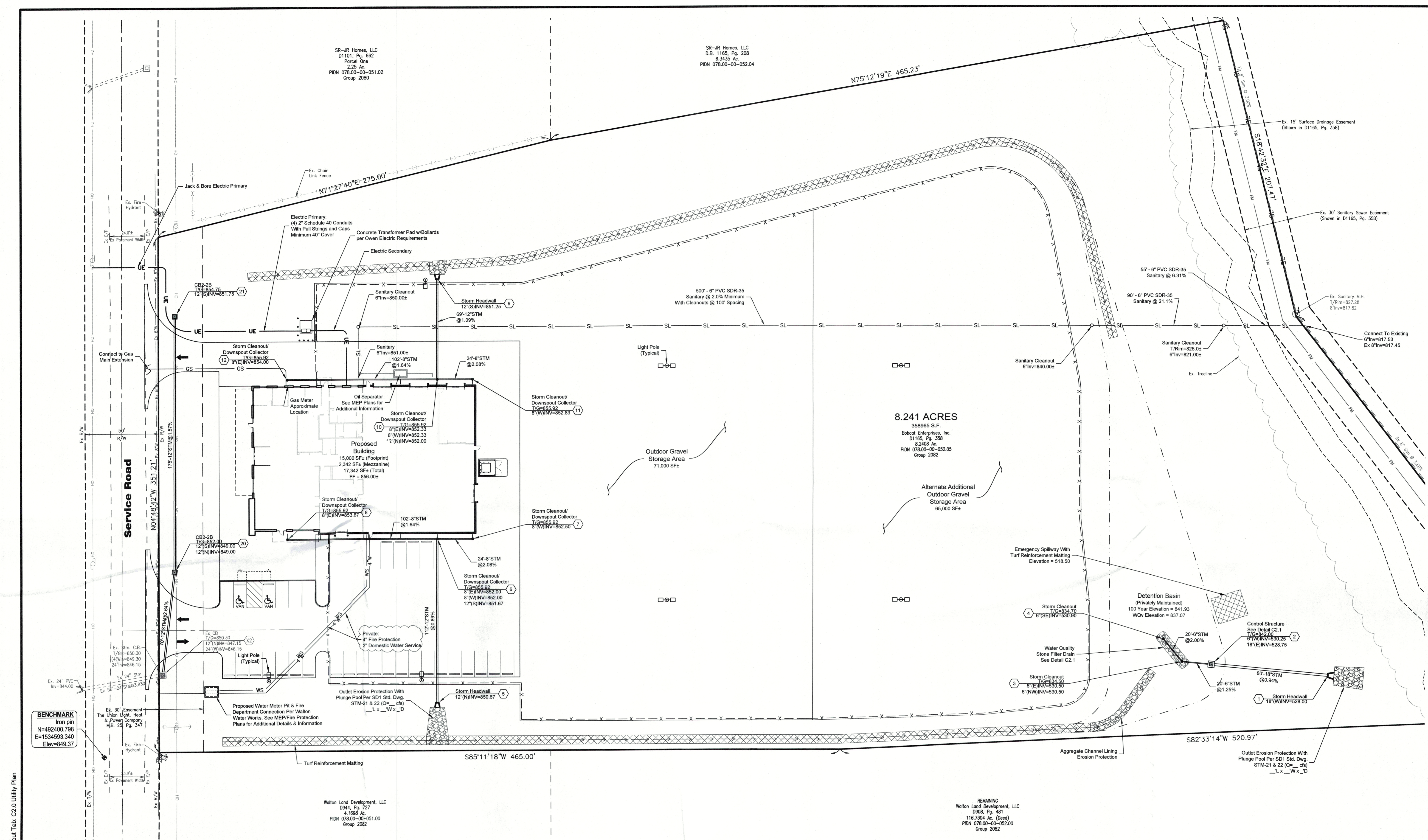
SHEET	DRAWING TITLE	ISSUE DATE	REV. NO.	REV. DATE
C1.0	SITE PLAN	07-01-22	1	08-19-22
C2.0	UTILITY PLAN	07-01-22	1	08-19-22
C2.1	UTILITY DETAILS	07-01-22	1	08-19-22
C3.0	GRADING PLAN	07-01-22	1	08-19-22
C4.0	STORM WATER POLLUTION PREVENTION PLAN	07-01-22	1	08-19-22
C4.1	SWPPP NOTES & DETAILS	07-01-22	1	08-19-22
L1.0	PLANTING PLAN	07-01-22	1	08-19-22
L2.0	PLANTING NOTES & DETAILS	07-01-22	1	08-19-22



Bobcat Enterprises, Inc.
Sales & Service
 13350 Service Road
 Walton, KY 41094
 Boone County, Kentucky




Drawing: 21-0212.CD
 Drawn by: TDT
 Checked By: MDW
 Issue Date: 07-01-22
 Sheet: **C1.0**

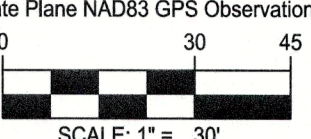


- UTILITY NOTES:**
- ALL PROPOSED UTILITIES ARE PRIVATE UNLESS OTHERWISE SHOWN.
 - ALL STRUCTURE ELEVATIONS SHOWN ARE AT THE CENTER OF STRUCTURE. WALL OPENING ELEVATIONS VARY BASED ON PIPE SLOPE.
 - PIPE LENGTHS AND SLOPES ARE BASED ON CENTER OF STRUCTURE TO CENTER OF STRUCTURE LENGTHS.
 - CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY OWNER FOR INSPECTIONS.
 - CONTRACTOR SHALL VERIFY LOCATION & DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION OF PROPOSED UTILITIES.
 - A MINIMUM OF 3'-0" COVER SHALL BE MAINTAINED ON ALL WATER & SERVICE LINES.
 - CONTRACTOR SHALL INSPECT, CLEAN & VERIFY THAT ALL EXISTING UTILITY SERVICES THAT ARE TO REMAIN IN SERVICE ARE IN OPERATIONAL CONDITION.
 - STORM & SANITARY BUILDING SEWERS AND TAPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT BUILDING CODES, ALL LOCAL AND STATE RULES & REGULATIONS.
 - DOWNSPOUT COLLECTORS SHALL BE MINIMUM 8" DIAMETER PVC SDR 35, OR MATCH BUILDING DOWNSPOUT SIZE IF LARGER AND SHALL HAVE A MINIMUM SLOPE OF 2%, UNLESS OTHERWISE SHOWN.
 - UNLESS OTHERWISE SHOWN, ALL SANITARY LATERAL MATERIAL REQUIRED SHALL BE 6" DIAMETER PVC SDR 35 AND SHALL HAVE A MINIMUM SLOPE OF 2%. CONTRACTOR TO VERIFY EXISTING SANITARY SEWER & LATERAL ELEVATION.
 - ALL UTILITY STRUCTURES & CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL HAVE TRAFFIC BEARING GRATES, LIDS AND FRAMES.
 - UTILITY CROSSINGS SHALL BE PER THE UTILITY PROVIDERS SPECIFICATIONS WITH THE MORE STRINGENT REQUIREMENTS GOVERNING.
 - THE PLUMBING CONTRACTOR SHALL VERIFY SANITARY SEWER DEPTH AND SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SLOPE OF THE BUILDING'S SEWER TOWARD THE PUBLIC SEWER IN STRICT ACCORDANCE WITH THE GOVERNING AUTHORITIES PRIOR TO BUILDING CONSTRUCTION.
 - PROVIDE GRANULAR CLASS B PIPE BEDDING THROUGHOUT. BACKFILL ALL TRENCHES UNDER SLABS, WALKS, AND PAVED AREAS WITH DENSE GRADED AGGREGATE OR CRUSHED STONE. ALL EXCAVATING AND BACKFILLING IS BY INDIVIDUAL CONTRACTORS (PLUMBING, ELECTRICAL, ETC.).
 - COMPACTED FILLS ARE TO BE MADE TO A MINIMUM OF THREE (3) FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO CUTTING OF TRENCHES FOR PLACEMENT OF SAID SEWERS. ALL FILLS SHALL BE CONTROLLED, COMPACTED AND INSPECTED BY AN APPROVED TESTING LABORATORY OR AN INSPECTOR FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
 - EACH UTILITY CONTRACTOR IS TO ADJUST ANY UTILITY ELEMENT INTENDED TO BE FLUSH WITH GRADE (CLEANOUTS, MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
 - STM SHOWN ON PLAN REFERS TO ALUMINIZED STEEL TYPE II ULTRA-FLO PIPE, POLYVINYL CHLORIDE PIPE (PVC) OR HIGH DENSITY POLYETHYLENE SMOOTH LINED PIPE (HDPE) MEETING THE MANUFACTURERS SPECIFICATIONS BASED ON COVER AND SURCHARGE.
 - ALUMINIZED STEEL TYPE II ULTRA-FLO PIPE (#0.012 OR LESS) SHALL BE PER THE MANUFACTURERS SPECIFICATIONS FOR GAGE BASED ON COVER AND SURCHARGE.
 - PVC PIPE SHALL BE TYPE "B" CONDUIT ASTM F 949, ASTM F 794 OR ASHTO M 304, MEETING THE MANUFACTURERS SPECIFICATIONS FOR WALL THICKNESS BASED ON COVER AND SURCHARGE.
 - CASP SHOWN ON PLAN SHALL BE CORRUGATED ALUMINIZED STEEL TYPE II PIPE (#0.024), MEETING THE MANUFACTURERS SPECIFICATIONS FOR GAGE BASED ON COVER AND SURCHARGE.
 - HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE CORRUGATED SMOOTH LINED PIPE, ASTM M 294 TYPE S OR SP MEETING THE MANUFACTURERS SPECIFICATIONS FOR WALL THICKNESS BASED ON COVER AND SURCHARGE.
 - STORM SEWER AS SHOWN TO BE PRIVATELY OWNED & MAINTAINED UNLESS NOTED AS "PUBLIC" WITH ASSOCIATED PROPOSED STORM SEWER EASEMENTS SHOWN.
- BUILDING / UTILITY SERVICE NOTES:**
- UTILITY/BUILDING CONNECTION LOCATIONS & ELEVATIONS SHOWN ARE APPROXIMATE. SEE ARCHITECTURAL PLANS FOR EXACT INFORMATION.
 - CONTRACTOR TO VERIFY SIZE & QUANTITY OF CONDUITS REQUIRED FOR UNDERGROUND ELECTRIC, TELEPHONE & CABLE SERVICE.
 - IF LOWEST LEVEL ELEVATION IS BELOW RIM ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.
 - SITE LIGHTING SHOWN IS APPROXIMATE. SEE ELECTRICAL PLANS FOR FIXTURE TYPE, POLE AND BASE INFORMATION.
- PROPOSED STORM SEWER LEGEND**
- STM = HDPE OR PVC ULTRA-FLO PIPE PVC = POLYVINYL CHLORIDE TYPE B PIPE (M=0.009 OR LESS)
- HDPE = HIGH DENSITY POLYETHYLENE PIPE (HDPE) CORRUATED SMOOTH LINED PIPE, TYPE S CONDUIT. (M=0.012 OR LESS)
- ULTRA = ALUMINIZED STEEL TYPE II ULTRA-FLO PIPE. (M=0.012 OR LESS)
- ALL MATERIALS SHALL MEET MANUFACTURERS SPECIFICATIONS FOR WALL THICKNESS (GAGE) BASED ON COVER AND SURCHARGE.
- Drainage Note:**
All drainage features shall be owned and maintained by the property owner. Owner shall grant access to City of Walton for long-term inspections of post-construction BMPs.
- Buried Utilities Note:**
Above ground features have been field located. Buried utilities have been shown based upon field evidence, project utility plans, and/or information obtained from utility companies. The utilities shown may or may not be shown in their actual location. Other buried utilities might exist on the subject property which are not shown on this drawing.


Plot time: Aug 19, 2022 - 1:07pm
Drawing name: J:\2021\12-0212\CV\DWG\21-0212 CD.dwg - Layout Tab: C2.0 Utility Plan



Basis of Bearing:
State Plane NAD83 GPS Observations



SCALE: 1" = 30'



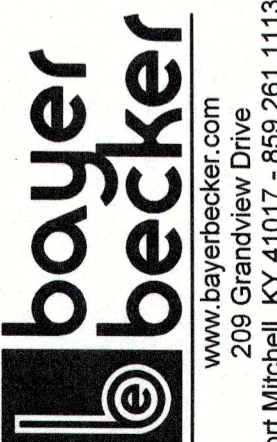
08-11-22

Item	Revision Description	Date	Drawn	Chk.
1	Revisions per BOPC	08-19-22	TDT	
2				
3				
4				
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9				

Bobcat Enterprises, Inc.
Sales & Service

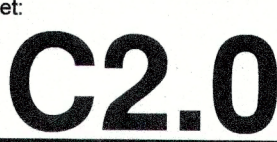
13350 Service Road
Walton, KY 41094
Boone County, Kentucky

