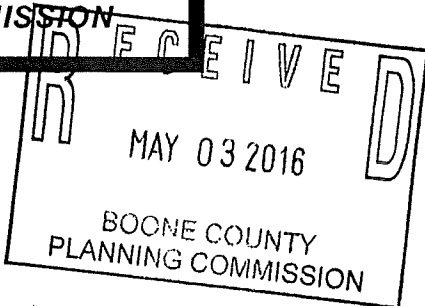


APPLICATION FORM

ZONING MAP AMENDMENT
BOONE COUNTY PLANNING COMMISSION



FIVE (5) COPIES OF SUBMITTED DRAWINGS ARE REQUIRED
(See Boone County Zoning Regulations)

SECTION A (To be completed by applicant)

1. Name of Project The Villages of Weaver Mill
2. Location of Project +/- 9.70 acres on Weaver Rd. Florence, KY (parcels 062.00-060.06 and 07)
3. Total Acreage of Site +/- 9.70 acres
4. Current Zoning of Site Commercial (C-2)
5. Proposed Zoning (Classification being requested) Urban Residential (UR-2)
6. Proposed Uses (please specify each use) New construction of ranch style apartment community.

7. Names of Applicant(s) Meierjohan Building Group
Phone No. (513) 662-3111 Fax No. _____ E-Mail carmenm@meierjohanbuildinggroup.com
8. Address of Applicant(s) 4010 North Bend Rd Suite 301
Cincinnati Ohio 45211
City State Zip
9. Name of Property Owner(s) Buckeye Properties LLC
Phone No. _____ Fax No. _____ E-Mail _____
10. Address of Property Owner(s) 4350 Brownsboro Rd STE
Louisville Kentucky 40207
City State Zip
11. Proposed Building Intensities (please specify) 55 apartment units consisting of a mix of 1 and 2 bedroom apartments in 15 buildings on the site.
12. Are there any existing buildings on the site? NO
How many? N/A
13. Deed Book D1065 Page No. 777 Group No. 2048-B
14. Are you also applying for:
NO Conditional Use Permit
NO Dimensional Variance
15. Have you submitted a Concept Development Plan? YES
16. Have you had a pre-application meeting with BCPC Staff? YES
17. Please check the following organizations/agencies which you have discussed the proposed development within the last several months:
NA Boone County Water District
Y Florence Public Services Dept.
NA Duke Energy
NA Sanitation District #1
Cincinnati Bell
Y Owen Electric Cooperative, Inc.
Boone County Public Works Department
Y Kentucky Transportation Cabinet
NA Cincinnati/N. KY International Airport (KY Airport Zoning Commission for height restrictions near the airport)

EXHIBIT

“ A ”

STAFF REPORT

Request of **Meierjohan Building Group (applicant)** for **Buckeye Properties LLC (owner)** for a Zoning Map Amendment from Commercial Two (C-2) to Urban Residential Two (UR-2) for an approximate 9.7 acre site located on the south/west side of Weaver Road across from Saddlebrook Lane, on the south and east sides of Evergreen Drive, to the northwest of the property at 957 Weaver Road, to the north and east of the property at 8912 Evergreen Drive, and to the east of the properties at 8930 and 8940 Evergreen Drive, Florence, Kentucky. The request is for a zone change to allow attached ranch style rental units.

June 1, 2016

REQUEST

The applicant has requested a Zoning Map Amendment from Commercial Two (C-2) to Urban Residential Two (UR-2) for an approximate 9.7 acre tract. The property has road frontage on Weaver Road and Evergreen Drive and is located across from the Weaver Road/Saddlebrook Lane intersection. The submitted Concept Development Plan shows that fifteen (15) ranch style apartment buildings are proposed and they will meet the 20' minimum building setback from the property lines. The buildings contain a total of fourteen (14) one-bedroom units and forty-one (41) two-bedroom units (overall building intensity of 5.67 dwelling units per acre). Each unit contains its own driveway and garage. Seventeen (17) additional guest stalls are shown in the development. The main development entrance is located at the Weaver Road/Saddlebrook Lane signalized intersection and an exclusive left hand turn lane is shown on westbound Weaver Road for motorists that are turning left into the development. Secondary access is proposed from the Kentucky Farm Bureau driveway on Weaver Road and an existing driveway on Evergreen Drive. The submitted elevation drawings and renderings show the buildings will be constructed with horizontal stone veneer, horizontal vinyl siding, shake style vinyl siding, paneled garage doors with windows, gable vents, and fiberglass shingle roofing.

RELEVANT SITE HISTORY

In 1988, Boone County Planning Commission and Boone County Fiscal Court approved a Zoning Map Amendment from Recreation (R) and Suburban Residential One (SR-1) to Suburban Residential Two/Planned Development (SR-2/PD) and Commercial Two (C-2) for an approximate 130 acre site located on both sides of the US 25/42 Connector Road (Weaver Road). The approved Concept Plan for the commercial area showed a 60,000 square foot strip center, 4,250 square foot bank, and a 4,500 square foot office (KY Farm Bureau) on the subject property. Access was shown from Ridgeview Drive (became Evergreen Drive) and US 25/42 Connector (Weaver Road). Twenty-five (25) to fifty (50) foot wide landscape buffers were shown between the strip center and Evergreen Drive. Seven conditions of approval were imposed on the development (see attachments).

In 2007, Boone County Planning Commission and the City of Florence approve a Change in an Approved Concept Development Plan allowing a commercial, retail, and office development on the 9.71 acre site. Notes on the plan indicate there will be 18,800 -19,500 square feet of commercial/retail space (lots 2, 3, or 4), a 4,000 to 5,000 square foot corner commercial use (lot 6), a 5,600 to 6,000 square foot daycare (lot 5), and 54,600 to 60,000 square feet of office space (lots 2, 4, or 5). Lot 1 was shown as permanent green space. Access was shown from two curb cuts on Weaver Road and two on Evergreen Drive. One of the conditions required road improvements to be made on Weaver Road and Evergreen Drive.

On March 26, 2008, Boone County Planning Commission approves Improvement Plan and Site Plan applications allowing grading, utility work, and installation of a private driveway system.

On April 22, 2014, the City of Florence passed Municipal Order MO-5-14. This order overrode a recommendation of approval from Boone County Planning Commission regarding the rezoning of the property from Commercial Two (C-2) to Urban Residential One (UR-1). The Municipal Order was passed after the applicant submitted a letter withdrawing their request. The submitted Concept Development Plan showed seven (7) two-story apartment buildings were proposed and each building would contain twelve-two bedroom apartments (overall building intensity of 8.65 dwelling units per acre). Access to the development was proposed from a shared driveway, with Kentucky Farm Bureau, on Weaver Road and an existing driveway on Evergreen Drive.

On July 14, 2015, the City of Florence passed Municipal Order MO-15-15. This order adopted and approved a recommendation of denial from Boone County Planning Commission regarding the rezoning of the property from Commercial Two (C-2) to Urban Residential Two (UR-2). The Concept Development Plan showed nine (9) three-story apartment buildings. The buildings contained one hundred and twenty-four (124) two-bedroom units, forty-eight (48) one-bedroom units, and a club house (building intensity of 17.71 dwelling units per acre). The apartments buildings were 42'-2" tall and the clubhouse was 46'-8" tall. The plans also showed 7 parking garages, 287 parking stalls, a pool, trash compactor, and detention basin. The main development entrance was a driveway that connected to the Weaver Road/Saddlebrook Lane signalized intersection. Secondary access came from the Kentucky Farm Bureau driveway on Weaver Road and an existing driveway on Evergreen Drive.

SITE CHARACTERISTICS

The 9.71 acre site has approximately 1,328 feet of frontage along Weaver Road, 204 feet of frontage along the southeast side of Evergreen Drive, and 904 feet of frontage along the northeast side of Evergreen Drive. A private driveway exists on the property and it runs between Weaver Road and Evergreen Drive. The access point on Weaver Road is a shared driveway with Kentucky Farm Bureau. Water mains exist along Weaver Road, Evergreen Drive, and the private driveway system. Sanitary sewer mains exist along the private driveway system and the southeastern portion of the site. Overhead utilities bisect the northwest side of the property and are also located along the southwest property lines. Boone County GIS shows the central portion of the site is 900 to 910 feet above sea level and falls to northwest and southeast. Some mature deciduous trees are located between the private driveway system and the homes located at 8940, 8930, and 8912 Evergreen Drive.

ADJACENT LAND USES AND ZONING

- Northeast: Weaver Road, Single-Family Residential Dwellings in Saddlebrook Farms Subdivision, Trails at Saddlebrook Apartments (SR-2/PD)
- Northwest: Evergreen Drive, Ridgeview Drive, and Single-Family Residential Dwellings (SR-1)
- Southeast: KY Farm Bureau (C-2) and Single-Family Residential Dwellings (SR-1)
- Southwest: Single-Family Residential Dwellings (SR-1)

RELATIONSHIP TO COMPREHENSIVE PLAN

The 2010 Boone County Comprehensive Plan's "2035 Land Use Plan" designates the site for "Commercial" uses. This designation is described as "retail, corporate and professional office, interchange commercial, indoor commercial recreation, restaurants, services, etc."

The Land Use Element makes the following statements regarding the general area:

- A. The area south of Saddlebrook Farms Subdivision along Weaver Road, has developed in an Urban Density Residential manner consistent with the subdivision, with adequate buffering for adjacent to single-family residential uses. Commercial uses should not expand along the west side of the interstate beyond the self storage facility, and the Lion's Park site should remain as a recreation area (Gunpowder Area, pg. 169).
- B. The vacant parcel between the Grammas strip center and the Weaver Road fire station should develop as a low traffic professional office use. This part of Weaver Road is not suitable for commercial driveway access. In addition, a connector road should be completed from Mt. Zion Road to Weaver Road along the west side of I-75. South of this area should remain Suburban Density Residential in nature. Existing tree stands should be preserved to establish the contrast of this area from the Northern Kentucky Industrial Park, and to decrease noise impacts of I-75 and the airport (Gunpowder Area, pg. 169).