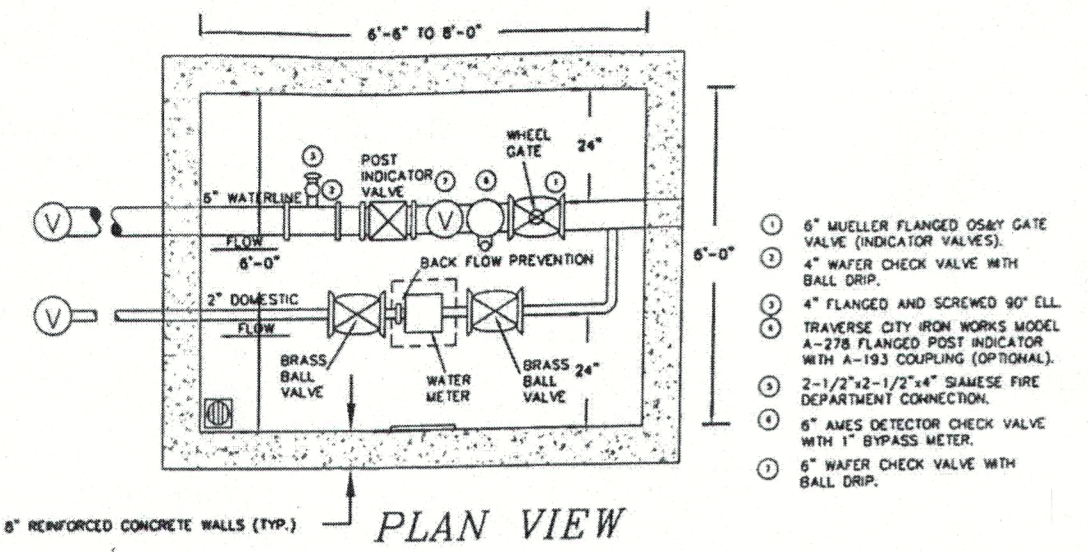
UTILITY PLAN



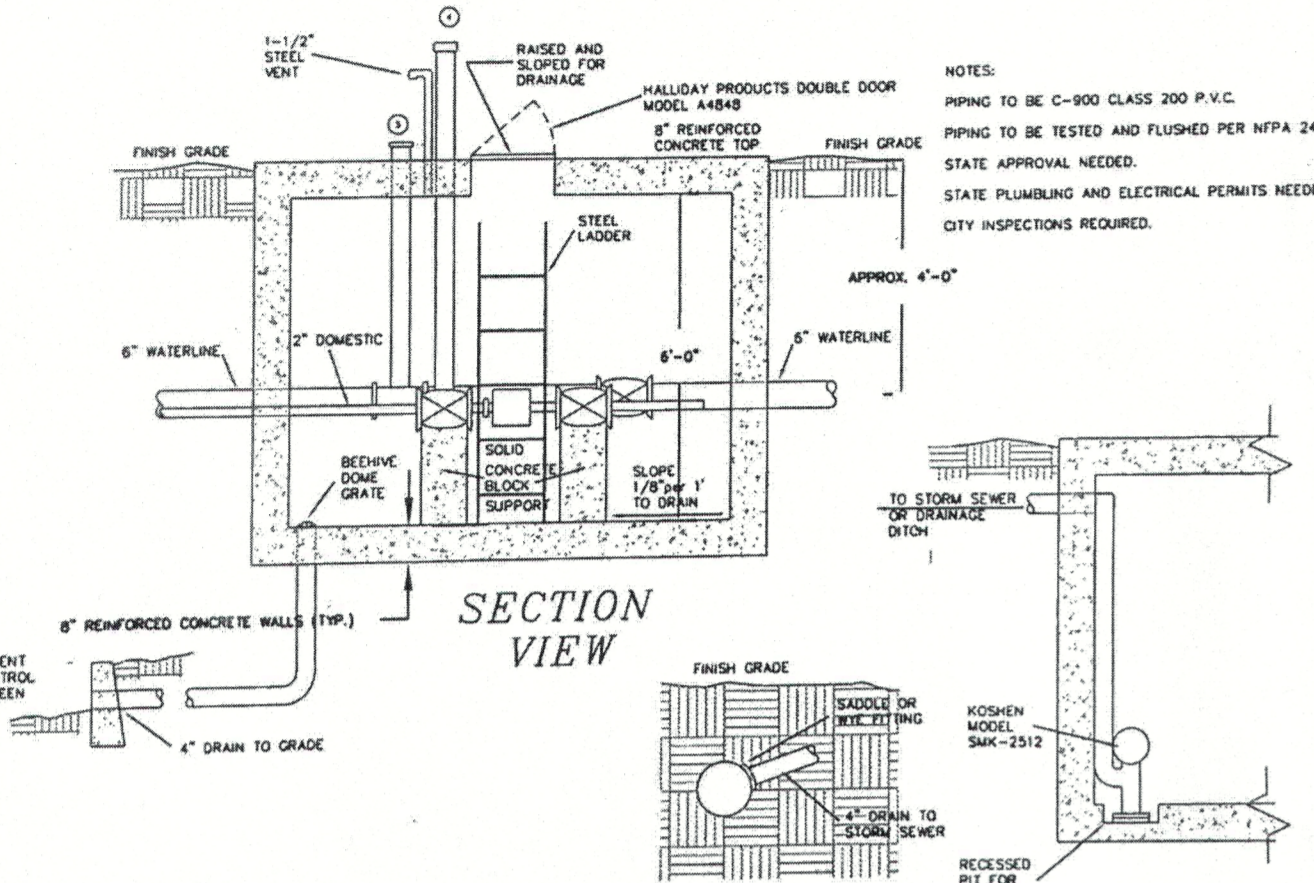
www.bayerbecker.com
209 Grandview Drive
Fort Mitchell, KY 41017 - 659.261.1113

Drawing: 21-0212 CD
Drawn by: TDT
Checked by: MDW
Issue Date: 07-01-22





- 1. 6" Mueller Flanged OSG Gate Valve (Indicator Valves)
- 2. 6" Water Check Valve with Ball Drop
- 3. 6" Flanged and Screwed 90° Ell
- 4. 6" Flanged and Screwed 90° Ell
- 5. 6" Flanged and Screwed 90° Ell
- 6. 6" Flanged and Screwed 90° Ell
- 7. 6" Flanged and Screwed 90° Ell
- 8. 6" Flanged and Screwed 90° Ell
- 9. 6" Flanged and Screwed 90° Ell
- 10. 6" Flanged and Screwed 90° Ell



**CITY OF WALTON, KENTUCKY
WALTON WATER WORKS
METER PIT DETAIL**

MUELLER FIRE HYDRANT BSR/ASR NATIONAL STANDARD THREAD OPEN LIFT 423 ARE THE REQUIRED HYDRANT ASSEMBLY WITHIN THE CITY OF WALTON CITY LIMITS.

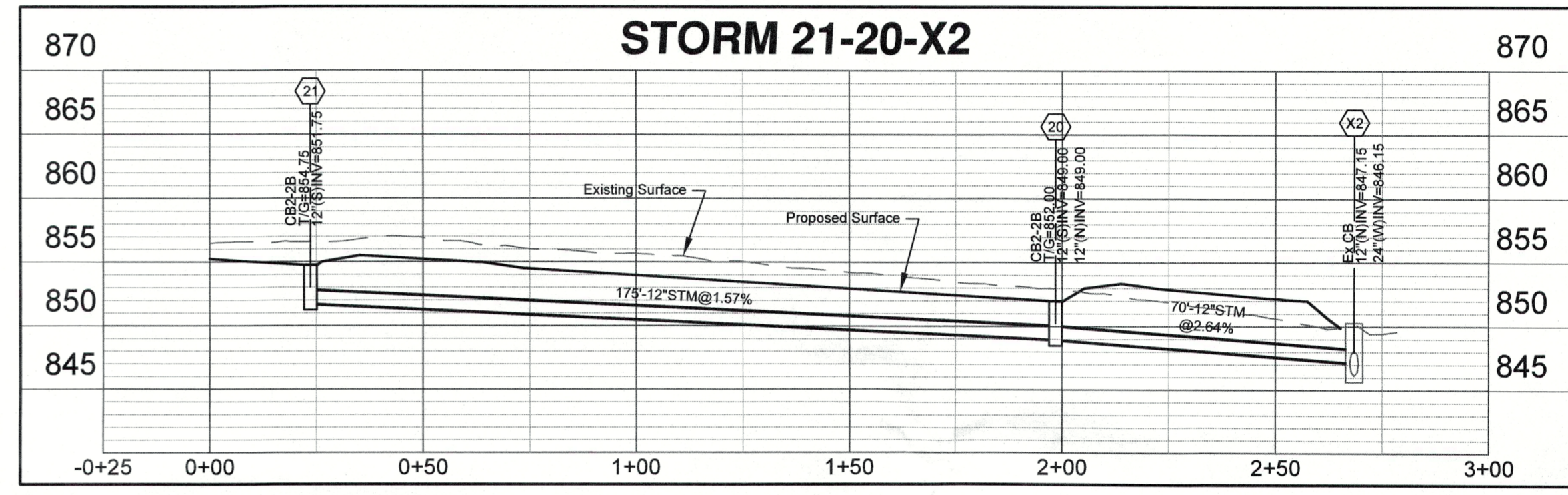
DRAWN BY:	KCH
DATE:	NOV 96
SCALE:	NTS
FILE NO.:	

D. Pipe Diameter (in)	Lowest Value	Intermediate Values to Interpolate From	Highest Value
12	12	12	12
14	14	14	14
16	16	16	16
18	18	18	18
20	20	20	20
22	22	22	22
24	24	24	24
26	26	26	26
28	28	28	28
30	30	30	30
32	32	32	32
34	34	34	34
36	36	36	36
38	38	38	38
40	40	40	40
42	42	42	42
44	44	44	44
46	46	46	46
48	48	48	48
50	50	50	50
52	52	52	52
54	54	54	54
56	56	56	56
58	58	58	58
60	60	60	60

NOTE: THIS DETAIL APPLIES WHEN THE STORM SEWER OUTLET PIPE DISCHARGES ON A SLOPE OF GREATER THAN OR EQUAL TO 10 PERCENT (5.7 FEET HORIZONTAL TO 1 FOOT VERTICAL).

NOTE:

- FLOW RATES FOR DESIGN SHALL BE BASED ON THE 10-YEAR 24-HOUR DESIGN STORM PEAK FLOW RATE.
- OUTLET EROSION PROTECTION IN THE FORM OF A RIP-RAP APRON SHALL REMAIN STRAIGHT THROUGHOUT ITS ENTIRE LENGTH.
- ENSURE THAT RIP-RAP CONSISTS OF A WELL-GRADED MIXTURE OF STONE. LARGER STONE SHOULD BE PREDOMINANT, WITH SUFFICIENT SMALLER SIZES TO FILL THE VOIDS BETWEEN THE STONES. RIP-RAP SHALL BE ANGULAR IN SHAPE, NOT ROUNDED.
- THE DIAMETER OF THE LARGEST STONE SIZE SHALL BE NO GREATER THAN 1.5 TIMES THE D₅₀ SIZE.
- THE MINIMUM THICKNESS OF RIP-RAP SHALL BE 2.0 TIMES THE D₅₀ SIZE.
- A NON-WOVEN GEOTEXTILE FILTER FABRIC SHALL BE INSTALLED AROUND THE BOTTOM AND SIDES OF THE RIP-RAP TO PREVENT EROSION.



HGL NOTE:
THE PROPOSED STORM SEWER HAS BEEN SIZED IN EXCESS OF THE 25-YR STORM AND THE HGL WILL REMAIN IN THE PIPING FOR THE 25-YR STORM EVENT.

PIPE DIA. OR SHAPE	C	E	F	L	W	T	CLASS	REIN. STEEL
12"	1'-9"	2'-8"	2'-3"	3'-4"	4'-0"	2"	0.58	7
15"	2'-0"	2'-9"	2'-9"	4'-2"	4'-9"	2 1/4"	0.75	7
18"	1'-9"	3'-0"	2'-6"	3'-8"	4'-9"	2 1/2"	0.88	8
21"	2'-3"	3'-0"	3'-6"	4'-8"	5'-3"	2 1/2"	1.22	8
24"	2'-0"	3'-6"	3'-0"	4'-0"	5'-6"	3 1/4"	1.14	9
27"	2'-6"	3'-3"	4'-0"	5'-0"	6'-0"	3 1/4"	1.07	9
30"	2'-3"	3'-0"	3'-6"	4'-6"	5'-0"	3"	1.35	9
36"	2'-6"	4'-0"	4'-0"	5'-0"	6'-6"	3 1/4"	1.30	9
42"	3'-0"	3'-9"	3'-0"	5'-0"	7'-0"	3 1/2"	1.57	10
48"	2'-9"	4'-6"	4'-3"	5'-3"	7'-3"	3 1/2"	1.51	10

EMERGENCY SPILLWAY SECTION
NOT TO SCALE

TEMPORARY STAND PIPE DETAIL
NOT TO SCALE

CONTROL STRUCTURE DETAIL
NOT TO SCALE

POST CONSTRUCTION STORM WATER QUALITY STONE FILTER DRAIN BMP DETAIL
NOT TO SCALE

Plot time: Aug 19, 2022, 1:06pm
Drawing name: J:\2021\21-0212\CD.dwg - Layout Tab: C2.0 Utility Plan

North Arrow
Basis of Bearing: State Plane NAD83 GPS Observations
Scale: 1" = 30'

STATE OF KENTUCKY
ANTHONY D. TUTTLE
23822
02-11-22

Item	Revision Description	Date	Drawn	CHK
1	Revisions per BDCP	08/19/22	TDT	
2				
3				
4				
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6				
7				
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9				

Bobcat Enterprises, Inc.
Sales & Service
13350 Service Road
Walton, KY 41084
Boone County, Kentucky
UTILITY DETAILS

bayer becker
www.bayerbecker.com
1200 W. Walnut Street
Fort Mitchell, KY 41017-6592/61113

Drawing: 21-0212-CD
Drawn by: TDT
Checked by: MDW
Issue Date: 07-01-22
Sheet: C2.1

GRADING NOTES:

- ALL PROPOSED CONTOURS & SPOT ELEVATIONS ARE INTENDED TO BE FINAL GRADES AND REFLECT PAVEMENT, FINISH FLOOR OR TOP SOIL PLACEMENT UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL INSTALL EROSION/SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) WITHIN 24 HOURS OF THE START OF LAND DISTURBING ACTIVITIES.
- BEST MANAGEMENT PRACTICES (BMPs) SHOWN ON PLANS SHALL BE REVISED AND/OR ADDITIONAL BMPs IMPLEMENTED AS DEEMED NECESSARY. SITE CONTRACTOR SHALL PROPERLY REMOVE DEBRIS AND SEDIMENT FROM BMPs AS THE PROJECT PROGRESSES.
- CONTRACTOR SHALL CHECK BMPs EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A 0.5 INCH RAIN EVENT. CONTRACTOR SHALL KEEP A LOG PER EPA GUIDELINES.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO THE DISTURBED AREAS ON ANY PORTION OF THE SITE WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED OR WHERE AREAS WILL BE LEFT IDLE FOR 14 DAYS OR LONGER.
- CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO CLEARING ANY HEALTHY MATURE TREES, 6" DIAMETER OR LARGER, WITHIN 15' OF THE CLEARING LIMITS SHOWN TO DETERMINE IF THE TREES SHOULD BE SAVED.
- REFER TO AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT FOR THIS PROJECT. SOILS REPORT IS PROVIDED FOR CONTRACTOR'S INFORMATION AND IS NOT TO BE DEEMED ALL INCLUSIVE. CONTRACTOR TO SECURE AT HIS EXPENSE, ANY ADDITIONAL REPORTS HE FEELS NECESSARY TO DETERMINE CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES, AND COSTS.
- ALL FILL ON THE PROPERTY SHALL BE ADEQUATELY COMPACTED TO PRODUCE A SURFACE SATISFACTORY FOR THE PROPER INSTALLATIONS OF FOUNDATIONS, SLABS OR BASE COURSE AND PAVING BEFORE COMMENCING PAVING WORK. THE PAVING CONTRACTOR MUST MAKE CERTAIN THAT THE SURFACES TO BE COVERED ARE IN PROPER CONDITION. SURFACES NOT ACCEPTABLE SHALL BE REPORTED TO THE OWNER IMMEDIATELY. THE APPLICATION OF PAVING MATERIALS SHALL BE HELD TO BE IN ACCEPTANCE TO THE SURFACES AND WORKING CONDITIONS OF THE PAVING CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR THE RESULTS REASONABLE TO BE EXPECTED.
- ALL MUD OR DEBRIS TRACKED ON EXISTING STREETS SHALL BE CLEANED AT THE END OF EACH DAY OR AS DIRECTED BY THE CITY, COUNTY OR THE OWNER. ANY COSTS INCURRED BY THE CITY TO ENSURE THIS IS ACCOMPLISHED WILL BE CHARGED TO THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL.
- IN ADDITION TO ANY TEMPORARY EROSION, MUD, AND DEBRIS CONTROL DETAILS AND NOTES SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT TRAPS & BASINS, EARTH DIKES, TEMPORARY OR PERMANENT SEEDING, MULCHING AND/OR MULCH NETTING OR ANY OTHER GENERALLY ACCEPTED METHODS TO PREVENT EROSION, MUD, AND DEBRIS FROM BEING DEPOSITED ON OTHER PROPERTY, ON NEWLY CONSTRUCTED OR EXISTING ROADS, OR INTO EXISTING SEWERS OR NEW SEWERS WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL CONTINUALLY MONITOR THE CONSTRUCTION PROGRESS AND MAKE ANY NECESSARY TEMPORARY ADJUSTMENTS TO MAINTAIN THIS CONTROL.
- ANY ADDITIONAL EXCAVATION OR FILL REQUIRED FOR CONSTRUCTION OF CONCRETE CURBS, BRICK PAVERS OR STAMPED CONCRETE ETC. SHALL BE PERFORMED BY THE CONTRACTOR RESPONSIBLE FOR SAID ITEMS.
- SITE EXCAVATION CONTRACTOR SHALL PLACE 6" OF TOP SOIL & SPREAD GRASS SEED ON ALL DISTURBED AREAS OUTSIDE OF THE VEHICLE USE AREAS.
- SEDIMENT BASINS SHALL BE CLEANED WHEN THEIR VOLUME HAS BEEN REDUCED BY 1/3.

Scale: 1" = 30'

0 30 45

STATE OF KENTUCKY
 ANTHONY D. TUTTLE
 23822
 08-11-22

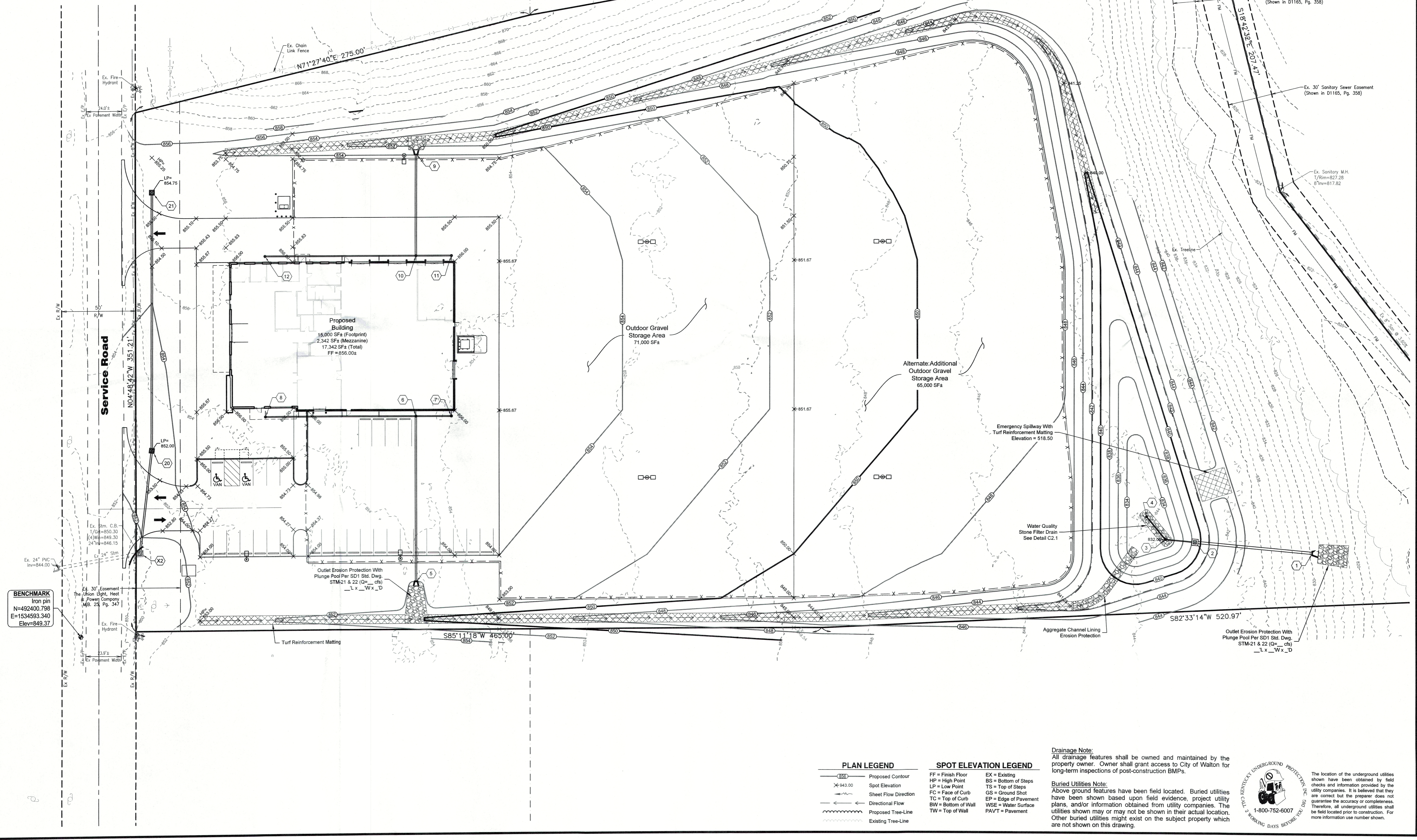
Item	Date	Divn:	Chk:	Revision Description
1	08-19-22	TDT		Revisions per BOPDC
2				
3				
4				
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6				
7				
8				

Bobcat Enterprises, Inc.
Sales & Service
 13350 Service Road
 Walton, KY 41094
 Boone County, Kentucky
GRADING PLAN

bayer becker
 www.bayerbecker.com
 209 Grandview Drive
 Fort Mitchell, KY 41017 - 855.261.1113

Drawing: 21-0212.CD
 Drawn by: TDT
 Checked by: MDW
 Issue Date: 07-01-22
C3.0

Plot time: Aug 19, 2022, 1:10pm
 Drawing name: J:\2021\21-0212\CD.dwg - Layout Tab: C3.0 Grading Plan



BENCHMARK
 Iron pin
 N=492400.798
 E=1534593.340
 Elev=849.37

- PLAN LEGEND**
- Proposed Contour
 - Spot Elevation
 - Sheet Flow Direction
 - Directional Flow
 - Proposed Tree-Line
 - Existing Tree-Line
- SPOT ELEVATION LEGEND**
- FF = Finish Floor
 - HP = High Point
 - LP = Low Point
 - FC = Face of Curb
 - TC = Top of Curb
 - BW = Bottom of Wall
 - TW = Top of Wall
 - EX = Existing
 - BS = Bottom of Steps
 - TS = Top of Steps
 - GS = Ground Shot
 - EP = Edge of Pavement
 - WSE = Water Surface
 - PAVT = Pavement

Drainage Note:
 All drainage features shall be owned and maintained by the property owner. Owner shall grant access to City of Walton for long-term inspections of post-construction BMPs.

Buried Utilities Note:
 Above ground features have been field located. Buried utilities have been shown based upon field evidence, project utility plans, and/or information obtained from utility companies. The utilities shown may or may not be shown in their actual location. Other buried utilities might exist on the subject property which are not shown on this drawing.



The location of the underground utilities shown have been obtained by field checks and information provided by the utility companies. It is believed that they are correct but the preparer does not guarantee the accuracy or completeness. Therefore, all underground utilities shall be field located prior to construction. For more information use number shown.

Plot time: Aug 16, 2022 - 11:09pm
 Drawing name: J:\2021\21-0212\CD\DWG\21-0212 CD.dwg - Layout Tab: C4.0 SWP3 Plan

NON-SEDIMENT POLLUTION CONTROLS		
ANTICIPATED LOCATION ON SITE	LOCATION USED OR STORED ON SITE	ANTICIPATED OUTFALL and/or RECEIVING AREA
Concrete	Used for pavement, walls, overflows and stairs. Store in concrete washout or elevated above grade.	Concrete wash water shall not be allowed to flow to streams, ditches, or any other water conveyance. A sump or pit with no potential discharge shall be constructed if needed to contain concrete wash water.
Vehicle Fueling	Install diked area and stabilized gravel pad around fuel stations and storage containers/tanks as they are moved on site.	Fuel shall not be allowed to flow to streams, ditches, or any other water conveyance. Remove contaminants per recommended removal techniques as they become apparent within diked areas.
Vehicle Maintenance/Service	Install diked area around storage containers and near stabilized surface away from drainage ways.	Inspect maintenance areas after performing maintenance and clean out and remove excess contaminants as needed.
Paints (enamel and latex)	Used for pavement striping. Store in sealable containers elevated above grade.	Paint shall not be allowed to flow to streams, ditches, or any other water conveyance. A sump or pit with no potential discharge shall be constructed if needed to contain pollutants.
Petroleum Based Products	Used for pavement, concrete, vehicle maintenance. Store in approved sealable containers within diked areas.	Shall not be allowed to flow to streams, ditches, or any other water conveyance. A sump or pit with no potential discharge shall be constructed if needed to contain pollutants.
Cleaning Solvent	Used for general site maintenance. Store in sealable containers elevated above grade.	Shall not be allowed to flow to streams, ditches, or any other water conveyance. A sump or pit with no potential discharge shall be constructed if needed to contain pollutants.
Fertilizers	Used for lawn stabilization. Store in sealable containers elevated above grade.	Shall not be allowed to flow to streams, ditches, or any other water conveyance. A sump or pit with no potential discharge shall be constructed if needed to contain pollutants.
Plasters/Grouts	Used for pavement and underground utilities. Store in elevated containers.	Shall not be allowed to flow to streams, ditches, or any other water conveyance. A sump or pit with no potential discharge shall be constructed if needed to contain pollutants.
Curing Compounds	Used for concrete applications. Store in sealable containers elevated above grade.	Shall not be allowed to flow to streams, ditches, or any other water conveyance. A sump or pit with no potential discharge shall be constructed if needed to contain pollutants.
Waste Disposal	All waste materials, trash and construction debris shall be collected and stored in a securely lidded metal dumpster. Install dumpsters in areas throughout site as needed during construction.	Dumpster locations as approved by waste management company. The dumpster will be emptied as needed and no construction waste material will be buried on site.
Hazard Waste	Install hazardous waste containment area as soon as materials are present on-site.	All hazardous waste material shall be disposed of according to local and/or State regulations and as recommended by the manufacturer.
Sanitary Waste	All sanitary waste shall be collected from portable units by a licensed sanitary waste management contractor as required by local, and/or State regulation.	Portable unit locations as approved by waste management company. The units will be emptied as needed.

POTENTIAL SOURCES OF SEDIMENT TO STORM WATER RUNOFF:	
ANTICIPATED LOCATION ON SITE	ANTICIPATED OUTFALL and/or RECEIVING AREA
Soil Piles	Site runoff at the perimeter will filter through silt fence and/or mulch berms at the edges and be directed to existing drainage courses. Rock check dams will be constructed along open channels. The interior of the site will drain to proposed storm sewers, with inlet protection, which flows to sediment traps and/or basins that eventually outlets to the existing drainage course.
Cut / Fill Slopes	Site runoff at the perimeter will filter through silt fence and/or mulch berms at the edges and be directed to existing drainage courses. Rock check dams will be constructed along open channels. The interior of the site will drain to proposed storm sewers, with inlet protection, which flows to sediment traps and/or basins that eventually outlets to the existing drainage course.
Dewatering Activities, Pumped Trench Excavations	Sediment-laden trench or groundwater must pass through a sediment trap/basin or be dewatered in place using a sump pit, filter bag or other comparable method prior to being discharged from the site.
Construction Entrances	Site runoff at the perimeter will filter through silt fence and/or mulch berms at the edges and be directed to existing drainage courses. Rock check dams will be constructed along open channels. The interior of the site will drain to proposed storm sewers, with inlet protection, which flows to sediment traps and/or basins that eventually outlets to the existing drainage course.

SWPPP NOTES

TYPE OF CONSTRUCTION ACTIVITY: Site Work for Building.

TOTAL SITE AREA: 8.24 Acres

TOTAL DISTURBED AREA: 6.2 Acres

IMPERVIOUS AREA: 4.3 ACRES
 PERVIOUS AREA: 3.94 ACRES
 PERCENT IMPERVIOUS AREA (%): 52%

RUNOFF COEFFICIENTS

PRE-CONSTRUCTION: CN = 74
 POST-CONSTRUCTION: CN = 86

SOIL TYPES:

FcC - Faywood Silty Clay Loam, 6 to 12 percent slopes
 FdD3 - Faywood Silty Clay Loam, 12 to 20 percent slopes, severely eroded
 NIB - Nicholson Sil Loam, 2 to 6 percent slopes

PRIOR LAND USE: Vacant Land

RECEIVING WATERS: Unnamed Tributary to McCoy's Fork

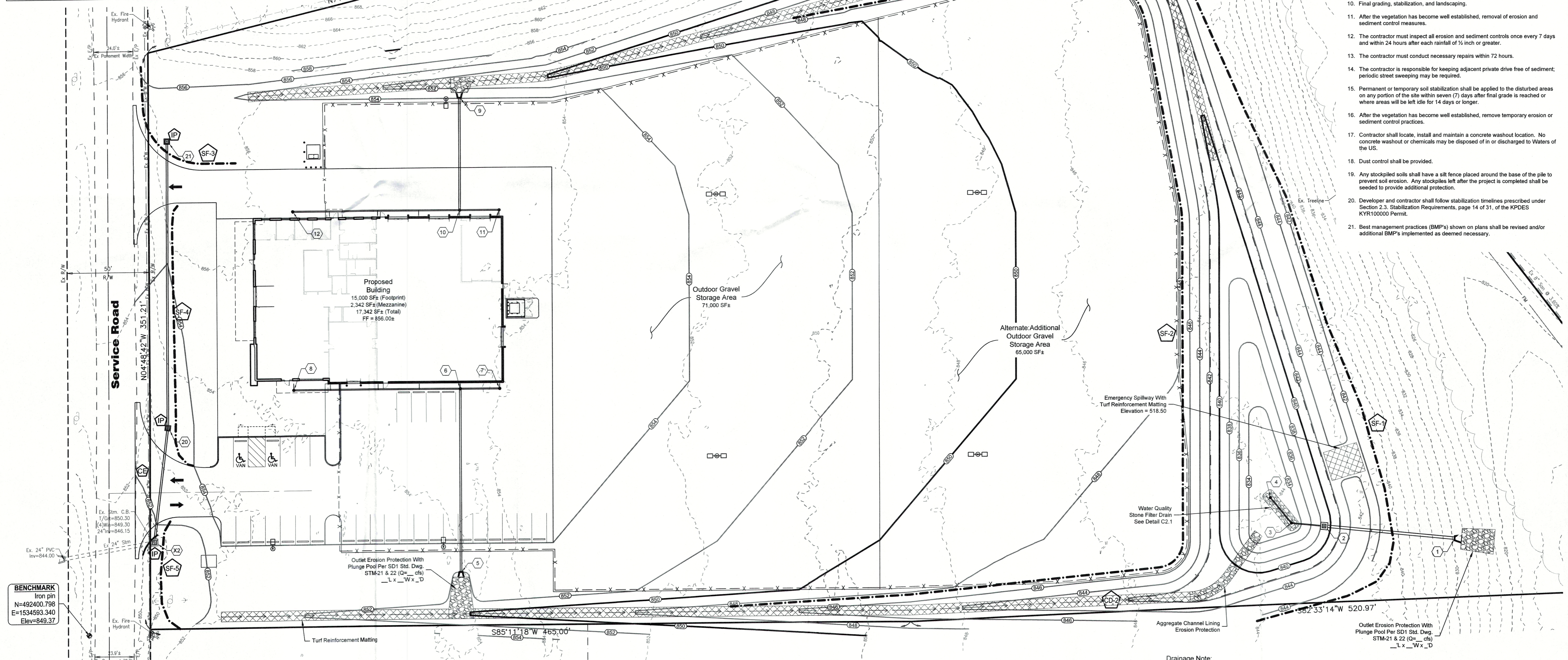
- SEEDING AND MULCHING**
 Spread 4 to 6 inches of topsoil.
 Fertilize according to soil test (or apply 10 lb./1000 sq. ft. of 20-10-10 or 10-10-10 fertilizer).
 Seed with an appropriate mix for the site (see table.) Rake lightly to cover seed with 1/4" of soil.
 Roll lightly.
 Mulch with straw (70-90 lb. or one bale per 1000 sq. ft.)
 Anchor mulch by punching 2 inches into the soil with a dull, weighted disk or by using netting or other measures on steep slopes, or windy areas. Water gently every day or two to keep soil moist. Less watering is needed once grass is 2 inches tall.
- SODDING**
 Spread 4 to 6 inches of topsoil.
 Fertilize according to soil test (or apply 10 lb./1000 sq. ft. of 20-10-10 or 10-10-10 fertilizer).
 Lightly water the soil.
 Lay sod. Tamp or roll lightly.
 On slopes, lay sod starting at the bottom and work toward the top. Peg each piece down in several places.
 If construction is completed after October 1, seeding or sodding may be delayed. Applying mulch or temporary seed (such as rye or winter wheat) is recommended if weather permits. See dormant seeding specifications on SWPPP Detail sheet. Silt fences and wood chip barriers must be maintained until final seeding or sodding is completed in spring March 15-May 31.
- PRESERVING EXISTING VEGETATION**
 Wherever possible, preserve existing trees, shrubs, and other vegetation.
 To prevent root damage, do not grade, place soil piles, or park vehicles near trees marked for preservation.
 Place plastic mesh or snow fence barriers around trees to protect the area below their branches.