The Land Use Element provides the following Future Land Use Development Guidelines:

- A. Developments in Boone County should begin with an assessment of the existing site features to determine positive and useful attributes, as well as features which should or can be preserved. Development design should incorporate the use of these attributes for the benefit of the development and the County as a whole, rather than leveling an entire site to meet a pre-conceived project design. Development plans should identify such areas, and delineate disturb limits to protect those areas that have been defined. True Open Space subdivision design should be considered to blend new subdivisions in with areas that have a rural character (Utilization of Existing Vegetation and Topography, pp. 161-162).
- B. As described in the Goals and Objectives, different development densities can occur in Boone County as long as the development is designed in a proper manner and the infrastructure exists or is planned to support the development. The Goals and Objectives also acknowledge that fluctuations in the economy and housing market should be considered when evaluating the uses and design of developments.

Business, commercial, or industrial parks should be designed and developed to allow future residential or other uses to access through them where the corridor may extend to large developable tracts or may provide a future road connection. A roadway that is suitable for mixed use development should serve side streets for businesses rather than serving individual businesses directly, include an urban curb and gutter design, and provide pedestrian amenities and green space along the right-of-way. In this way, future residential development could be developed beyond the initial development, but be readily marketed.

Sanitary sewer issues have larger impact on where development occurs than do the other types of infrastructure in Boone County. The presence of sanitary sewer has a direct impact on the lot

sizes of residential development in particular. Most residential development in outlying areas without access to sewer service typically develops on lots that are larger than an acre. In fact, septic system permits almost always require residential lots of greater than one acre to accommodate leach areas. On the other hand, the presence of public sanitary sewer facilities have normally resulted an increased demand for more dense single-family residential development. This development often occurs roughly in the range of three dwelling units per acre - which typifies single family projects in Boone County at this time. There is little development occurring in Boone County between these two general density levels. As pointed out in the Housing Element, this phenomenon often results in different housing and lot characteristics adjacent to each other. In these conditions, proposed residential developments that have smaller lot sizes than surrounding land uses are recommended to utilize the following design mechanisms to address the impacts on existing development.

The proposed development should consider in its design a band of larger lots and setbacks along the affected perimeter of the site adjacent to existing development to provide an adequate transition. The proposed development should consider a band of development along the existing main roadway in which the houses face the main road to appear rural, and where the lots in this band are larger than those in the balance of the proposed development. Building setbacks and lot frontages should imitate existing setbacks along the road.

Highly visible portions of the proposed development site should consider green space. The style of green space, including tree types, fencing or other similar features should imitate the existing road corridor views. Grandiose subdivision entryways may not be appropriate depending on existing conditions in the corridor.

These recommendations are site specific and should be evaluated on a case-by-case basis. There may be other design mechanisms not identified here that may work in some instances” (Development Layout, Lot Sizes, and Setbacks, pg. 162).

- C. “Developments in Boone County must recognize the potential impacts upon adjoining land uses and incorporate a transition of land uses, building setbacks, and/or landscaping to minimize these impacts. Potential impacts include visual, noise or vibrations, odors, dust, smoke, and light. Buffering to mitigate these impacts should be an integral part of the design of proposed projects; existing site features should be used in meeting this guideline. Developments should provide buffering along public roadways, to soften the visual impact. Appropriate wooded areas and stream valleys should remain as open space within developments and between developments. Developments proposed adjacent to planned or established open spaces should provide pedestrian access where appropriate. Natural green space benefits the community as well as encourages developers to create innovative development designs through clustering of buildings and impermeable area. Typically, buffering is required and provided between unlike land uses; however, as the development of Boone County fills in previously rural areas, different lot sizes and designs of residential development sometimes impact each other. Where an appropriate gradation of lot size and setbacks cannot be designed into a proposed residential subdivision development of a significantly higher density than existing adjacent residential uses, deliberate vegetation buffering may need to be incorporated into the design to help protect low density residential areas. Buffer areas should use and supplement existing site features where possible” (Buffering, pp. 162-163).
- D. Developments in Boone County must include landscaping to accompany the proposed project. Retention of existing healthy vegetation is considered a component of landscaping and is encouraged. This landscaping should be designed to improve the public view of a development, and should be incorporated into parking lots and other vehicle circulation areas, as well as within

open spaces and around structures. Landscaping is intended to minimize the visual impacts of the development from adjoining properties and roadways. The amount of heat absorbed by impervious cover from sun radiation is decreased by landscaping, which reduces energy costs. Landscaping helps purify the air of harmful pollutants, thus reducing health impacts. It also helps reduce the quantity and improve the quality of storm water runoff, including temperature. The use of bioretention islands (water filtering basins) and grass swales should be used where possible in place of raised islands. Native species are often heartier than nursery stock and should be used wherever possible to minimize pesticides and other high impact forms of maintenance. Developments along major roadways in Boone County must include landscaping between the development and the right-of-way in order to promote the aesthetic appearance from the roads and to facilitate the compatibility of differing land uses (Landscaping, pg. 163).

- E. Developments in Boone County must recognize the potential impacts of stormwater runoff. Developments must design and incorporate adequate provisions for the channelization and control of the rate of stormwater flow on and from the site. One goal of local storm water programs should be to minimize the amount of storm water generated by decreasing the amount of pavement and encouraging green rooftops. Creating less runoff by increasing on-site infiltration is a method of managing runoff.

Control and mitigation practices for erosion associated with developments must be provided. At a minimum, developments must seed and mulch all graded areas and provide siltation controls. Stormwater management and erosion control measures must be concurrent with site work in order to be effective. Stormwater management officials must also consider the cumulative effects of increased development runoff in watersheds (Stormwater Management and Erosion Control, pg. 163).

- F. Developments in Boone County must recognize the potential impacts of associated traffic on adjoining properties and transportation systems. The need exists to protect the capacity of the existing roadway network, and to plan improvements to accommodate new development and travel patterns. Access management provisions include the coordination of curb cuts, adequate corner clearance and site distance for access points, adequate space between access points, shared access points and parking facilities, provisions for access connections to adjoining properties, and dedication of public right-of-way. In subdividing property, arterials or collectors should not be used for direct access to lots, rather a system of local streets should feed into the collector and arterial system. Connections between and within commercial and industrial developments allow for more efficient provision of transit service (Access Management, pg. 163).
- G. Developments in Boone County must be designed, where appropriate, to improve the County's transportation network system of roadways, and functional classifications must be used in the planning for and designing of new developments. Collector roadways should be extended and developed to provide for the safe movement of traffic through and between subdivisions. Development along existing arterials and collector roadways should not have direct driveway access, but be served by a local street. Appropriate road connections should be constructed to provide alternate routes for traffic to and through specific projects and to enhance the capacity of existing streets. The traditional grid system can provide an alternative to typical suburban design. Parallel and frontage road should be used to minimize impacts of individual sites on collector and arterial roadways. Appropriate pedestrian networks should be incorporated into the design of developments which will generate or experience significant pedestrian use. These networks should not only provide internal paths, but should provide connections to adjoining uses where appropriate. Public open space and recreation sites should be connected to each other by bicycle and pedestrian paths where appropriate. Transit Oriented Development (TOD) is discussed in detail in the Transportation Element, and should be examined as a future direction in Boone County development patterns (Transportation and Pedestrian Network, pp. 163-164).

- H. Developments in Boone County should give consideration to the overall design of the area. Site, landscape, and building design should be a primary concern at the early stages of the development, with an emphasis on the aesthetic impact of the proposed use. The minimal use of signs is encouraged; signage should be adequate to identify a specific development, but should not be used as a means to compete for motorist attention. The objective is to avoid the confusion and/or distraction of motorists, and to avoid the potential negative impacts of signs on the visual appearance of a development or corridor. Overhead utility lines should be placed underground wherever possible, and junction boxes screened from public view. Neo-traditional residential and commercial development should be encouraged to provide quality development that blends with the natural or historic character of parts of Boone County. This Comprehensive Plan encourages the restoration, renovation and/or adaptive re-use of historically significant structures in Boone County (Design, Signs, and Historic Preservation, pg. 164).

The Housing Element provides the following comments that relate to the proposal:

- A. Multi-family housing developments should have convenient access to commercial districts or should provide their own supporting commercial uses. The developments should be designed to offer the shortest trips to the most people. High density residential developments help to hold down the cost of individual units due to many variables including lower land cost per unit, lower land development cost and building unit costs per unit. Clustering of the dwelling units allows this by requiring less site work and utility construction. Better design can correlate with more density, and walkable, multi-modal communities. This also provides a supply of affordable housing for county residents (Housing Types, pg. 79).
- B. High density residential areas should be located sufficiently near and with convenient access to major streets, highways, and shopping and public facilities. A progression of densities of residential uses from high (multi-family) to low (single family) shall be encouraged. Where traditional progressions of high to low net density are not possible through creative development design, an appropriate and attractive visual transition should be achieved. This could include existing vegetation or new landscaping and/or fencing. Existing vegetation (such as wooded fence rows) should be retained as much as possible to provide buffer strips and stormwater filters. This serves a dual purpose in that woodland is becoming relatively scarce in the eastern uplands of the county, and these areas buffer different land uses. Housing that is proposed on smaller, remnant tracts need to be carefully designed (Housing Densities, pg. 81).
- C. The areas of greatest projected population growth are in the Richwood/Union, the Burlington area, south along I-75, and in the northern Hebron area. The western and southern sections of Boone County are projected to experience less population growth and less of a housing need. As noted previously, there is a desire of the population to live in rural areas that are convenient to the centers of commercial activity. This suggests a continuation of the outward movement of housing construction from the general Florence area. This movement is accelerated directionally by major thoroughfares such as KY 18, KY 237, US 42 and interstate interchanges. Residential development should occur near established urban or suburban areas (Conclusion, pg. 85).
- D. Development in established areas takes advantage of existing services and minimizes future strain on the transportation network. The Public Facilities Element shows the existing and planned water lines and other services which will influence the locations of new residential construction. The plans for sanitary sewerage for Boone County are of particular importance when high density residential development is reviewed. Stormwater management is becoming a key issue with the extensive residential development in the county, and needs to be addressed creatively to solve runoff and erosion problems, while creating visually appropriate facilities (Conclusion, pg. 85).