- SILT FENCE OR WOOD CHIP BARRIER**
 Put up before any other work is done.
 Install on downslope side(s) of site with ends extended up sideslopes a short distance.
 Place parallel to the contour of the land to allow water to pond behind fence.
 Entrench 4 inches deep.
 Stake (2 stakes per bale OR 1 stake every 3 feet for silt fence.)
 Leave no gaps between bales or sections of silt fence. Inspect and repair once a week and within 24 hours after every 1/2 inch rain. Remove sediment if deposits reach half the fence or straw bale height.
 Maintain until a lawn is established.
- GRAVEL DRIVE (Construction Entrance)**
 Install a single access drive using 2 to 5 inch aggregate over a non-woven geotextile material.
 Lay gravel 6 inches deep and a minimum 25 feet wide and 50 feet in length from the street into the site.
 Use to prevent tracking dirt onto the road by all vehicles.
 Maintain throughout construction until driveway is paved.
 Park all construction vehicles on the street and off of the site.

SEDIMENT CLEANUP
 By the end of each work day, sweep or scrape up soil tracked onto the road.
 At the end of the next work day after a storm, clean up soil washed off-site, and check straw bales and silt fence for damage or sediment buildup.



- CONSTRUCTION SEQUENCE AND EROSION CONTROL NOTES**
- Clearing and grubbing for those areas necessary for the installation of erosion and sediment perimeter control measures.
 - Install construction entrance.
 - Install erosion and sediment control measures.
 - Grading and stripping of the remaining areas of the development site or project area.
 - Install storm water management systems.
 - Temporary vegetative stabilization of erosion and sediment control measures.
 - Grading of access drives, parking areas, building pads, etc.
 - Installation of all utilities.
 - Site construction.
 - Final grading, stabilization, and landscaping.
 - After the vegetation has become well established, removal of erosion and sediment control measures.
 - The contractor must inspect all erosion and sediment controls once every 7 days and within 24 hours after each rainfall of 1/8 inch or greater.
 - The contractor must conduct necessary repairs within 72 hours.
 - The contractor is responsible for keeping adjacent private drive free of sediment; periodic street sweeping may be required.
 - Permanent or temporary soil stabilization shall be applied to the disturbed areas on any portion of the site within seven (7) days after final grade is reached or where areas will be left idle for 14 days or longer.
 - After the vegetation has become well established, remove temporary erosion or sediment control practices.
 - Contractor shall locate, install and maintain a concrete washout location. No concrete washout or chemicals may be disposed of in or discharged to Waters of the US.
 - Dust control shall be provided.
 - Any stockpiled soils shall have a silt fence placed around the base of the pile to prevent soil erosion. Any stockpiles left after the project is completed shall be seeded to provide additional protection.
 - Developer and contractor shall follow stabilization timeliness prescribed under Section 2.3, Stabilization Requirements, page 14 of 31, of the KPDES KYR100000 Permit.
 - Best management practices (BMPs) shown on plans shall be revised and/or additional BMPs implemented as deemed necessary.



BENCHMARK
 Iron pin
 N=492400.798
 E=1534593.340
 Elev=849.37

SWPPP LEGEND		PLAN LEGEND	
IP	Inlet Protection	350	Proposed Contour
CE	Construction Entrance	→	Sheet Flow Direction
CD	Check Dam	←	Directional Flow
SB	Sediment Basin	---	Proposed Tree-Line
SP	Stand Pipe	---	Existing Tree-Line
1	Seeding and Mulching	---	Silt Fence
2	Sodding		
3	Preserve Existing Vegetation		

Drainage Note:
 All drainage features shall be owned and maintained by the property owner. Owner shall grant access to City of Walton for long-term inspections of post-construction BMPs.

Buried Utilities Note:
 Above ground features have been field located. Buried utilities have been shown based upon field evidence, project utility plans, and/or information obtained from utility companies. The utilities shown may or may not be shown in their actual location. Other buried utilities might exist on the subject property which are not shown on this drawing.



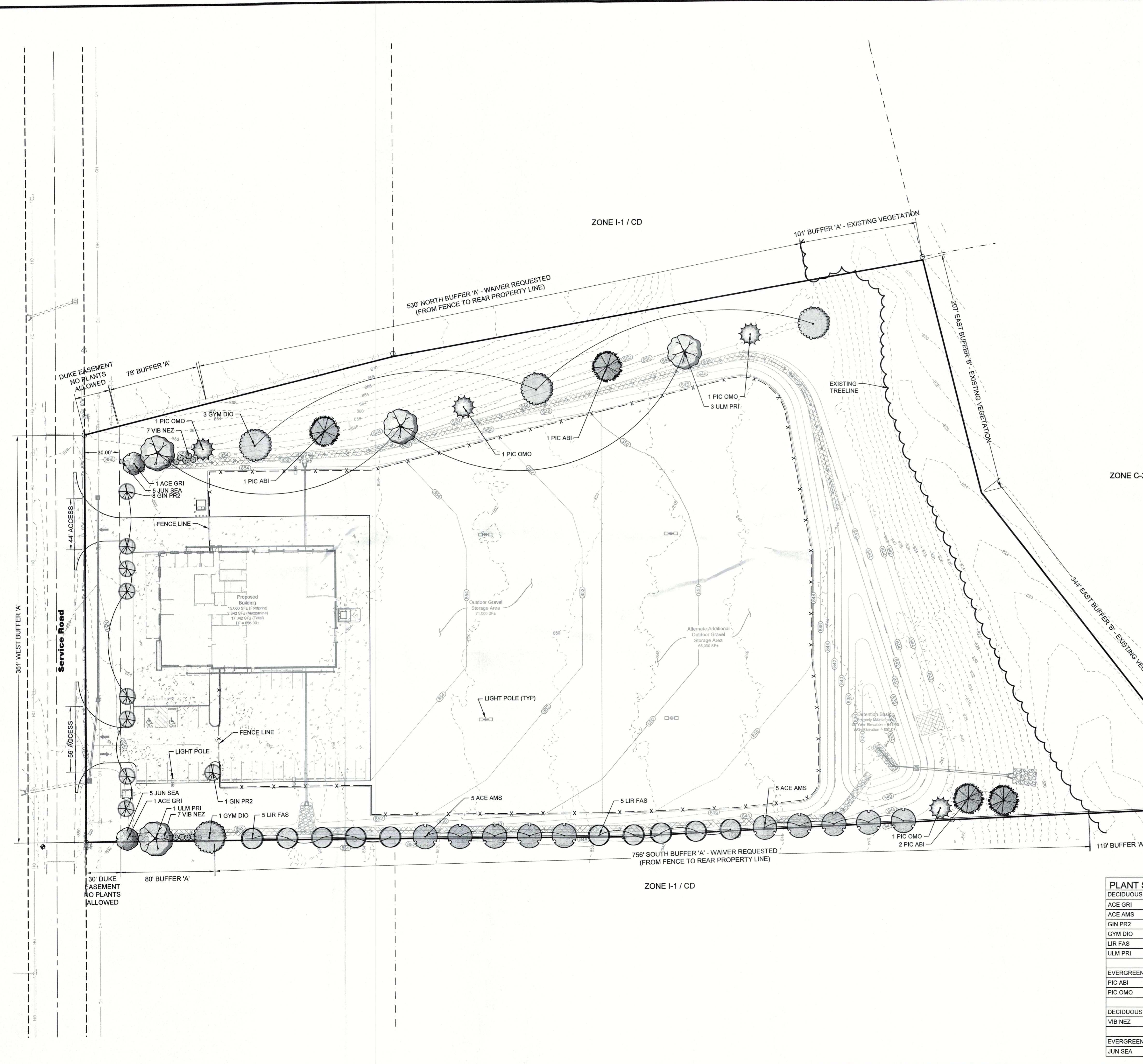
Bobcat Enterprises, Inc.
 Sales & Service
 13350 Service Road
 Walton, KY 41094
 Boone County, Kentucky

STORM WATER POLLUTION PREVENTION PLAN

www.bayerbecker.com
 208 Grandview
 Fort Mitchell, KY 41017-889261.1113

Drawing: 21-0212 CD
 Drawn by: TDT
 Checked by: MDW
 Issue Date: 07-01-22

Sheet: **C4.0**



ZONING SUMMARY PER ARTICLE 36- LANDSCAPING, FROM BOONE COUNTY, KY ZONING REGULATIONS (I-1)

GENERAL REQUIREMENTS (SECTION 3610)
 PLANT MATERIAL MINIMUM INSTALL SIZES:
 • PLANT LIST A (LARGE DECIDUOUS TREE OVER 50' HEIGHT AT MATURITY) = 2.0" CALIPER
 • PLANT LIST B (MEDIUM DECIDUOUS TREES 25-50' HEIGHT AT MATURITY) = 2.0" CALIPER
 • PLANT LIST C (SMALL TREE OR LARGE SHRUB 10-25' HEIGHT AT MATURITY) = 1.5" CALIPER OR 6" HT. IF CLUMP = 24" HT B&B FOR LARGE
 SHRUBS
 • PLANT LIST D (LARGE EVERGREEN TREE OVER 50' HEIGHT AT MATURITY) = 6" HEIGHT
 • PLANT LIST E (SHRUBS OF ANY SIZE AND GROUND COVER) = 3 GALLON CONTAINER

SIGHT TRIANGLES (SECTION 3618)
 • PLANT MATERIALS LOCATED WITHIN SITE TRIANGLES TO BE UNDER 3.5' HEIGHT
 • GROUND COVER REQUIRED UNLESS PLANTED WITH GRASS
 • 2.5' PLANT SETBACK FROM FACE OF CURB FOR VEHICLE OVERHANG

BUFFER YARD 'A' REQUIREMENTS PER 100 LF FRONTAGE / LENGTH OF PROPERTY LINE (TABLE 2)
 • IF USING PLANT LIST C SMALL TREES = 5 TREES PER 100 LF
 • IF USING PLANT LIST A, B OR D TREES = 3 TREES PER 100 LF
 • IF USING PLANT LIST C LARGE SHRUBS = 15 SHRUBS PER 100 LF
 • IF USING PLANT LIST E SMALL SHRUBS = 30 SHRUBS PER 100 LF

STREET FRONTAGE LANDSCAPING (USING BUFFER YARD 'A' REQUIREMENTS) (SECTION 3620)
 • DISPERSED THROUGHOUT FRONTAGE, NOT CLUSTERED AT ENDS
 • BUFFER 'A' = 10' WIDTH REQUIRED. SHRUBS CAN BE REDUCED BY 50% WHERE BUFFER YARD WIDTH IS INCREASED TO 20' AND CAN BE ELIMINATED WHERE BUFFER YARD WIDTH IS INCREASED TO 30'

SERVICE ROAD 351 LF (Frontage) - 101 LF (Access) = 250 LF per Buffer Yard 'A' Requirements
 250 LF / 100 x 3 = 7.5 Trees (Plant Lists A, B or D) Required, 8 Trees Proposed
 30' Wide Buffer Provided - No Shrubs Required

INTERIOR LANDSCAPING FOR VEHICULAR USE AREAS (VUAs) (SECTION 3625)
 • A MINIMUM OF 5% OF THE TOTAL VEHICULAR USE AREA SHALL BE LANDSCAPED (IF MORE THAN 50 PARKING SPACES)
 • 1 LARGE DECIDUOUS (PLANT LIST 'A') TREE PER 162 SF OF REQUIRED LANDSCAPING AREA, 9'x18" MIN. PLANTING SIZE
 • 20 PARKING SPACES IN A ROW MAX, OR PROVIDE A 600 SF PLANTING AREA
 Less than 50 Parking Spaces are Proposed - No VUA Landscaping Required
 Rows of Parking Exceeding 20 Parking Spaces = 1, 1 Tree Proposed

LOADING, STORAGE, EQUIPMENT, TRASH COLLECTION AREAS (SECTION 3635)
 • THE LOADING/UNLOADING AREAS, STORAGE AREAS, UTILITY, AND MECHANICAL EQUIPMENT AND TRASH COLLECTION AREAS SHALL BE SCREENED FROM ANY PUBLIC STREET RIGHT-OF-WAY OR IF VISIBLE TO AN ADJOINING PROPERTY.
 • THIS DOES NOT APPLY TO SITES WITHIN I-1 & I-2 ZONES WHEN THE ACTIVITIES NOTED ABOVE ARE LOCATED ON A SITE SO THAT THEY ABUT OTHER I-1 OR I-2
 Site Abuts I-1 - No Landscaping Required

BUILDING LANDSCAPING (3630)
 • 8' WIDE PLANTING AREA REDUCED TO 4' WIDE WITH SIDEWALK
 • PLANTING REQUIRED FOR ANY BLANK FACADE VISIBLE TO R.O.W.
 • (1 TREE PER 40 LF FROM PLANT LISTS A, B, C OR D AND 1 SHRUB FROM PLANT LIST E PER 10 LF). 1 TREE MAY BE SUBSTITUTED FOR 4 SHRUBS
 No Blank Facades - No Landscaping Required

BUFFER YARDS ALONG PROPERTY LINES (USING BUFFER YARD 'A' REQUIREMENTS) (SECTION 3645)
 5' PLANT SETBACK FROM PROPERTY LINES

NORTH BUFFER* 31 LF Duke Transmission Line Easement - No Landscaping permitted.
 78 LF per Buffer Yard 'A' Requirements
 78 LF / 100 x 3 = 3 Trees (Plant Lists A, B or D) Required, 3 Trees Proposed
 78 LF / 100 x 15 = 12 Large Shrubs (Plant List C) Required, 12 Shrubs Proposed
 530 LF per Waiver Request of 50% Trees and No Shrubs
 530 LF / 100 x 3 = 16 Trees (Plant Lists A, B or D) Required, 8 Trees Proposed
 530 LF / 100 x 15 = 80 Large Shrubs (Plant List C) Required, 0 Shrubs Proposed
 101 LF Existing Vegetation - No Additional Landscaping Proposed
NORTH BUFFER TOTALS = 11 TREES AND 12 SHRUBS
 *Requesting a waiver to provide 50% of required number of trees and eliminate shrub requirements from the security fence to the rear of the property due to limited visibility due to topography and existing vegetation.

SOUTH BUFFER** 30 LF Duke Transmission Line Easement - No Landscaping permitted.
 80 LF per Buffer Yard 'A' Requirements
 80 LF / 100 x 3 = 3 Trees (Plant Lists A, B or D) Required, 3 Trees Proposed
 80 LF / 100 x 15 = 12 Large Shrubs (Plant List C) Required, 12 Shrubs Proposed
 756 LF per Waiver Request to eliminate shrubs
 756 LF / 100 x 3 = 23 Trees (Plant Lists A, B or D) Required, 23 Trees Proposed
 756 LF / 100 x 15 = 114 Large Shrubs (Plant List C) Required, 0 Shrubs Proposed
 119 LF Existing Vegetation - No Additional Landscaping Proposed
SOUTH BUFFER TOTALS = 15 TREES AND 12 SHRUBS
 **Requesting a waiver to eliminate shrub requirements from the security fence to the rear of the property.

EAST BUFFER East Buffer is along C-2 (Commercial Two) - Buffer 'B' required. Existing Vegetation to be used.
WEST BUFFER West Buffer is along Service Road - Buffer 'A' Required - Expanded to 30' - No Shrubs Required. See Landscaping Along Street Frontages.

GENERAL NOTES:

- SEE SHEET L2.0 FOR PLANTING NOTES AND DETAILS
- SEED ALL DISTURBED AREAS PER NOTES ON SHEET L2.0

DEVELOPING SITE: = I-1 (INDUSTRIAL ONE)
ADJACENT NORTH: = I-1 (INDUSTRIAL ONE)
ADJACENT SOUTH: = I-1 (INDUSTRIAL ONE)
ADJACENT WEST: = SERVICE ROAD & I-75
ADJACENT EAST: = C-2 (COMMERCIAL)

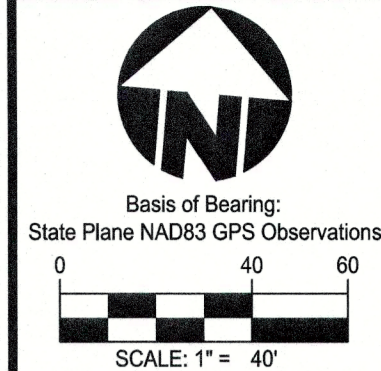
PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SIZE
ACE GRI	2	Acer griseum	Paperbark Maple	B & B	2.0" Cal
ACE AMS	10	Acer x freemanii 'Armstrong'	Armstrong Freeman Maple	B & B	2.0" Cal
GIN PR2	9	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	B & B	2.0" Cal
GYM DIO	4	Gymnocladus dioica 'Espresso'	Kentucky Coffeetree	B & B	2.0" Cal
LIR FAS	10	Liriodendron tulipifera 'Fastigiata'	Columnar Tulip Poplar	B & B	2.0" Cal
ULM PRI	4	Ulmus americana 'Princeton'	American Elm	B & B	2.0" Cal

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SIZE
PIC ABI	4	Picea abies	Norway Spruce	B & B	6' Ht.
PIC OMO	4	Picea omorika	Serbian Spruce	B & B	6' Ht.

DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT
VIB NEZ	14	Viburnum plicatum 'Newport'	Newport Doublefile Viburnum	5 gal	24" Ht.

EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT
JUN SEA	10	Juniperus chinensis 'Sea Green'	Sea Green Juniper	B&B	24" Ht.



Item

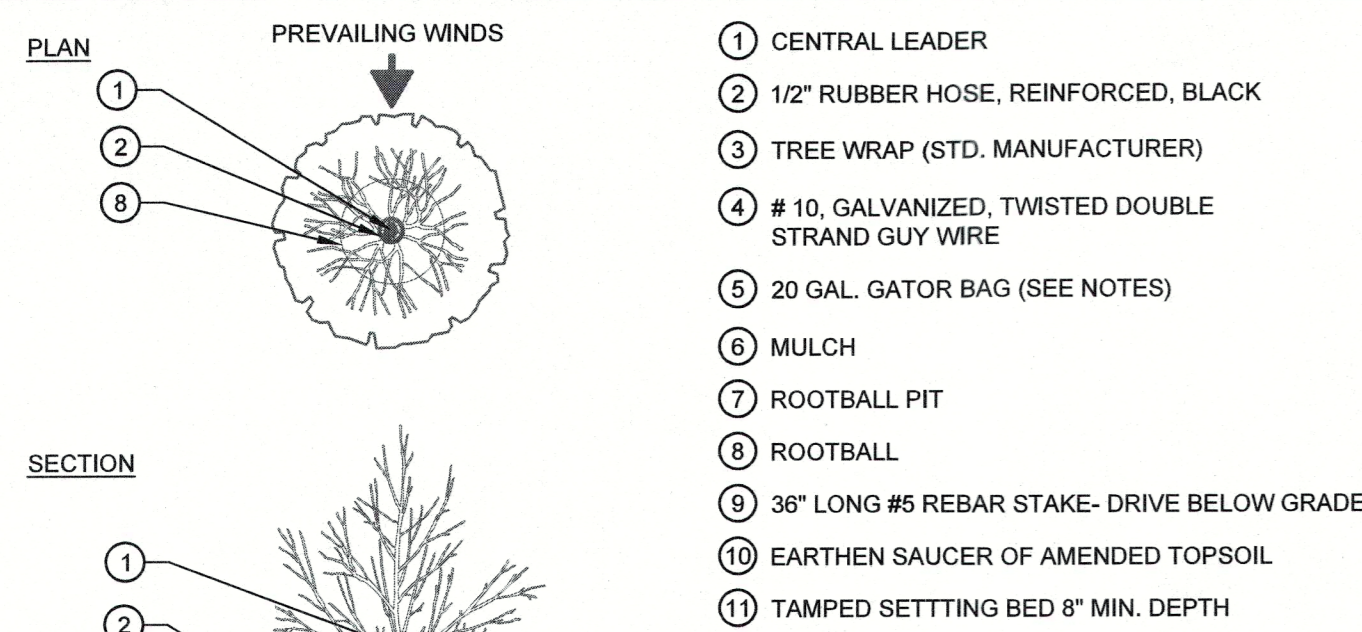
Item	Revisions per ECPC	Date	Drawn	Checked
1		8-19-22	HMW	IMW
2				
3				
4				
5				
6				
7				
8				

Bobcat Enterprises, Inc.
Sales & Service
 13350 Service Road
 Walton, KY 41094
 Boone County, Kentucky

ZONING MINIMUM PLANTING PLAN

bayer becker
 www.bayerbecker.com
 206 Grandview Drive
 Fort Mitchell, KY 41017 - 859.261.1113

Drawing: 21-0212.PP
 Drawn by: CDO
 Checked By: HMW
 Issue Date: 07-01-22
 Sheet: **L1.0**

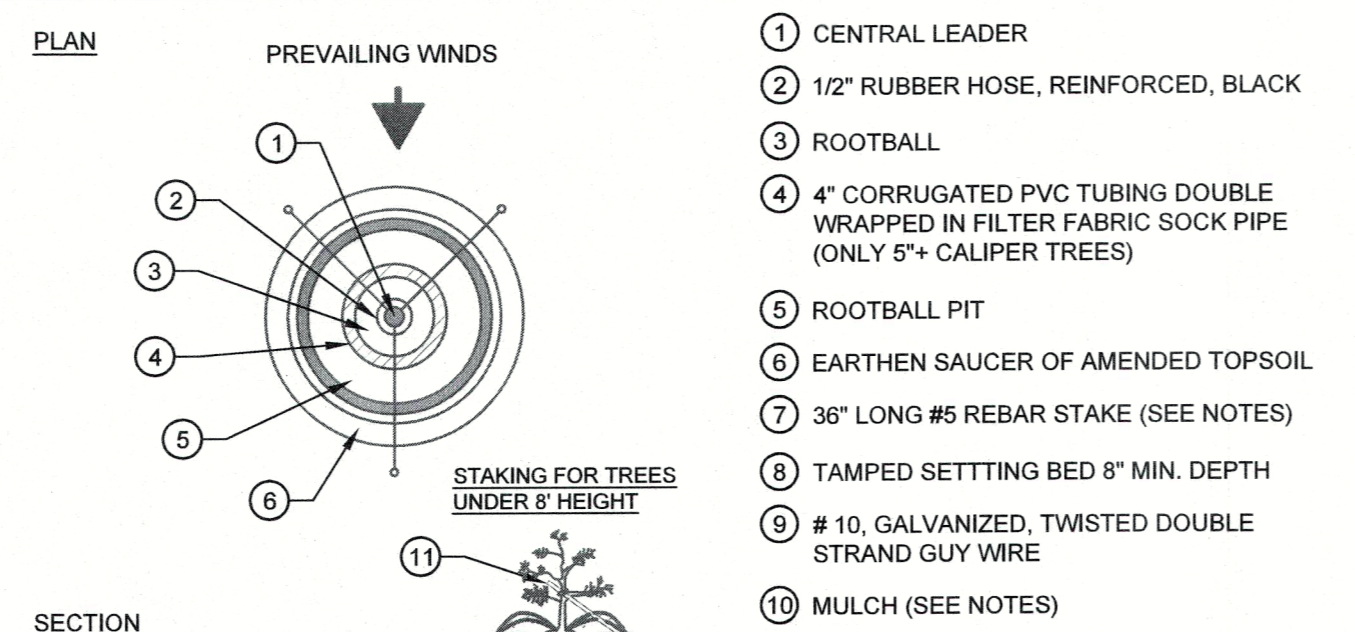


- 1 CENTRAL LEADER
- 2 1/2" RUBBER HOSE, REINFORCED, BLACK
- 3 TREE WRAP (STD. MANUFACTURER)
- 4 # 10, GALVANIZED, TWISTED DOUBLE STRAND GUY WIRE
- 5 20 GAL. GATOR BAG (SEE NOTES)
- 6 MULCH
- 7 ROOTBALL PIT
- 8 ROOTBALL
- 9 36" LONG #5 REBAR STAKE- DRIVE BELOW GRADE
- 10 EARTHEN SAUCER OF AMENDED TOPSOIL
- 11 TAMPED SETTING BED 8" MIN. DEPTH

NOTES:

- A. ONLY TREES ON SLOPES 3:1 OR GREATER OR IN WINDY LOCATIONS SHALL BE GUYED.
- B. 5" CALIPER TREES REQUIRE A 4" CORRUGATED PVC TUBING DOUBLE WRAPPED IN FILTER FABRIC SOCK PIPE.
- C. REMOVE BURLAP FROM TOP 1/2 OF ROOTBALL - TOP OF ROOTBALL TO BE 2-4" ABOVE GRADE AFTER SETTLEMENT.
- D. TREE PIT TO BE TWICE THE WIDTH OF THE ROOTBALL.
- E. SCARIFY BOTTOM AND SIDES OF TREE PIT TO 4" MIN. DEPTH.
- F. TOPSOIL AMENDED PER SOIL TESTING REPORT.
- G. GATOR BAG TO BE INSTALLED & FILLED PER MANUFACTURER'S SPECIFICATIONS ON ALL TREES WHEN INSTALLED BETWEEN JUNE - AUG. SEE PLANTING & PREPARATION NOTES.
- H. 1" CALIPER (1 BAG), 5" - 8" CALIPER (2 BAGS)

1 TREE PLANTING
NOT TO SCALE 329343.46-08

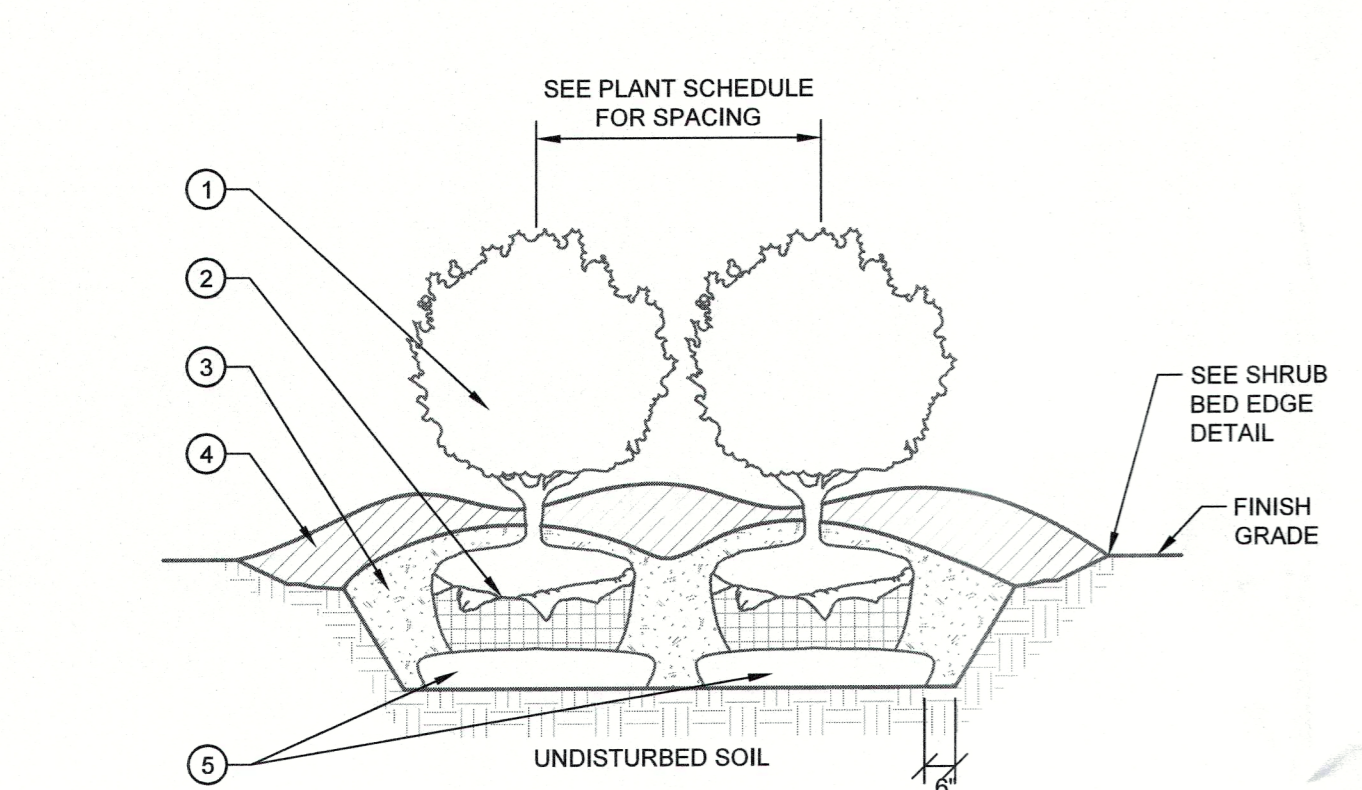


- 1 CENTRAL LEADER
- 2 1/2" RUBBER HOSE, REINFORCED, BLACK
- 3 ROOTBALL
- 4 4" CORRUGATED PVC TUBING DOUBLE WRAPPED IN FILTER FABRIC SOCK PIPE (ONLY 5" CALIPER TREES)
- 5 ROOTBALL PIT
- 6 EARTHEN SAUCER OF AMENDED TOPSOIL
- 7 36" LONG #5 REBAR STAKE (SEE NOTES)
- 8 TAMPED SETTING BED 8" MIN. DEPTH
- 9 # 10, GALVANIZED, TWISTED DOUBLE STRAND GUY WIRE
- 10 MULCH (SEE NOTES)
- 11 1" x 24" WOOD STAKE TIED TO TREE WITH #9 GALVANIZED WIRE AND BLACK HOSE