The 2010 Boone County Comprehensive Plan's Goals and Objectives include the following pertinent statements:

- A. Boone County shall strive to achieve both a diversity and balance in land use. Land use and zoning decisions shall strive to balance the rights of landowners with the rights of the general public in a fair and impartial manner (Overall, Objective).
- B. Future growth shall be accompanied by adequate infrastructure and services. Existing infrastructure and services shall be maintained or improved as needed (Overall, Objective).
- C. Existing vegetation shall be considered as both an important site characteristic and a community resource (Environment, Objective).
- D. The incremental effects of development on the environment, including, but not limited to storm water, erosion, woodlands, streams, and views shall be evaluated and addressed with public involvement (Environment, Objective).
- E. Boone County shall seek an overall combination of land uses (residential, agricultural, commercial, industrial, public, transportation, etc.) that yields a balance between the public revenues generated from those uses and the public expenditures required to support those uses (Economy, Objective).
- F. A broad range of housing opportunities shall be provided which meets the needs and desires for all household types (Housing, Objectives).
- G. Mixed use, higher density neighborhoods shall be encouraged near existing or proposed mass transit areas, commercial districts, and public facilities (i.e. parks) and also have convenient access to major streets and highways (Housing, Objectives).
- H. Residential developments shall be encouraged to plan and build in a manner which is compatible not only with the general housing density and design planned for the area but also with the existing conditions of the site, including the suitability of adjoining lands for appropriate access, and significant site features (Housing, Objectives).
- I. Safe, efficient and environmentally sound public services and facilities shall exist for all development (Public Services and Facilities, Goal).
- J. Existing infrastructure and services (e.g. systems and facilities for: water treatment and distribution, wastewater collection and treatment, natural gas distribution, electric power distribution, communication lines, police and fire services and associated municipal buildings, schools, public roads and storm water management) shall be utilized efficiently. The phasing of proposed development shall demonstrate a means of addressing significant impacts on existing infrastructure and services (Public Services and Facilities, Objective).
- K. The incremental effects of developments on public facilities and services shall be evaluated and addressed (Public Services and Facilities, Objective).
- L. The local transportation system in Boone County shall be maintained and improved so that overall safety and level of service will be enhanced. Inefficiencies in the system will be identified and addressed. New land development shall be closely coordinated with the local transportation system to assure efficiency and continuity with the regional multi-modal transportation system (Transportation, Goal).

- M. Priority shall be given toward maintaining, protecting, and improving the capacity and safety of the existing road system (Transportation, Objective).
- N. Mixed use, higher density neighborhoods shall be designed to accommodate safe pedestrian access to mass transit, access to major streets and highways, public facilities, and parks (Transportation, Objective).

STAFF COMMENTS

- 1. The Planning Commission and City of Florence need to analyze the findings necessary for granting a Zoning Map Amendment as listed in Section 308 of the Zoning Regulations.

The applicant's team submitted a letter with the request which provides a basis for the zone change.
- 2. The following chart has been prepared so the building intensity of the proposed apartment complex could be compared to other apartment complexes in the immediate area.

DEVELOPMENT	MULTI-FAMILY UNITS	ACREAGE	BUILDING INTENSITY
VILLAGES OF WEAVER MILL (PROPOSED)	55	9.7 +/-	5.67 D.U. PER ACRE
WEAVER FARM APARTMENTS	264	23.246	11.36 D.U. PER ACRE
TRAILS AT SADDLEBROOK	227	23.12	9.82 D.U. PER ACRE
TRELLISES APARTMENTS	301	18.953	15.88 D.U. PER ACRE

- 3. A Traffic Impact Study was submitted with the request and the entire document is part of the record. The introduction, trip generations, and findings and conclusions sections have been copied and are included in the Staff Report. Highlights of the Study include:
 - A. Total trips for the development are estimated to be 28 and 34 for the AM and PM peak hours. A comparison table indicates that trip generation for the proposed apartment complex will be significantly lower (approximately 82% less for the AM peak and approximately 86% less for the PM peak) than the retail/commercial/office development.
 - B. The analysis at the Weaver Road/Saddlebrook Lane intersection will continue to operate at Level of Service (LOS) B and C during the AM and PM peak hours.
 - C. The analyses completed at the Weaver Road/Ascot Drive and Weaver Road/Ridgeview Road intersections show the new trips generated by the new development will not have any impact on the flow of traffic and safety of vehicles.
 - D. An exclusive westbound left hand turn lane should be provided at the Weaver Road/Saddlebrook Lane intersection for motorists that are turning into the proposed development. The turn lane should be 295 long, including the taper.

- E. The northbound approach on Drive A (main development driveway that connects to traffic signal) should be constructed to provide an exclusive left hand turn lane and a shared lane for through traffic and right-hand turns.

4. Staff has the following comments regarding the application:

- A. Staff would like the applicant to address if the berms along Weaver Road and Evergreen Drive will remain.
- B. Staff would like the applicant to address similar apartment projects they have constructed. Where are they located and who are their typical tenants (seniors, single professionals, married couples with children, etc.)?
- C. The project does not show any amenities (pool, playground, etc.).
- D. The building elevations and floor plans show that the units will have rear patios and be screened with 6' tall privacy fencing. The fencing cannot be permitted behind building #1 because it would be located in the corner side yard.
- E. Staff recommends that more guest parking stalls should be added to the plan.
- F. The plans show that sidewalks will be constructed along the Weaver Road frontage, main development driveways, and a small portion of Evergreen Drive. The Planning Commission and City of Florence should determine if the sidewalk system is adequate.
- G. Are outside trash areas or mail kiosks being provided? If so, where will they be located?
- H. A note on the plan indicates that all site lighting will be placed on the buildings and will not glare onto adjacent residential properties.
- I. The back and sides of the buildings are being constructed entirely of vinyl siding. Staff recommends the following:
- The vinyl horizontal siding shown on the buildings shall be replaced with polymer siding. Vinyl siding products may be used in the roof gable areas.
 - The rear facades of buildings 1, 3, and 11 shall be constructed with some stone veneer. The proportion of stone veneer shall replicate the front of the buildings.
- J. Staff would like the applicant to address if the size of the storm water detention basin is adequate and the outlet point across Evergreen Drive.
- K. The landscaping plan shows the following Waivers will be sought:

275' Property Line (common property line with Browning)

A 20' wide Buffer Yard B is required and the following plantings are required:

- 14 Evergreen from Plant List D
- 17 Additional Trees from Plant List A, B, C, or D
- 42 large shrubs from Plant List C

The Waiver would allow a 6' shadowbox fence to be installed in place of the required evergreen trees and large shrubs. The fence is shown on the property line.

490' Property Line (common property line with Browning, Gausepohl, Pommier, and KY Farm Bureau)

A 20' wide Buffer Yard B is required and the following plantings are required:

- 25 Evergreen from Plant List D
- 30 Additional Trees from Plant List A, B, C, or D
- 74 large shrubs from Plant List C

The Waiver would allow:

- A 6' shadowbox fence to be installed instead of the required evergreen trees and shrubs. The plans also indicate that three existing trees and honeysuckle vines would be retained in the buffer.
- The planting of the required trees on both sides of the development drive.

Staff would like the applicant to address if some of the maple trees could be replaced with columnar evergreen trees to provide year around screening?

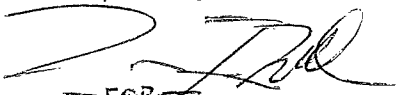
5. Staff sent out an memo regarding the project on May 9, 2016. At the time the Staff Report was finalized, Florence Fire, Florence Public Services, and Kentucky Transportation had commented. Their responses are attached to the Staff Report.
6. Staff also reached out to Carol Callan-Ramler, with Kentucky Transportation Cabinet regarding Project 6-367. As part of this project, sidewalks will be constructed on Weaver Road between the newly constructed US/Weaver Road intersection and the Florence Fire Department. Project construction is currently scheduled for 2017.

The City of Florence has also applied for Federal funds to help with the construction of an approximate 2,100 foot section of sidewalk between Tamarack Drive and Saddlebrook Lane. This section of sidewalk will tie into the sidewalks that are part of the state road project outlined above. Boone County is a partner with the City of Florence in this project and has committed equal funding. This section of sidewalk should also be constructed in 2017.

CONCLUSION

The Zoning Map Amendment request needs to be evaluated by the Boone County Planning Commission and Florence City Council in terms of Article 3 of the Boone County Zoning Regulations and potential impacts on existing and planned uses in the area. The Future Land Use Map will need to be amended if the request is approved.