NOTES:

- A. REMOVE BURLAP FROM TOP 1/2 OF ROOTBALL - TOP OF ROOTBALL TO BE 2-4" ABOVE GRADE AFTER SETTLEMENT.
- B. TREE PIT TO BE TWICE THE WIDTH OF THE ROOTBALL.
- C. SCARIFY BOTTOM AND SIDES OF TREE PIT TO 4" MIN. DEPTH.
- D. TOPSOIL AMENDED PER SOIL TESTING REPORT.
- E. ATTACH GUY WIRE AT 1/3 OF THE TREE HEIGHT. DRIVE STAKE BELOW GRADE AND WITHIN MULCHED AREAS IF POSSIBLE. WOOD STAKES MAY NOT CONTAIN CHROMATED COPPER ARSENATE (CCA).
- F. MULCH-SEE TOPSOIL AMENDMENTS & MULCH NOTES, AND PLANT INSTALLATION NOTES

2 EVERGREEN TREE DETAIL
NOT TO SCALE 329343.46-03

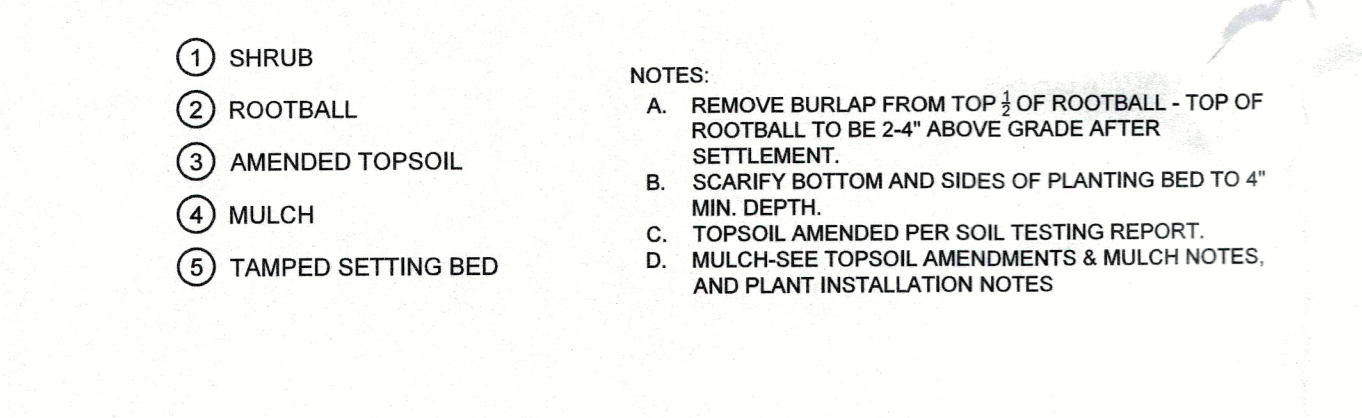


- 1 LAWN (SOD OR SEED AS SPECIFIED).
- 2 LAWN AND ROOT LAYER. SOD MIN. DEPTH AS SHOWN IN DETAIL.
- 3 AMENDED TOPSOIL. SEE NOTES.
- 4 LAWN SURFACE FLUSH WITH OR 1" MAX. BELOW ADJACENT PAVEMENT SURFACE.
- 5 CURB. SEE PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.
- 6 PAVEMENT. SEE PAVEMENT DETAILS
- 7 PAVING BASE. SEE PAVEMENT DETAILS

NOTES:

- A. SEE SODDING AND/OR SEEDING NOTES.
- B. IF LAWN AREAS ARE NOT IDENTIFIED ON PLANS TO BE SEED OR SOD, CONTACT LANDSCAPE ARCHITECT OR OWNER FOR VERIFICATION.

3 LAWN AGAINST CURB DETAIL
NOT TO SCALE 321613.16-11

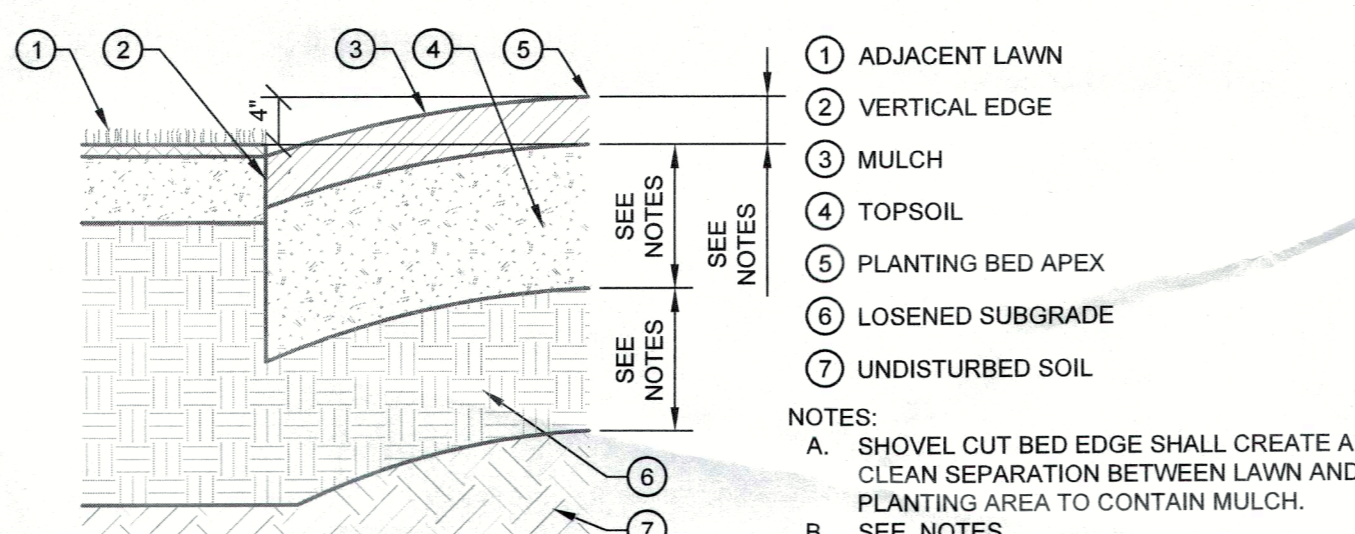


- 1 SHRUB
- 2 ROOTBALL
- 3 AMENDED TOPSOIL
- 4 MULCH
- 5 TAMPED SETTING BED

NOTES:

- A. REMOVE BURLAP FROM TOP 1/2 OF ROOTBALL - TOP OF ROOTBALL TO BE 2-4" ABOVE GRADE AFTER SETTLEMENT.
- B. SCARIFY BOTTOM AND SIDES OF PLANTING BED TO 4" MIN. DEPTH.
- C. TOPSOIL AMENDED PER SOIL TESTING REPORT.
- D. MULCH-SEE TOPSOIL AMENDMENTS & MULCH NOTES, AND PLANT INSTALLATION NOTES

4 SHRUB BED PLANTING DETAIL
NOT TO SCALE 329113.26-03

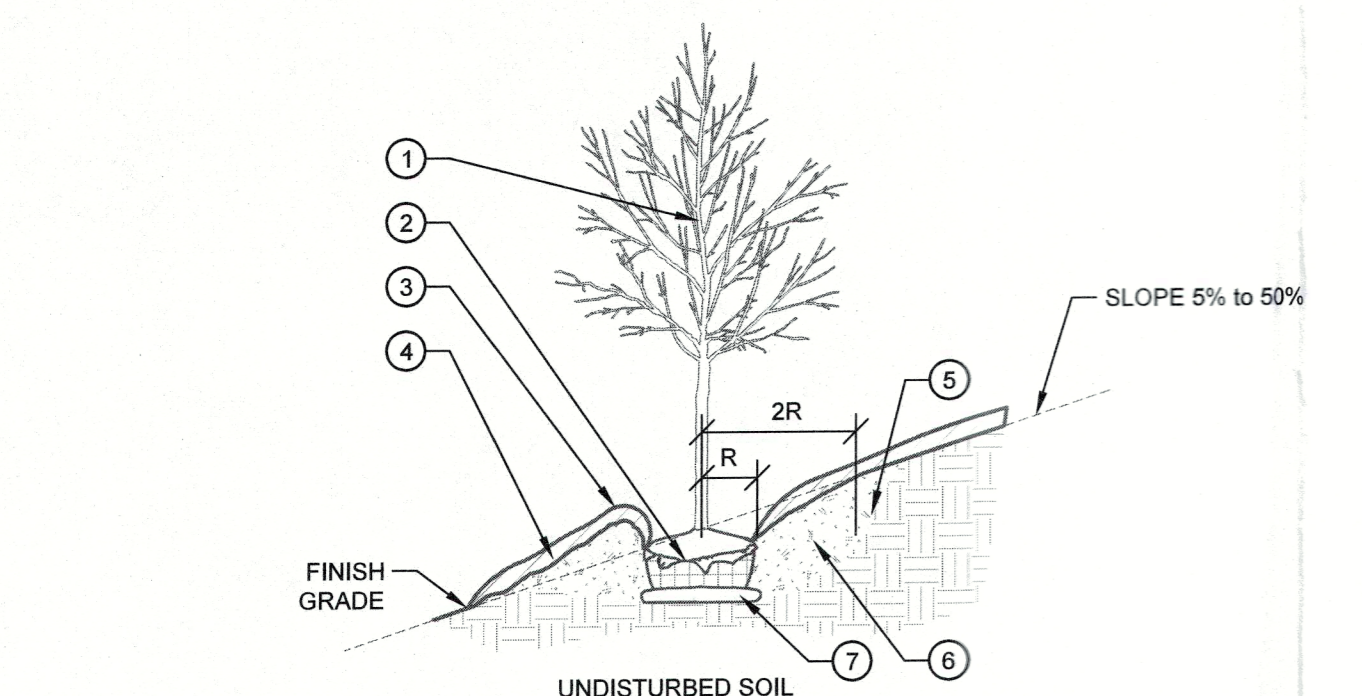


- 1 ADJACENT LAWN
- 2 VERTICAL EDGE
- 3 MULCH
- 4 TOPSOIL
- 5 PLANTING BED APEX
- 6 LOOSENED SUBGRADE
- 7 UNDISTURBED SOIL

NOTES:

- A. SHOVEL CUT BED EDGE SHALL CREATE A CLEAN SEPARATION BETWEEN LAWN AND PLANTING AREA TO CONTAIN MULCH.
- B. SEE NOTES.

5 SHRUB BED EDGE DETAIL AGAINST LAWN
NOT TO SCALE P-DET-X-05



- 1 CENTRAL LEADER
- 2 ROOTBALL
- 3 ROUND-TOPPED SOIL BERM (4" H X 8" W)
- 4 MULCH
- 5 ROOTBALL PIT
- 6 AMENDED TOPSOIL
- 7 TAMPED SETTING BED 8" MIN. DEPTH

NOTES:

- A. REMOVE BURLAP FROM TOP 1/2 OF ROOTBALL-TOP OF ROOTBALL TO BE IN LINE WITH ORIGINAL GRADE.
- B. TREE PIT TO BE TWICE THE WIDTH OF THE ROOTBALL.
- C. SCARIFY BOTTOM AND SIDES OF TREE PIT TO 4" MIN. DEPTH.
- D. TOPSOIL AMENDED PER SOIL TESTING REPORT.
- E. MULCH-SEE TOPSOIL AMENDMENTS & MULCH NOTES, AND PLANT INSTALLATION NOTES.

6 TREE ON SLOPE 5% (20:1) TO 50% (2:1)
NOT TO SCALE 329343.33-20

GENERAL LANDSCAPE NOTES

A. THE CONTRACTOR SHALL VISIT THE SITE AND COMPLETELY REVIEW THESE DOCUMENTS AND FULLY UNDERSTAND THE NATURE AND SCOPE OF WORK NEEDED TO ACHIEVE THE FINISHED PRODUCT INTENDED BY THE OWNER. IN ADDITION, THE CONTRACTOR SHALL AT ONCE REPORT TO THE LANDSCAPE ARCHITECT, INACCURACIES OR INCONSISTENCIES DISCOVERED. FAILURE TO REASONABLY RECOGNIZE OR NOTIFY THE LANDSCAPE ARCHITECT OF SUCH ITEMS SHALL RELEASE THE LANDSCAPE ARCHITECT AND OWNER OF ALL LIABILITY. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

B. PROTECT ALL EXISTING VEGETATION TO REMAIN WITHIN 20' OF CONSTRUCTION DISTURBANCE AS PER PLANS AND SPECIFICATIONS. INSTALL MINIMUM 4' TALL FENCE 5' OUTSIDE THE DRIP LINE OF TREES TO REMAIN. WATER TREES AND VEGETATION TO REMAIN WITHIN ONE INCH OF RAIN (RAIN GAUGE OR NOAA LOCAL WEATHER VERIFIED) PER WEEK FOR DURATION OF CONSTRUCTION PROJECT.

C. PRIOR TO CONSTRUCTION, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO COMPLETE THE WORK, LOCATING ALL UNDERGROUND UTILITIES, AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING INSTALLATION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC., WHICH MAY OCCUR AS A RESULT OF LANDSCAPE CONSTRUCTION.

D. CONTRACTOR MUST CERTIFY THAT ITS SAFETY PROGRAM MEETS REGULATORY REQUIREMENTS AT A MINIMUM. CONTRACTOR TO PROVIDE DOCUMENTATION OF THE OSHA RECORD KEEPING SUMMARY.