Respectfully Submitted,



FOR
Todd K. Morgan, AICP
Senior Planner, Zoning Services

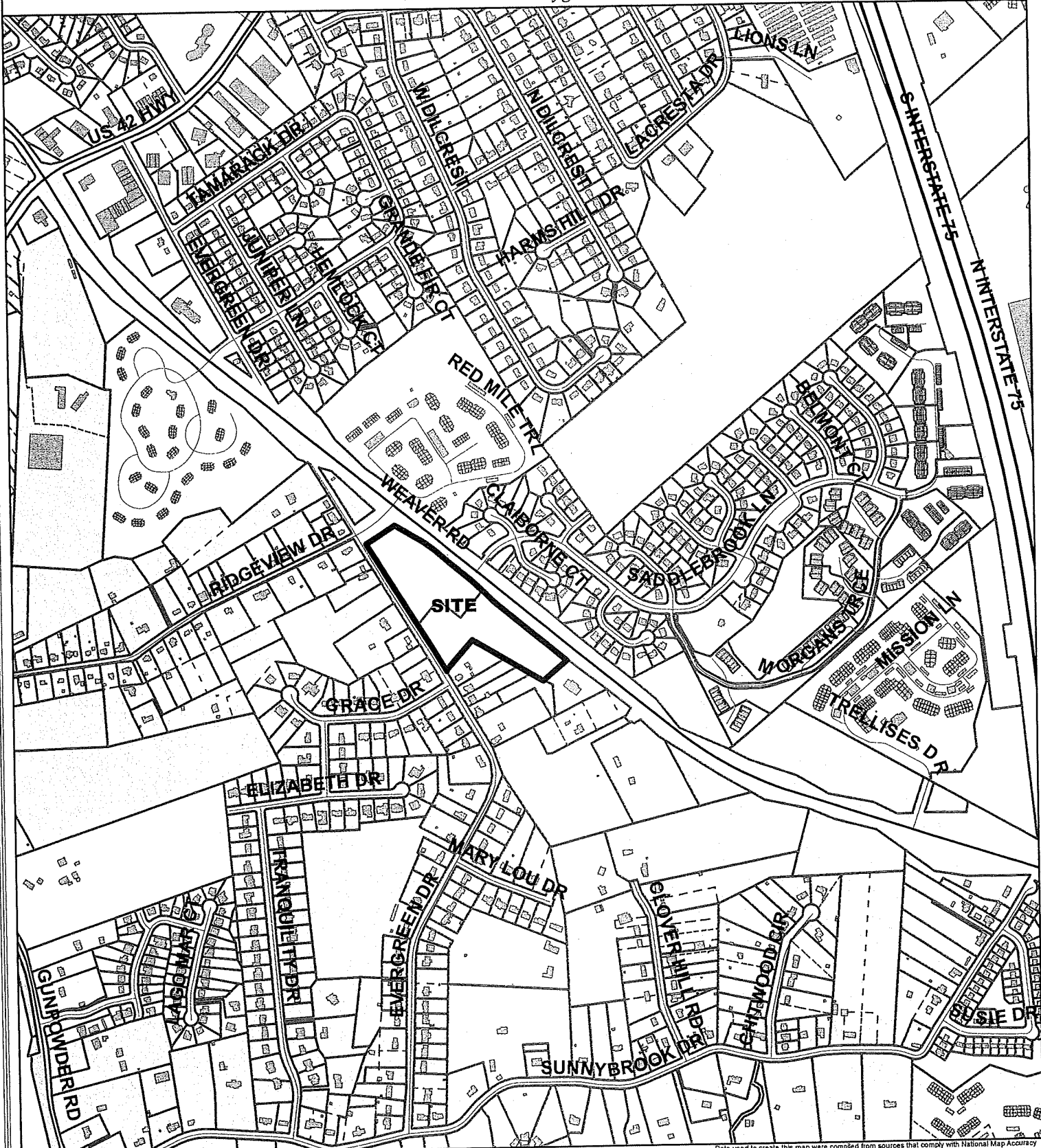
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Attachments:

- *Site Vicinity Map
- *Concept Development Plans
- *Letter From Applicants Team - Basis for Zone Change
- *Introduction, Trip Generations, and Findings and Conclusions from Traffic Impact Study
- *Zoning Map
- *2035 Future Land Use Map
- *Topographical Map
- *2013 Aerial Map
- *1988 Committee Report, Fiscal Court Conditions, and Concept Development Plans
- *2007 Condition Letter and Concept Development Plan
- *2014 Concept Development Plan
- *2015 Concept Development Plan
- *Agency Memo
- *Email from Fire Marshal Krebs
- *Email from Matt Bogen
- *Email from Josh Hunt
- *Application

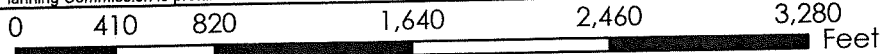
SITE VICINITY MAP

www.boonecountygis.com



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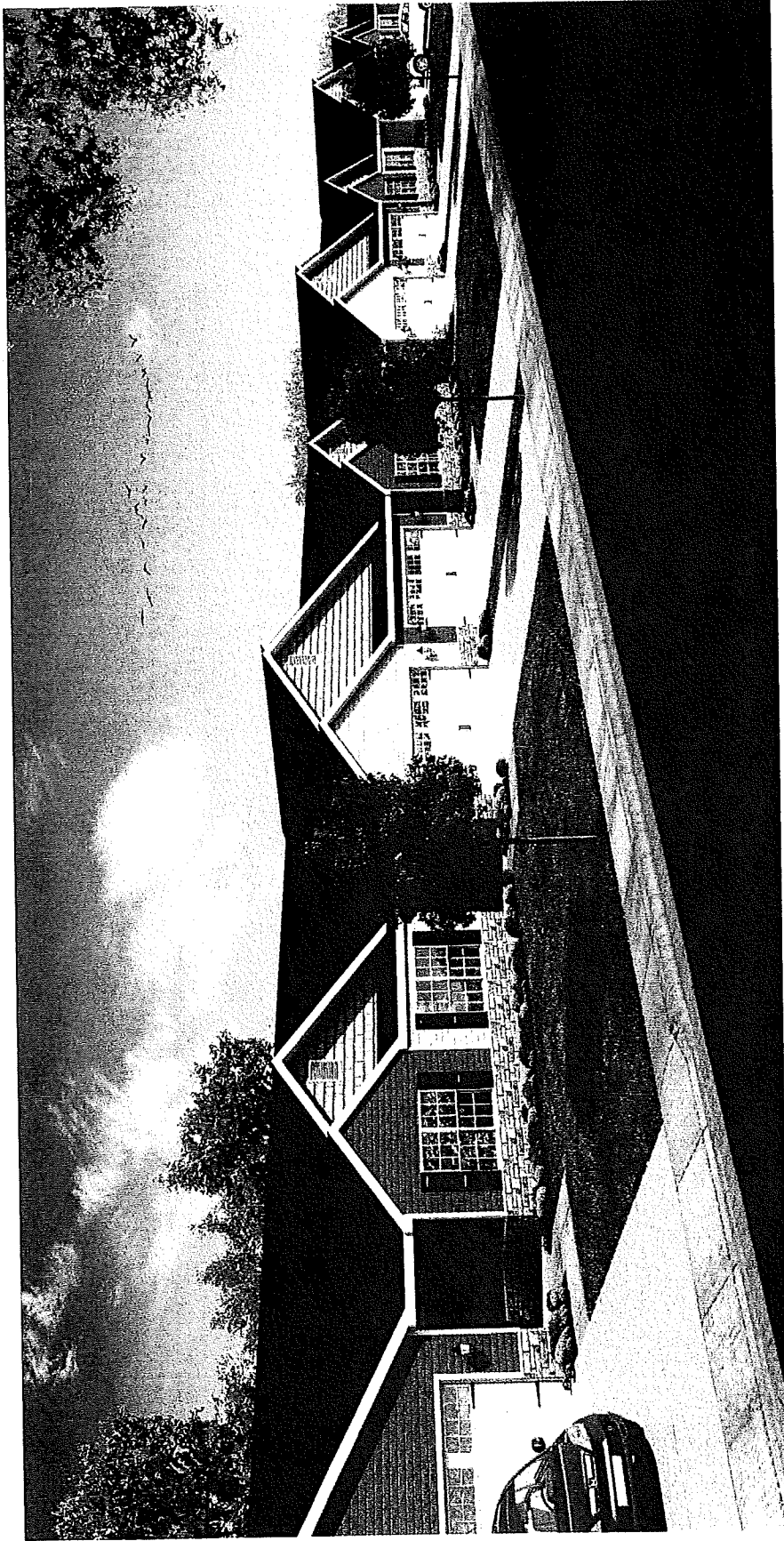
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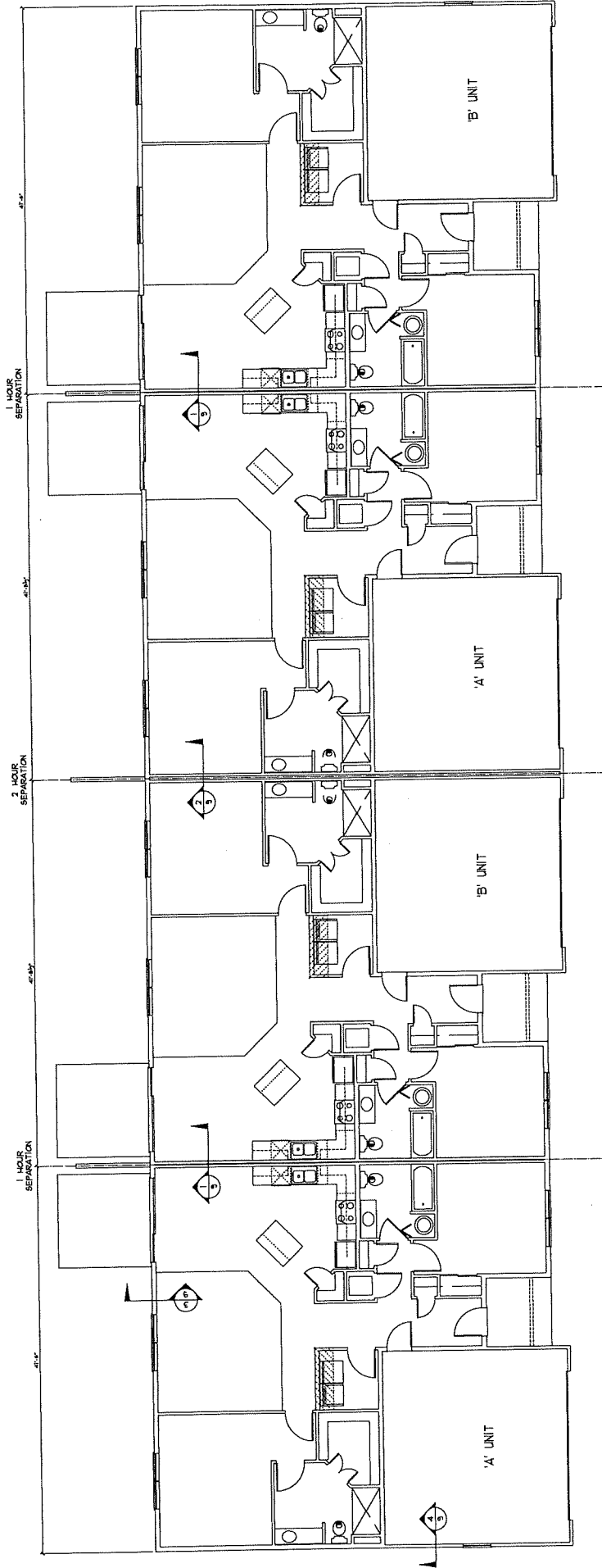
1 inch = 800 feet