E. LANDSCAPE ARCHITECT MAY OBSERVE TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. LANDSCAPE ARCHITECT RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS, ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. LANDSCAPE CONTRACTOR SHALL REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.

F. IF EXISTING ECOLOGY CAUSES ADJUSTMENTS OF LANDSCAPE PLANS TO FIT THE SITE CONDITIONS, A STAKE OUT BY LANDSCAPE CONTRACTOR AND ADJUSTMENTS BY LANDSCAPE ARCHITECT SHALL BE REQUIRED PRIOR TO INSTALLATION.

G. ALL PLANTING AREAS SHOWN ON PLANS SHALL BE TO WITHIN 2" OF FINAL GRADE BEFORE LANDSCAPE CONTRACTOR COMMENCES INSTALLATION.

H. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH OTHER CONTRACTORS AND/OR LOCATING PROPOSED SITE UTILITIES, STORM STRUCTURES, EASEMENTS, ETC.

I. ALL PLANT MATERIAL MUST BE INSTALLED ACCORDING TO THE APPROVED LANDSCAPING PLAN BY NO LATER THAN THE NEXT 90 DAYS OR WITHIN 6 MONTHS FROM THE COMPLETION OF ALL SITE CONSTRUCTION.

J. CONTRACTOR TO VERIFY ALL PLANT QUANTITIES, ANY DISCREPANCY BETWEEN THE PLANTING LIST AND THE PLAN SHALL BE VERIFIED BY THE LANDSCAPE ARCHITECT. ALL SUBSTITUTIONS AND/OR CHANGES SHALL BE REQUESTED IN WRITING TO THE OWNER OR OWNER'S REPRESENTATIVE AND BE APPROVED BY THE LANDSCAPE ARCHITECT AND THE LOCAL MUNICIPALITY (IF REQUIRED) PRIOR TO INSTALLATION.

K. THE CONTRACTOR SHALL PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1, "AMERICAN STANDARD FOR NURSERY STOCK."

L. THE CONTRACTOR SHALL FURNISH NURSERY-GROWN TREES AND SHRUBS COMPLYING WITH ANSI Z60.1, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPANTING OR ROOT PRUNING, PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.

M. TREES AND SHRUBS OF A LARGER SIZE MAY BE USED, IF ACCEPTABLE TO LANDSCAPE ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.

N. IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IS SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRIC PLANTING.

O. THE CONTRACTOR SHALL LABEL ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH THE BOTANICAL AND COMMON NAME.

P. PLANT TAGS SHALL REMAIN ON INSTALLED PLANT MATERIAL UNTIL THE WORK HAS BEEN APPROVED BY LOCAL INSPECTOR AND/OR THE OWNER OR OWNER'S REPRESENTATIVE.

Q. LANDSCAPE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM ALL PLANT BEDS WITHOUT ADVERSELY AFFECTING SITE DRAINAGE. GRADES BEHIND CURBS FOR AREAS TO RECEIVE MULCH SHALL BE HELD 4 INCHES BELOW TOP OF CURB AND 2 INCHES BELOW TOP OF CURB FOR SOD.

R. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING, INCLUDING, BUT NOT LIMITED TO, WATERING, SPRAYING, MULCHING, FERTILIZING, ETC., ALL PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED BY THE OWNER OR THE OWNER'S REPRESENTATIVE.

S. CONTRACTOR TO RUN PERCOLATION TESTS TO ASSURE PROPER DRAINAGE IN PLANTING AREAS.

T. ADDITIONAL ROCK EXCAVATION AND TOPSOIL MAY BE REQUIRED TO OBTAIN SPECIFIED PLANTING DEPTHS FOR ROOT COVERAGE BASED ON SITE CONDITIONS.

U. IF IRRIGATION IS PART OF THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE LOCATION OF PLANT MATERIAL WITH THE IRRIGATION CONTRACTOR. ACTIVATE IRRIGATION SYSTEM UPON COMPLETION OF ALL LAWN AREAS.

V. ALL IRRIGATION COMPONENTS SHALL BE OF THE SAME MANUFACTURER & INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

TOPSOIL, AMENDMENTS & MULCH

A. STRIP TOPSOIL TO ITS FULL DEPTH AT AREAS IMPACTED AND AT ALL AREAS TO BE RE-GRADED AND RESURFACED. STOP TOPSOIL STRIPPING OUTSIDE THE DRIP LINE OF TREES TO REMAIN / DO NOT STRIP AS TO IMPACT THE ROOT LINE OF TREES TO REMAIN.

B. COORDINATE WITH THE OWNER PRIOR TO ESTABLISHING TOPSOIL STORAGE AREAS. GRADE AND SLOPE STOCKPILES FOR PROPER DRAINAGE AND TO PREVENT EROSION. THE REUSE OF STOCKPILE TOPSOIL WITHIN THE PROJECT SITE MUST BE APPROVED FOR PLACEMENT BY THE LANDSCAPE ARCHITECT.

C. ALL TOPSOIL SHALL BE SHREDDED, CLEAN, AND UNIFORM IN QUALITY FREE FROM HARD CLODS, STIFF CLAY, PARTIALLY DISINTEGRATED STONE, LIME, CEMENT, SLAG, OR OTHER UNDESIRABLE MATERIAL. TOPSOIL SHALL CONFORM TO THE FOLLOWING:

- ORGANIC CONTENT - BETWEEN 3% - 10% ORGANIC MATTER
- PH - SHALL RANGE BETWEEN 6.0 - 7.5
- SOIL TEXTURE - TOPSOIL SHALL CONSIST OF THE FOLLOWING PERCENTAGES OF SAND, SILT, AND CLAY: SAND - 30%-75%, SILT - 15%-70%, CLAY - 10%-30%

D. TOPSOIL MUST BE APPROVED PRIOR TO PLACEMENT. TOPSOIL TEST RESULTS SHALL SHOW RECOMMENDATION FOR SOIL ADDITIVES FOR FERTILIZERS TO CORRECT NUTRIENT DEFICIENCIES AS NECESSARY.

E. INORGANIC SOIL AMENDMENTS INCLUDE THE FOLLOWING:

- LIME - ASTM C 602, AGRICULTURAL LIMING MATERIAL CONTAINING A MINIMUM OF 80% CALCIUM CARBONATE EQUIVALENT AS FOLLOWS:
 - a. PROVIDE LIME IN FORM OF GROUND DOLOMITIC LIMESTONE PER ASTM 605, CONTAINING NO LESS THAN 85% OF TOTAL CARBONATES AND SHALL BE GROUND TO SUCH A FINENESS THAT 50% WILL PASS THROUGH A 100 MESH SIEVE AND 90% WILL PASS THROUGH A MESH SIEVE. COARSER MATERIAL WILL BE ACCEPTABLE, PROVIDED THE SPECIFIED RATES OF APPLICATION ARE INCREASED PROPORTIONALLY ON THE BASIS OF QUALITY OF MATERIAL.
 - SULFUR - GRANULAR, BIODEGRADABLE, AND CONTAINING A MINIMUM OF 90% SULFUR, WITH A MINIMUM OF 99% PASSING THROUGH NUMBER 6 SIEVE AND A MAXIMUM OF 10% PASSING THROUGH A NUMBER 40 SIEVE.
 - AXIS CALCINED DIATOMACEOUS EARTH SOIL AMENDMENT - SEE PREPARATION AND PLANTING NOTES FOR APPLICATION RATES.

F. ORGANIC MULCH - FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, CONSISTING OF ONE DOUBLE SHREDDED HARDWOOD BARK.

PLANTING PREPARATION

A. EXAMINE AREAS TO RECEIVE PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS ARE CORRECTED.

B. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES AND TURF AREAS AND EXISTING PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.

C. INSTALL EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.

D. APPLY ANTIDESICCANT TO TREES AND SHRUBS USING POWER SPRAY TO PROVIDE ADEQUATE FILM OVER TRUNKS (BEFORE WRAPPING), BRANCHES, STEMS, TWIGS, AND FOLIAGE TO PROTECT DURING HANDLING AND TRANSPORTATION. IF DECIDUOUS TREES OR SHRUBS ARE MOVED IN FULL LEAF, SPRAY ANTIDESICCANT AT NURSERY BEFORE MOVING AND AGAIN TWO (2) WEEKS AFTER PLANTING.

E. WRAP TREES AND SHRUBS WITH BURLAP FABRIC OVER TRUNKS, BRANCHES, STEMS, TWIGS, AND FOLIAGE TO PROTECT FROM WIND AND OTHER DAMAGE DURING DIGGING, HANDLING, AND TRANSPORTATION.

F. LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND BED EDGES FOR ALL EXTERIOR PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECT'S, OWNER'S, OR OWNER REPRESENTATIVE'S WRITTEN ACCEPTANCE OF LAYOUT PRIOR TO PLANTING. TREES SHALL BE SITED IN THE FIELD BY THE LANDSCAPE ARCHITECT WHERE NOTED ON THE PLAN. CONTACT THE LANDSCAPE ARCHITECT WITH ANY DISCREPANCIES OR ISSUES WITH PLACEMENT.

WARRANTY

A. CONTRACTOR SHALL PROVIDE OWNER WITH A MINIMUM ONE YEAR WRITTEN WARRANTY FOR LABOR AND MATERIALS.

B. CONTRACTOR SHALL WARRANT EXTERIOR PLANTS AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.

C. WARRANTY SHALL INCLUDE SPECIFIC WARRANTY PERIODS FROM DATE OF ACCEPTANCE FOR TREES AND SHRUBS, GROUND COVERS, AND OTHER EXTERIOR PLANTS.

D. WARRANTY SHALL BE LIMITED TO ONE REPLACEMENT OF EACH EXTERIOR PLANT, EXCEPT FOR LINES OR REPLACEMENTS DUE TO FAILURE OF CONTRACTOR TO COMPLY WITH REQUIREMENTS.

E. WARRANTY FOR IRRIGATION SERVICES AND DRAINAGE SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR AND WILL INCLUDE START-UP, WINTERIZATION, AND SECOND SEASON START-UP. WARRANTY SHALL INCLUDE ALL LABOR, MATERIAL, TOOLS, AND EQUIPMENT AS NECESSARY TO PROVIDE A FUNCTIONING SYSTEM, FREE FROM DEFECTS AND ADJUSTED PROPERLY FOR APPROPRIATE WATER DELIVERY TO ALL PLANT MATERIAL.

TRAFFIC & SAFETY

A. REFER TO BID DOCUMENTS AND COMPLY WITH ALL STATE & LOCAL REQUIREMENTS REGARDING APPROVED WORK TIMES, SCHEDULING OF INSTALLATION, AND ALL OTHER REQUIREMENTS.

PLANT INSTALLATION

A. LOOSEN SUBGRADE OF PLANTING AREAS TO A DEPTH OF TWELVE (12) INCHES. REMOVE STONES LARGER THAN ONE (1) INCH IN ANY DIMENSION, STICKS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OF THE OWNER'S PROPERTY.

B. APPLY FERTILIZER DIRECTLY TO THE SUBGRADE BEFORE LOOSENING.

C. SPREAD TOPSOIL, APPLY SOIL AMENDMENTS AND FERTILIZER ON SURFACE, AND THOROUGHLY BLEND PLANTING SOIL. APPLY TURFMATRIX SOIL AMENDMENT AT THE FOLLOWING RATES:

- 2" DEEP BEDS - 450 LBS / 1000 SF; 4" DEEP BEDS - 900 LBS / 1000 SF;
- 6" DEEP BEDS - 1,300 LBS / 1000 SF; 8" DEEP BEDS - 1,750 LBS / 1000 SF

D. DELAY MIXING FERTILIZER WITH PLANTING SOIL IF PLANTING WILL NOT PROCEED WITHIN A FEW DAYS.

E. MIX LIME WITH DRY SOIL PRIOR TO MIXING FERTILIZER.

F. SPREAD TOPSOIL TO A DEPTH OF (6) SIX INCHES FOR LAWN OR (12) TWELVE INCHES FOR BEDS BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLING. DO NOT SPREAD IF PLANTING SOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.

G. DELAY MIXING FERTILIZER WITH PLANTING SOIL IF PLANTING WILL NOT PROCEED WITHIN A FEW DAYS.

H. RESTORE PLANTING AREAS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING.

I. FOR PLANTING PITS AND TRENCHES, EXCAVATE CIRCULAR PLANTING PITS WITH SIDES SLOPING INWARD AT A FORTY-FIVE (45) DEGREE ANGLE. EXCAVATIONS WITH VERTICAL SIDES ARE NOT ACCEPTABLE. TRIM PERIMETER OF BOTTOM LEAVING THE CENTER AREA OF THE BOTTOM RAISED 8" TO SUPPORT THE ROOT BALL AND ASSIST WITH DRAINAGE AWAY FROM THE CENTER. DO NOT FURTHER DISTURB THE BASE. ENSURE THAT THE ROOT BALL WILL SIT ON UNDISTURBED BASE SOIL TO PREVENT SETTLING. SCARIFY SIDES OF THE PLANTING PIT SMEARED OR SMOTHERED DURING EXCAVATION.

- EXCAVATE APPROXIMATELY TWO (2) TIMES THE DIAMETER OF THE ROOT BALL FOR BALLED AND BURLAPPED STOCK.
- FOR BARE ROOT STOCK EXCAVATE AT LEAST TWELVE (12) INCHES WIDER THAN THE ROOT SPREAD AND DEEP ENOUGH TO ACCOMMODATE VERTICAL ROOTS.
- IF DRAIN TILE IS SHOWN ON DRAWINGS OR DETAILS, OR REQUIRED UNDER PLANTING AREAS, EXCAVATE TO TOP OF ROUGH BACKFILL OVER TILE.

J. SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATION MAY BE USED AS PLANTING SOIL PROVIDED IT IS FREE FROM ROCKS AND OTHER DELETERIOUS MATERIALS.

K. NOTIFY LANDSCAPE ARCHITECT IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS.

L. NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PLANTING PITS.

M. ALL EXCAVATIONS MUST BE ALLOWED TO PERCOLATE AWAY BEFORE POSITIONING TREES AND SHRUBS.

N. IN ALL PLANTS - REFER TO TYPICAL PLANTING DETAILS ON THIS SHEET FOR PLANT INSTALLATION.

O. IT IS THE CONTRACTOR'S OPTION WHETHER OR NOT TO STAKE A TREE UNDER 5" CALIPER, BUT IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT PLANTS REMAIN IN AN UPRIGHT POSITION UNTIL THE END OF THE WARRANTY PERIOD, AT WHICH POINT ANY STAKES & WIRE ARE TO BE REMOVED BY THE CONTRACTOR.

P. ALL DECIDUOUS TREES SHALL BE WRAPPED WITH STANDARD MANUFACTURER'S TREE WRAP TO PREVENT WINTER DAMAGE. TREE WRAP TO BE REMOVED AFTER THE FIRST WINTER BY THE LANDSCAPE CONTRACTOR.