Boone County GIS - Putting Northern Kentucky on the Map



STREET PERSPECTIVE VIEW



4-UNIT BUILDING FLOOR PLAN
 SCALE: 3/32"=1'-0" (1/8"=1'-0" (24x36))


Full House
 Residential Design, LLC
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 College Corner, Ohio 46003
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gregguthertdesign.com
 GREG RUTHER - Designer

MEIERJOHAN
 BUILDING GROUP
meierjohanninggroup.com
 (513) 662-3111

MULTI-FAMILY RESIDENCE
 "SYDNEY"

DATE	2/22/15
REVISIONS	3/16/15
JOB #	10015053
SHEET #	A-2.0

FLOOR PLAN NOTES

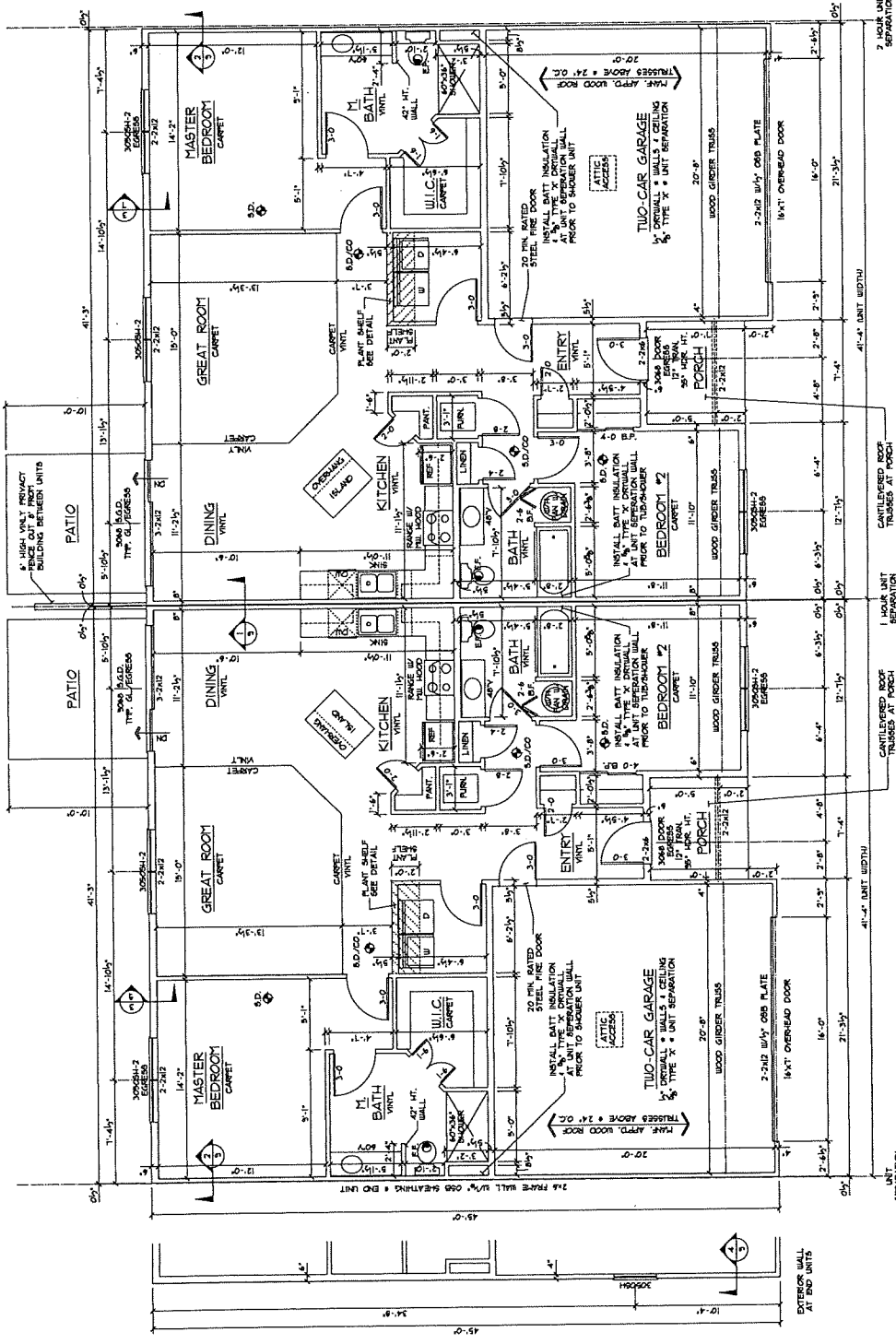
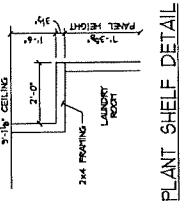
- 3D-HW SMOKE DETECTOR INTERCONNECTED TO THE SMOKE ALARM SYSTEM.
- ROUGH FRAME HEADERS VT. & EXT. DOORS & POORS TO BE 8'-10", UNLESS NOTED OTHERWISE.
- ROUGH FRAME HEADERS NEGAT. INTERIOR OPENINGS TO BE 8'-11", UNLESS NOTED OTHERWISE.
- ALL CORNERS SHALL BE 3/4" HIGH BALUSTERS AT 48" ON CENTER. ALL BALUSTERS SHALL ALLOW 1/2" DIA. TO PASS THROUGH.
- WALL FINISHED MATERIALS TO BE 3/4" MIN. 3/8" MAX. THICKNESS. ALL FINISHES TO BE 1/2" MIN. THICKNESS.
- ALL INTERIOR & EXTERIOR STEPS & LANDINGS SHALL BE ILLUMINATED.
- EXTERIOR STEPS: 84" MAX RISE & 18" MIN. TREAD.
- ATTIC ACCESS PANEL: TO BE AFFD. 27"x30" MIN. CLEARANCE TO ATTIC.
- EGRESS WINDOWS: TO BE AFFD. 20" MIN. CLEARANCE TO EXTERIOR. ALL WINDOWS SHALL BE AFFD. TO EXTERIOR.
- ALL TRUSS SPAN INDICATIONS & GROSS TRUSS LOCATIONS NOT SHOWN FOR AN CLARITY. TRUSSES SHALL BE AFFD. TO EXTERIOR. ALL TRUSSES SHALL MAKE LAY-OUT FOR SPANS, GROSS TRUSS LOCATIONS, AND BEARING POINT REQUIREMENTS. TYPICAL TRUSS SPAN SHALL BE 12'-0" TO 14'-0".
- THE TRUSS ABOVE TRUSS MANUFACTURER TO PROVIDE TRUSS MANUFACTURER'S TRUSS TYPE TRUSS. NOTE: ALL COLLARS SHALL HAVE SOLID BEARING TO FOUNDATION WALL BELOW. COLLARS SHALL BE AFFD. TO EXTERIOR. COLLARS SHALL BE AFFD. TO EXTERIOR. COLLARS SHALL BE AFFD. TO EXTERIOR.
- ALL CLOTHES CLOSETS TO HAVE (1) SHELF/ROD, LINER CLOSET & PANTS TO HAVE (1) SHELF, HANGERS & PANTS HANGERS.
- ALL CLOTHES CLOSETS TO HAVE (1) SHELF, HANGERS & PANTS HANGERS.
- ALL CLOTHES CLOSETS TO HAVE (1) SHELF, HANGERS & PANTS HANGERS.

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 greg@fullhousearchitects.com
 GREG RUTHER - Designer

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 BUILDING GROUP
 meierjohanninggroup.com
 (513) 662-3111

'S, SYDNEY'
 MULTI-FAMILY RESIDENCE

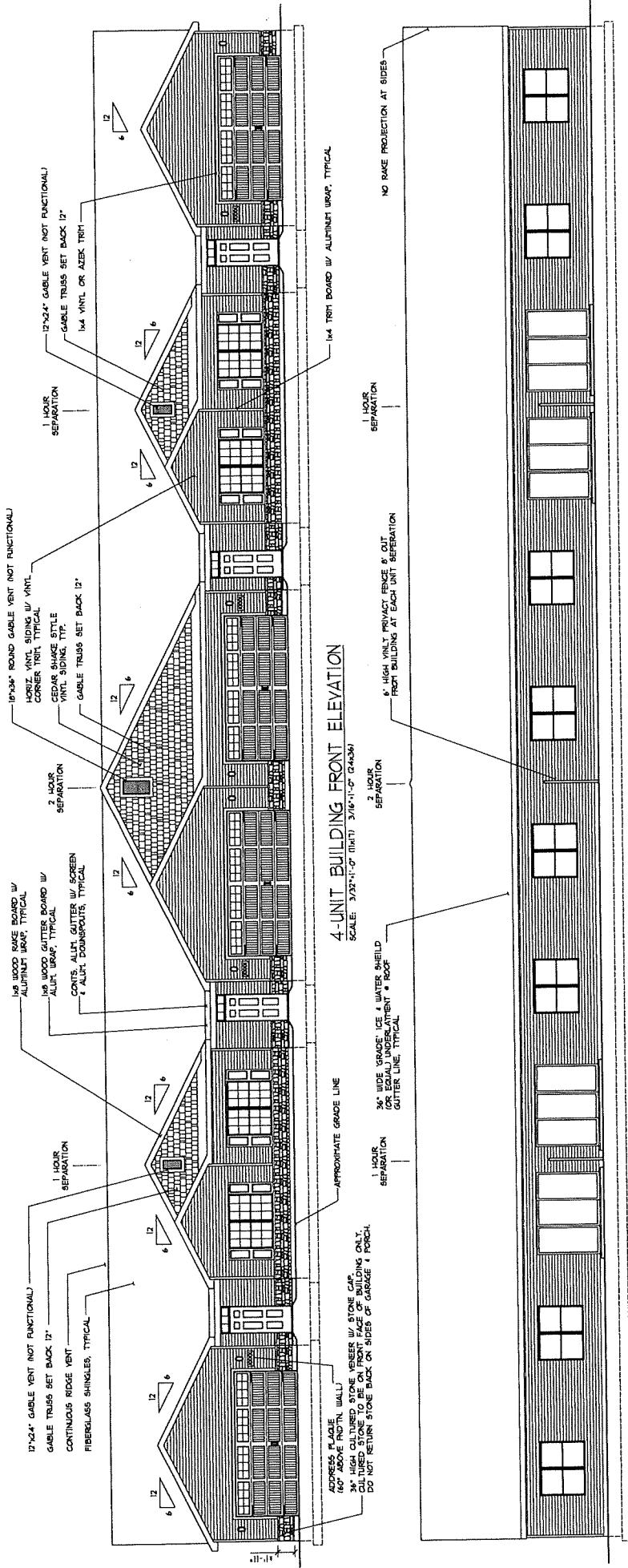
REVISIONS	3/16/15
DATE	2/24/15
JOB #	100 5055
SHEET #	A-3.0



9'-1 1/2" CEILING HEIGHT

TYPICAL 'B' UNIT FLOOR PLAN
 SCALE: 1/4" = 1'-0" (TYP) 1/4" = 1'-0" (TYP) GARAGE RIGHT

TYPICAL 'A' UNIT FLOOR PLAN
 SCALE: 1/4" = 1'-0" (TYP) 1/4" = 1'-0" (TYP) GARAGE LEFT



- ELEVATION NOTES**
1. PROVIDE WATERPROOFING MEMBRANE AT ALL VALLEY & ROOF/WALL CONNECTIONS. INSTALLED PER MANUFACTURER'S INSTRUCTIONS. MIN. 1/8" VERT. UP WALL W/ 6" MIN. END LAP.
 2. PROVIDE WATERPROOFING MEMBRANE TAPE AT ALL UNIONS. INSTALLED PER MAN. SPECS.
 3. ALL EXTERIOR STEPS & LANDINGS SHALL BE ILLUMINATED BY LIGHT & DOOR.
 4. ALL GABLE & VALLEY OVERHANGS TO BE FLASHED UNLESS NOTED OTHERWISE.
 5. SLOPE FINAL GRADE DOWN 6" MIN. IN THE FIRST 10' AWAY FROM BUILDING.
 6. PROVIDE 3/4" MAXIMUM GRADE SLOPE TYPICAL
 7. FOR FINISHED GRADE REFER FINAL GRADING PLAN

DATE	2/24/15
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JOB #	102 30-53
SHEET #	A-4.0

MULTI-FAMILY RESIDENCE
"SYDNEY"

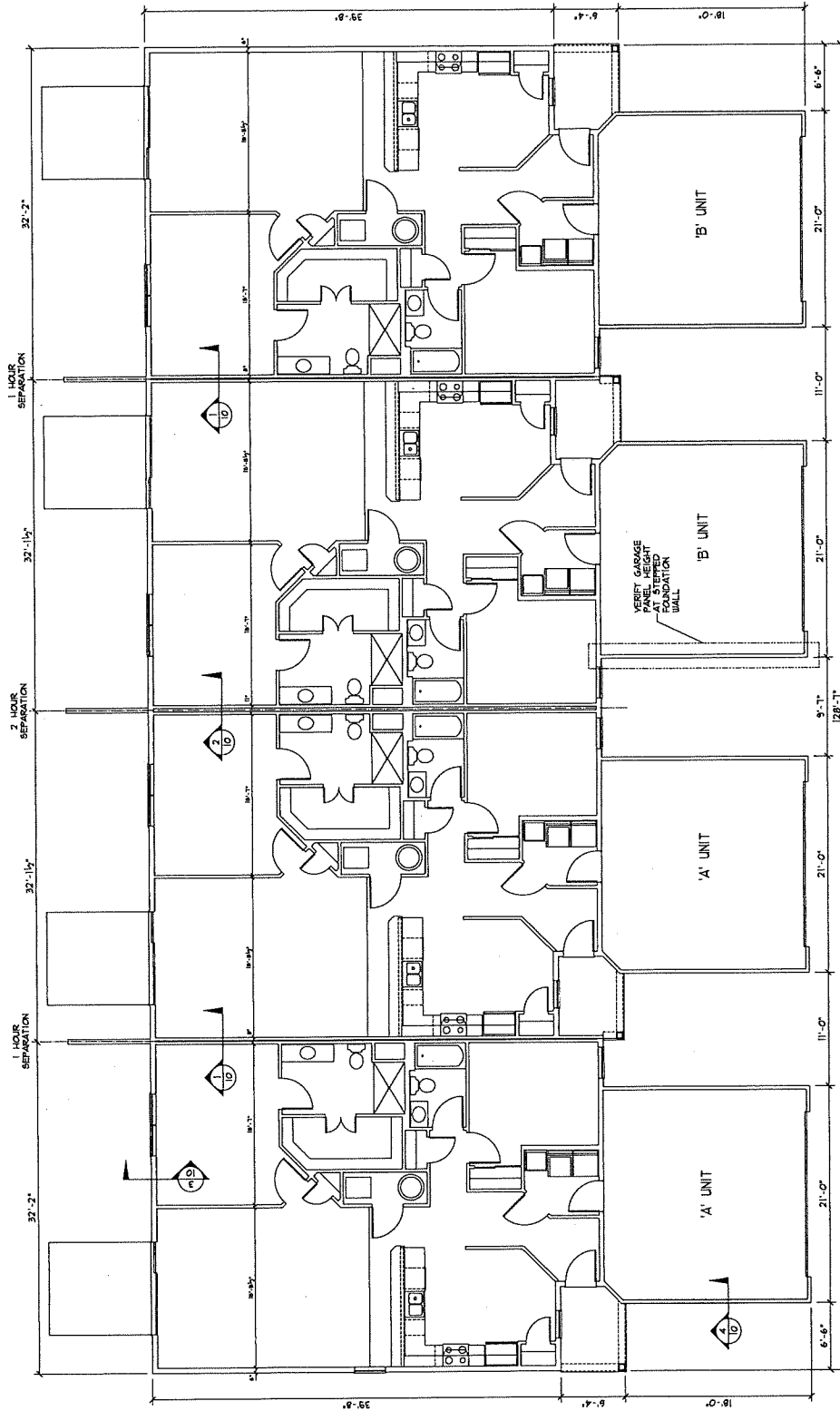
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Residential Design, LLC

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College Corner, Ohio 43003
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info@fullhousearchitectural.com
GREG RUTHER - Designer

ALL
BID
PERMISSION
BY PLAN

4-UNIT BUILDING RIGHT SIDE ELEVATION
SCALE: 3/32"=1'-0" (MINI) 3/16"=1'-0" (24x36)
LEFT ELEVATION SIMILAR



5-UNIT BUILDING PARTIAL FLOOR PLAN

SCALE: 3/32"=1'-0" (INT'L) 3/16"=1'-0" (2x3x6)