Q. LANDSCAPE CONTRACTOR SHALL INSTALL GATOR BAGS, PER MANUFACTURER'S RECOMMENDATION FOR ALL TREES THAT ARE NOT OTHERWISE IRRIGATED.

R. PRIOR TO MULCHING, APPLY PRE-EMERGENT HERBICIDE (PREEN OR EQUIVALENT) PER MANUFACTURER'S RECOMMENDATION.

S. IF NOTED ON PLAN TO USE WEED CONTROL FABRIC, INSTALL WEED CONTROL ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. COMPLETELY COVER AREA TO RECEIVE FABRIC, OVERLAPPING EDGES A MINIMUM OF SIX (6) INCHES. SECURE THE SEAMS WITH GALVANIZED PINS. PINS TO BE 8" - 10" APART ALONG EDGES AND 12" MIN. IN CENTER.

T. MULCH BACKFILLED SURFACES OF PLANTING AREAS AND OTHER AREAS AS INDICATED.

U. APPLY MULCH ACCORDING TO THE FOLLOWING:

- DO NOT PLACE MULCH WITHIN THREE (3) INCHES OF THE TRUNKS OR STEMS OR VOLCANO MULCH.
- FOR TREES AND SHRUBS IN TURF AREAS - APPLY ORGANIC MULCH RING OF FOUR (4) INCH AVERAGE THICKNESS, WITH THIRTY-SIX (36) INCH RADIUS AROUND TRUNKS OR STEMS.
- FOR PLANTS IN BEDS, APPLY ORGANIC MULCH TWO (2) INCH AVERAGE THICKNESS AND EXTENDING TWELVE (12) INCHES BEYOND THE EDGES OF THE PLANTING PIT OR TRENCH AND OVER THE WHOLE SURFACE OF THE PLANTING AREA, AND FINISH WITH ADJACENT FINISH GRADE BY THE LANDSCAPE CONTRACTOR.

V. THE LANDSCAPE CONTRACTOR SHALL INSTRUCT THE OWNER OR OWNER REPRESENTATIVE ON WATERING NEEDS OF INSTALLED PLANTINGS.

SEEDING / SOD PREPARATION

A. DE-COMPACT AREAS HEAVILY TRAFFICKED BY CONSTRUCTION ACTIVITIES WITH HOE OR OTHER APPROVED METHOD.

B. GRADE SURFACES TO BE SEED OR SOD TO PREVENT POINDING AND POCKETS OF SURFACE DRAINAGE. PROVIDE SUBGRADE FREE FROM IRREGULAR SURFACE CHANGES AND AS FOLLOWS:

- ROUGH GRADE SHALL EQUAL PLUS / MINUS TWO TENTHS (0.20) FEET, SUBGRADE TOLERANCE AND SHALL BE FREE OF EXPOSED BOULDERS OR STONE EXCEEDING ONE (1) INCH IN GREATEST DIMENSION.
- FILL IN ALL AREAS OF SETTLEMENT TO PROPER GRADE BEFORE SUBSEQUENT PLACEMENT OF TOPSOIL.

C. PLACE TOPSOIL A MINIMUM OF SIX (6) INCHES AVERAGE DEPTH.

D. GRADE AREA TO A SMOOTH, FREE DRAINING EVEN SURFACE WITH A LOOSE, MODERATELY CURVE TEXTURE. ROLL, SCARIFY, RAKE, AND LEVEL AS NECESSARY TO OBTAIN A TRUE, EVEN LAWN SURFACE AND FILL DEPRESSIONS AS REQUIRED TO DRAIN. SEED BED TO BE APPROXIMATELY ONE HALF (1/2) TO ONE (1) INCH BELOW ALL SIDEWALKS AND CURBS. DO NOT MOVE HEAVY OBJECTS EXCEPT NECESSARY LAWN MAKING EQUIPMENT OVER LAWN AREAS AFTER THE SOIL IS PREPARED TO BE SEED OR SOD.

E. APPLY TYPE A / STARTER FERTILIZER TO INDICATED TURF AREAS AT A RATE EQUAL TO ONE (1) POUND OF ACTUAL NITROGEN PER ONE THOUSAND (1,000) SQUARE FEET OR AS OTHERWISE INDICATED. APPLY FERTILIZERS BY MECHANICAL DROP OR ROTARY DISTRIBUTOR, THOROUGHLY AND EVENING INCORPORATED WITH THE SOIL TO A DEPTH OF THREE (3) INCHES BY DIGGING OR OTHER APPROVED METHOD. FERTILIZE AREAS INACCESSIBLE TO POWER EQUIPMENT WITH HAND TOOLS AN INCORPORATE INTO THE SOIL.

F. ACCEPTABLE SEEDING TIMES: SPRING SEED PLANTING - APRIL 1 TO JUNE 1; FALL SEED PLANTING - AUG. 15 TO OCT. 1

SEED INSTALLATION

HYDROSEED

A. LANDSCAPE CONTRACTOR SHALL SEED ALL DISTURBED AREAS. THE FINAL GRADE AND TOPSOIL WITHIN +/- .10 FEET WILL BE IN PLACE FOR SEEDING CONTRACTOR.

B. CONTRACTOR SHALL APPLY CELLULOSE FIBER MULCH AT A MINIMUM RATE OF 1500 LBS./ACRE AND FERTILIZERS: BEST 6-20-20 OR BEST 15-15-15 OR APPROVED EQUIV. APPLIED AT RATE APPROPRIATE FOR PRODUCT. ORGANIC TACKIFIER SHALL BE APPLIED AT RATE OF 70 LBS./ACRE. HYDROSEED SEED MIX SHALL BE APPLIED AT THE 2,000 LBS./ACRE.

C. CONTRACTOR SHALL WATER ALL PLANT AREAS THOROUGHLY TO SATURATE UPPER LAYERS OF SOIL PRIOR TO THE HYDROSEEDING OPERATION. ALLOW THE PLANTING AREA SOIL SURFACE TO DRY OUT FOR ONE DAY ONLY PRIOR TO THE HYDROSEEDING APPLICATION.

D. CONTRACTOR SHALL APPLY THE HYDROSEEDING IN THE FORM OF A SLURRY CONSISTING OF ORGANIC SOIL AMENDMENTS, COMMERCIAL FERTILIZER, AND ANY OTHER CHEMICALS THAT ARE CALLED OUT. WHEN HYDRAULICALLY SPRAYED ONTO THE SOIL, THE MULCH SHALL FORM A BLOTTER-LIKE MATERIAL. SPRAY THE AREA WITH A UNIFORM VISIBLE COAT. USING THE DARK COLOR OF THE CELLULOSE FIBER AS A VISUAL GUIDE. THE SLURRY SHALL BE APPLIED IN A DOWNWARD DRILLING MOTION VIA A FAN STREAM NOZZLE. CONTRACTOR SHALL INSURE THAT ALL OF THE SLURRY COMPONENTS ENTER AND MIX WITH THE SOIL.

E. IF SLURRY COMPONENTS ARE LEFT FOR MORE THAN TWO HOURS IN THE MACHINE, ADD 50% MORE OF THE ORIGINALLY SPECIFIED SEED MIX TO ANY SLURRY MIXTURE WHICH HAS NOT BEEN APPLIED WITHIN THE TWO HOURS AFTER MIXING. ADD 75% MORE OF THE ORIGINAL SEED MIX TO ANY SLURRY MIXTURE WHICH HAS NOT BEEN APPLIED EIGHT (8) HOURS AFTER MIXING. ALL MIXTURES MORE THAN EIGHT (8) HOURS OLD, SHALL BE DISPOSED, OFFSITE, AT THE CONTRACTOR'S EXPENSE.

F. CONTRACTOR SHALL REMOVE ALL SLURRY SPRAYED ONTO HARDSCAPE AREAS INCLUDING CONCRETE WALKS, FENCES, WALLS, BUILDINGS, ETC. AT THE CONTRACTOR'S EXPENSE.

G. CONTRACTOR SHALL SAVE ALL SEED AND FERTILIZER TAGS AND FIBER MULCH BAGS FOR THE LANDSCAPE ARCHITECT TO VERIFY COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS.

IRRIGATION (IF APPLICABLE)

A. FURNISH ALL DESIGN LABOR, MATERIALS, AND EQUIPMENT FOR THE PROPER INSTALLATION OF AN IRRIGATION SYSTEM TO SERVICE ALL LAWN AND PLANTED AREAS.

B. THE CONTRACTOR SHALL PROVIDE LAYOUT AND DESIGN COORDINATION WITH THE LANDSCAPE REQUIREMENTS OF THE PLANTING TYPES, LOCATIONS AND SHALL INCLUDE WATER SAVING PRODUCTS (LIKE EPA WATERSENSERS) AND PRACTICES WHICH DEMONSTRATE THE HIGHEST LEVEL OF PERFORMANCE (WATER SAVING FEATURES).

C. SMART CONTROLLERS, HIGH-EFFICIENCY SPRAY NOZZLES, PRESSURE REGULATED HEADS, AND DRIFTLINE IN BEDS MUST BE INCORPORATED. INDIVIDUAL SUB-ZONES MUST BE TAILORED TO THE WATERING REQUIREMENTS OF EACH MAJOR PLANT TYPE. UNDER NO CIRCUMSTANCES SHALL ANY TURF AREAS BE WATERED IN COMBINATION WITH PLANT BEDS. SPACING OF ALL SPRINKLER EQUIPMENT SELECTED SHALL NOT EXCEED THE MANUFACTURER'S RECOMMENDATIONS AS PUBLISHED. "HEAD TO HEAD" COVERAGE IS REQUIRED IN ALL TURF AREAS.

D. IRRIGATION CONTRACTOR SHALL PARTICIPATE IN COORDINATION MEETINGS AS REQUIRED WITH THE OWNER'S REPRESENTATIVE AND RELATED PARTIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

E. THE IRRIGATION SYSTEM IS TO BE INSTALLED BY A CONTRACTOR WHO SPECIALIZES IN IRRIGATION DESIGN AND INSTALLATION AND HAS INSTALLED AT LEAST FIVE (5) PROJECTS OF EQUAL OR COMPARATIVE SIZE AND COMPLEXITY. IRRIGATION WORK SHALL BE PERFORMED BY A SINGLE FIRM, ACCEPTABLE TO THE OWNER'S REPRESENTATIVE AND LICENSED AS A CONTRACTOR IN THE STATE WHERE THE PROJECT IS TO BE INSTALLED.

F. THE SYSTEM SHALL BE DESIGNED BY A CERTIFIED EPA WATERSENSE PARTNER, AS FOUND ON THE EPA WATERSENSE WEBSITE, OR MUST BE A MEMBER OF THE IRRIGATION ASSOCIATION (IA), FAIRFAZ, VA, AND HOLD A CID (CERTIFIED DESIGNER DESIGNER) QUALIFICATION.

G. FREQUENTED STANDARDS: AMERICAN SOCIETY FOR TESTING AND MATERIALS, ANNUAL BOOK OF ASTM STANDARDS, LATEST EDITION.

H. CODES AND STANDARDS: IRRIGATION DESIGN AND INSTALLATION SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL GOVERNING AGENCY REQUIREMENTS AND TO INDUSTRY STANDARDS. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES, INCONSISTENCIES, OR CONTRADICTIONARY REQUIREMENTS.

I. SUBSTITUTIONS: NO SUBSTITUTIONS FROM THE INITIAL PLAN WILL BE PERMITTED WITHOUT REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE. REQUESTS MUST BE MADE TWO (2) WEEKS IN ADVANCE OF THE PROJECT START DATE. IN THE EVENT THE CONTRACTOR WISHES TO MAKE SUBSTITUTIONS OF MATERIALS, SUFFICIENT DESCRIPTIVE LITERATURE, NEW DESIGN, AND MATERIAL SAMPLES MUST BE FURNISHED TO ESTABLISH THE MATERIAL AS AN EQUAL SUBSTITUTE, AND THE DESIGN AS FUNCTIONAL. THE PROPOSED MATERIAL SUBSTITUTION MUST MEET THE ORIGINAL DESIGN INTENT AS IT PERTAINS TO WATER CONSERVATION.

J. APPROVAL AND SELECTION OF MATERIALS AND WORK: THE SELECTION OF ALL MATERIALS AND THE EXECUTION OF ALL OPERATIONS REQUIRED UNDER THIS PERFORMANCE SPECIFICATION IS SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE WHO HAS THE RIGHT TO REJECT ANY AND ALL MATERIALS AND ANY AND ALL WORK WHICH, IN THEIR OPINION, DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AT ANY STAGE OF THE OPERATION. REMOVE REJECTED WORK AND MATERIALS FROM PROJECT SITE AND REPLACE PROMPTLY.

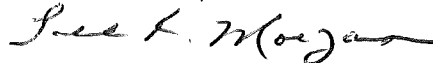
Plot time: Aug 19, 2022, 12:20pm
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Bobcat Enterprises, Inc. Sales & Service 13350 Service Road Walton, KY 41094 Boone County, Kentucky		Date: 8-19-22 Drawn by: HMW Checked by: HMW Issue Date: 07-01-22
bayer becker www.bayerbecker.com 209 Greenview Drive Fort Mitchell, KY 41017 - 859.261.1113		Drawing: 21-0212 PP Drawn by: CDO Checked by: HMW Issue Date: 07-01-22
PLANTING NOTES & DETAILS		
L2.0		

CERTIFICATE OF LAND USE RESTRICTION

1. NAME AND ADDRESS OF PROPERTY OWNER(S)
Bobcat Enterprises, Inc.
9605 Princeton-Glendale Rd
Hamilton, OH 45011
2. ADDRESS OF PROPERTY
13350 Service Rd
Walton, KY 41094
3. NAME OF SUBDIVISION OR DEVELOPMENT (if applicable)
Bobcat
4. DEED BOOK 1165 PAGE NO. 358 GROUP NO. 2082
5. TYPE OF RESTRICTION(S) (Check all that apply)
- ___ Zoning Map Amendment: ___ Conditional Use Permit
From ___ To ___
- ___ Development Plan ___ Conditional Zoning
- ___ Subdivision Plat ___ Other:
(Not Recorded)
- X Variance
6. NAME AND ADDRESS OF PLANNING COMMISSION, BOARD OF ADJUSTMENT, LEGISLATIVE BODY OR FISCAL COURT WHICH MAINTAINS THE ORIGINAL RECORDS CONTAINING THE RESTRICTION

BOONE COUNTY PLANNING COMMISSION
2950 WASHINGTON STREET, ROOM 317
P.O. BOX 958
BURLINGTON, KENTUCKY 41005




SIGNATURE OF COMPLETING OFFICIAL

Todd K. Morgan, AICP, Senior Planner
Name and Title of Completing Official

COMMONWEALTH OF KENTUCKY

COUNTY OF BOONE

Subscribed, sworn to, and acknowledged before me by Todd K. Morgan on behalf of the Boone
County Planning Commission this 21st day of September, 2022.



Treva L. Beagle
Notary ID KYNP37603
NOTARY PUBLIC, State at Large

My commission Expires:
November 12, 2025

This instrument was prepared for recording purposes only by:



Nicole Dierna
Boone County Planning Commission
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005

NO TITLE EXAMINATION

(Legal Description and source of Title and Group Number furnished by the applicant.)