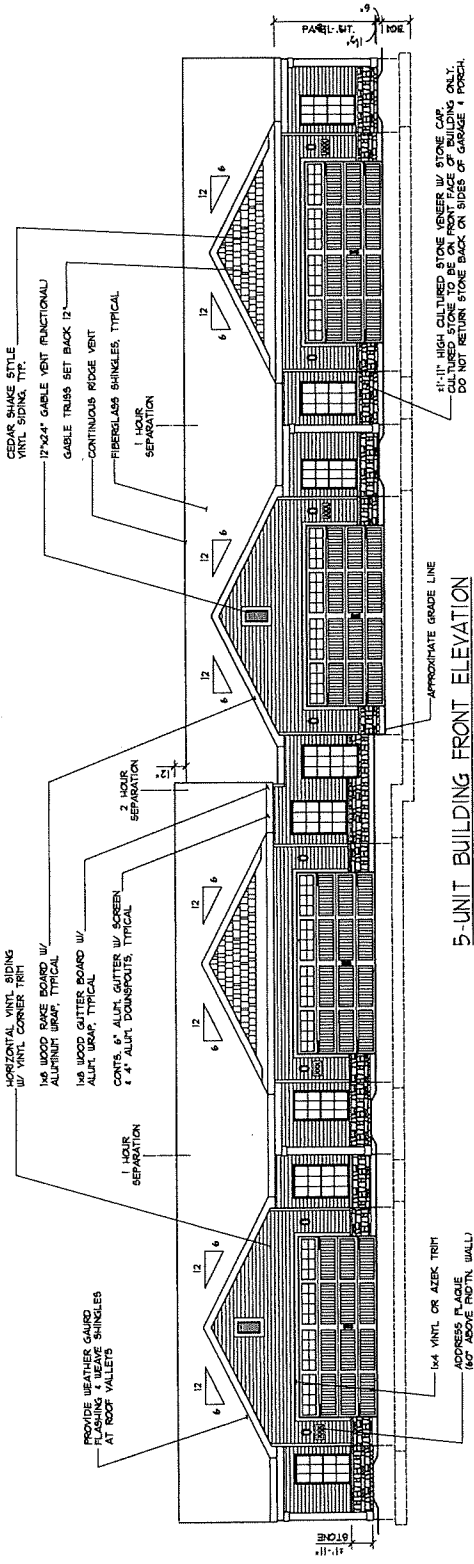
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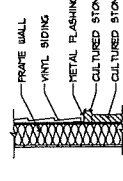
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College Corner, Ohio 43003
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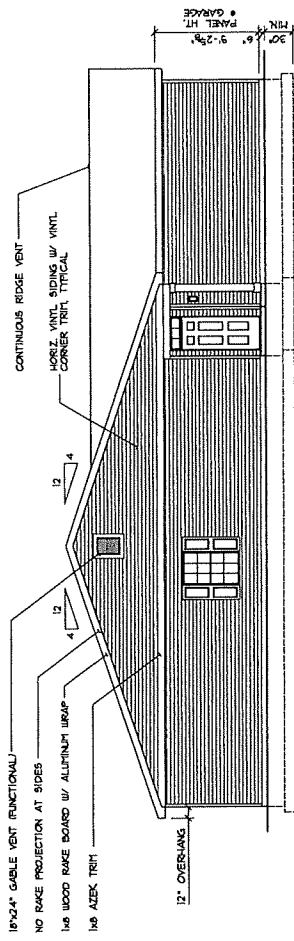
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5-UNIT BUILDING FRONT ELEVATION
 SCALE: 3/32"=1'-0" (LIMIT) 3/16"=1'-0" (24x36)



CULTURED STONE FLASHING
 SCALE: N.T.S.



5-UNIT BUILDING LEFT SIDE ELEVATION
 SCALE: 3/32"=1'-0" (LIMIT) 3/16"=1'-0" (24x36)

ELEVATION NOTES

1. PROVIDE WATERPROOFING MEMBRANE AT ALL VALLEY LOCATIONS. PROVIDE 3/4" ROLL W/ 6" HORIZ. ON ROOF & 18" VERT. UP WALL W/ 6" MIN. END LAP. PROVIDE 3/4" ROLL W/ 6" HORIZ. ON ROOF & 18" VERT. UP WALL W/ 6" MIN. END LAP.
2. PROVIDE WATERPROOFING MEMBRANE TAPE AT ALL WINDOWS. INSTALLED PER MANF. SPECS.
3. ALL EXTERIOR STEPS & LANDINGS SHALL BE ILLUMINATED BY LIGHT & DOOR.
4. ALL GABLE & VALLEY OVERFRAMING TO BE TRUSSED UNLESS NOTED OTHERWISE.
5. SLOPE FINAL GRADE DOWN 6" MIN. IN THE FIRST 10' AWAY FROM BUILDING.
6. PROVIDE 3" MAXIMUM GRADE SLOPE. TYPICAL
7. FOR FINISHED GRADE REFER FINAL GRADING PLAN

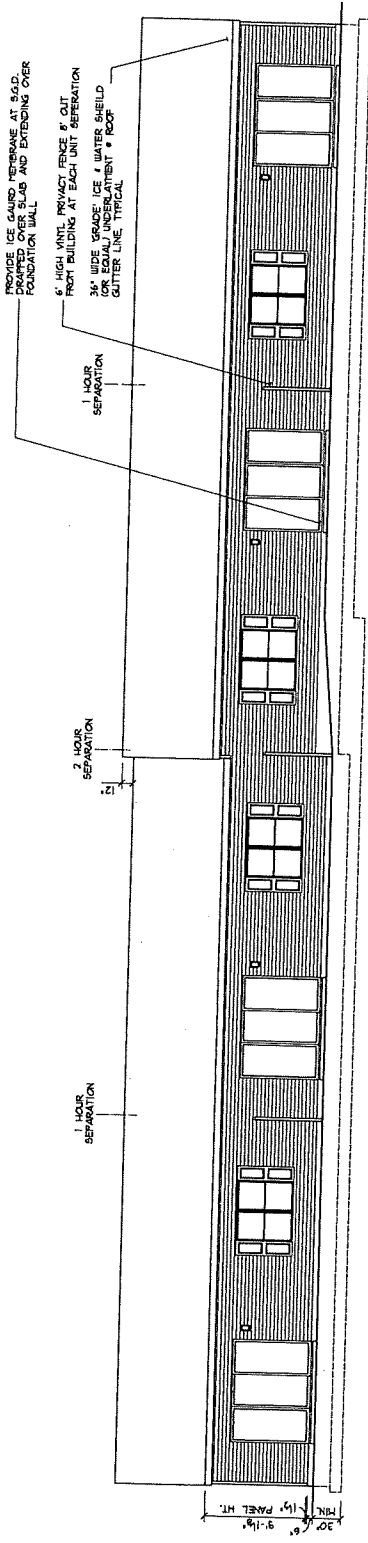
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MULTI-FAMILY RESIDENCE
 "SOPHIA"

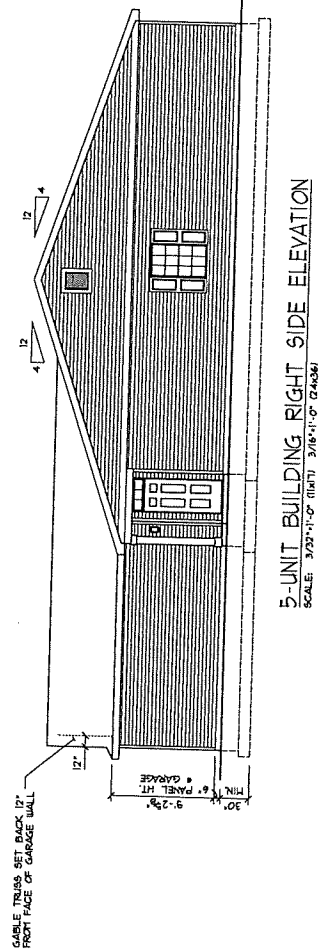
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 GREG RUTHER - Designer

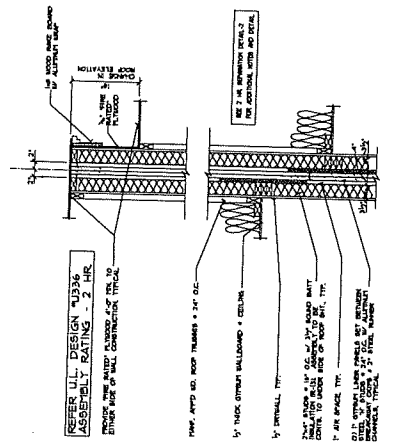
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5-UNIT BUILDING PARTIAL REAR ELEVATION
SCALE: 3/32"=1'-0" (1/8") 3/16"=1'-0" (2/4")



5-UNIT BUILDING RIGHT SIDE ELEVATION
SCALE: 3/32"=1'-0" (1/8") 3/16"=1'-0" (2/4")



2 HR. UNIT SEPARATION - STEPPED ROOF
SCALE: 1/4"=1'-0" (3/8")

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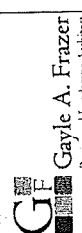
MIERJOHAN
ARCHITECTS
P.L.L.C.
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MULTI-FAMILY RESIDENCE
"SOPHIA"

DATE	1/12/16
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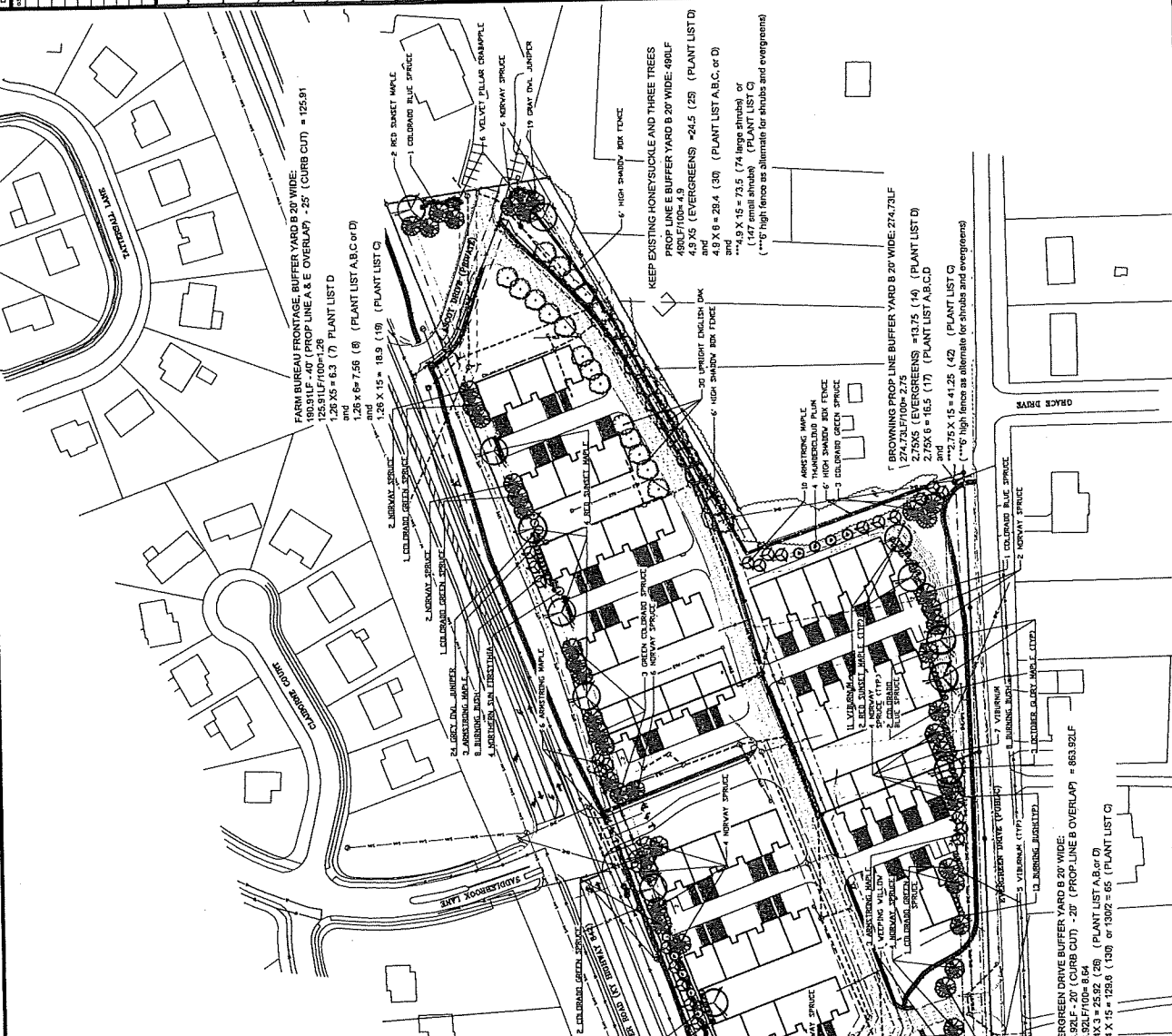
plant key		4.26.16	NOTES
QNT	SIZE	LATIN	COMMON
33	3 in	<i>Acer rubrum Armstrong</i>	Armstrong Maple
1	3 in	<i>Acer rubrum Autumn Flame</i>	Autumn Flame Maple
6	3 in	<i>Acer rubrum October Glory</i>	October Glory Maple
21	2.5 in	<i>Acer rubrum Red Sunset</i>	Red Sunset Maple
80	2.5 in	<i>Quercus rubra Fascipalis</i>	English Oak
6	6-8 ft, 7.5 in	<i>Mahoe velutina</i>	Velvet Pile Crabapple
3	8 ft, 7.5 in	<i>Liriodendron tulipifera</i>	Crimson Point Plum
4	8 ft, 7.5 in	<i>Liriodendron tulipifera</i>	Thundercloud Plum
1	2.5 in	<i>Salicaria mollis</i>	Virginia Willow
105	TOTAL	SHADE TREES	
34	6	<i>Fraxinus americana</i>	Norway Spruce
19	6	<i>Thuja occidentalis</i>	Colorado Green Spruce
52	TOTAL	EVERGREEN TREES	
46	3 gal	<i>Euonymus alatus</i>	Compact Burning Bush
10	3 gal	<i>Euonymus alatus</i>	Northern Sun Forsythia
49	3 gal	<i>Ulmus americana</i>	Mohawk Yucca
80	3 gal	<i>Artemisia tridentata</i>	Grey Owl Juniper
185	TOTAL	SHRUBS	



 Gayle A. Frazet

 Registered Landscaper/Arbiter

 7977 bridgepoint pass • Cincinnati, ohio 45248 • 519-807-8098 • gaf1a@fuse.net



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Basis for Zone Change

C-2 to UR-2

The Villages of Weaver Mill

Florence, Kentucky

The area under consideration for a zone change from Commercial Two (C-2) to Urban Residential One (UR-2) is located on the southwest side of Weaver Road just opposite the entrance to Saddlebrook Lane. (southeast of Ridgeview Drive, northeast of Evergreen Drive).

The proposed project consists of 55 apartment units, 14 one bedroom units and 41 two bedroom units. In addition there are integral garages with parking spaces matching the number of bedrooms provided in each unit.

LAND USE TO THE NORTHEAST

All land on the opposite side of Weaver Road is residential (both detached residential and attached residential). The 2010 Future Land Use Map calls out these areas as Urban Density Residential (attached housing, condominiums or apartments over 8 dwelling units per acre) and Suburban Density Residential (single family housing up to 4 dwelling units per acre) which is consistent with the current uses and densities of these properties.

LAND USE TO THE SOUTHEAST

The land to the southeast of this site is currently used as office, consistent with both the existing zone (C-2) and the 2010 Future Land Use Map which calls for this area as commercial.

LAND USE TO THE SOUTHWEST

The land on the opposite side of Evergreen Drive is residential with average lots sizes of approximately 1.25 acres and 90 feet in width which is consistent with the Rural Density Designation on the 2010 Future Land Use Map. The existing zoning designation of SR-1, however allows for densities up to four units per acre and 65' lot widths for detached single family residential in this area.

LAND USE TO THE NORTHWEST

The land to the northwest of this site is currently vacant. The 2010 Future Land Use Map calls for this area as commercial which is consistent with the C-2 zoning.

The zoning of the site in question was changed to commercial in 1988 as part of the overall Saddlebrook Farms Development on the opposite side of Weaver Road. There have been many attempts to develop this property during the past 25 years as evidenced by the previously approved site plans, concept development plans and preliminary plats that are on record with the Boone County Planning Commission. The most recent attempt to develop this property resulted in bankruptcy and explains why a bank currently owns the property.

This project is surrounded by a majority of residential development both single family detached and attached and will fit in with the character of the neighborhood. The traffic expected from this project is approximately 82 to 86 percent lower than the traffic that would have been expected from the previously approved commercial development plan.

The existing zoning designation of Commercial Two is inappropriate. The proposed zoning designation of Urban Residential Two is appropriate for the following reasons:

1. The property has not developed as a commercial project for 25 years.
2. During the 25 years that it has been zoned as commercial both single family detached and attached has been successful on properties immediately adjacent to this site.
3. The most recent attempt to develop the property commercially resulted in bankruptcy.
4. The proposed development is much less intense than the currently approved Concept Development Plan:
 - a. The traffic produced by this development is approximately 82 to 86 percent lower than the traffic that would have been expected from the previously approved Concept Development Plan.
 - b. This project will have less impervious area than the previously approved Concept Development Plan.
 - c. This project will have more open space area than the previously approved Concept Development Plan.
5. The project will be developed immediately as residential and will not sit for many years waiting for each commercial lot to develop.

In the previous two years there has been a couple of attempts to rezone this property to multi-family. In early 2014 an attempt to change the zone to UR-1 with 84 multifamily units (density of 8.7units/acre) utilizing 2-story buildings initially passed the Boone County Planning Commission and then was withdrawn at the City of Florence. The developer was required to perform infrastructure improvements at the signalized intersection of Saddlebrook and Weaver and upgraded exterior finishes that they determined were unaffordable.

In 2015 a different developer attempted to have the zone changed to UR-2 with 172 multifamily units (density of 17.7units/acre) utilizing 3 story buildings. This plan was turned down at by Boone County Planning Commission due to concerns over density, height of buildings, and ability to screen adjoining neighbors.

By contrast, this application is the least dense (5.7units/acre), improvements to the signalized intersection of Saddlebrook and Weaver are included, and the buildings are all single story ranch style apartments with integral garages. Therefore, the items of contention in previous submittals have been addressed and the new plan should fit well into with the surrounding properties.

1. Introduction

This Traffic Impact Study was prepared to examine the traffic impact of a new multifamily apartment development located on Weaver Road in the City of Florence, KY. The proposed development will include 55 dwelling units. The location of the proposed development was previously planned for Office Buildings, a Shopping Center and Banks. The new development will generate significantly less new trips as compared to what was planned previously. The comparison of new trips between the previously planned development and the proposed apartment complex is provided in a subsequent section of this report.

The access to the proposed development will be provided through a proposed access drive (referred to as Drive A in subsequent section of the report) on Weaver Road across from Saddlebrook Lane. The existing intersection of Weaver Road and Saddlebrook Lane is operating with a traffic signal. The proposed access drive will serve as the fourth leg of the intersection. The proposed development will also use the existing un-signalized intersections of Weaver Road at Ascot Drive and Ridgeview Road. However it is expected that only a small percentage of drivers will use these locations.

Figure 1 below shows the location of the proposed Apartment Complex and the site plan (Figure 2) is included in Appendix A

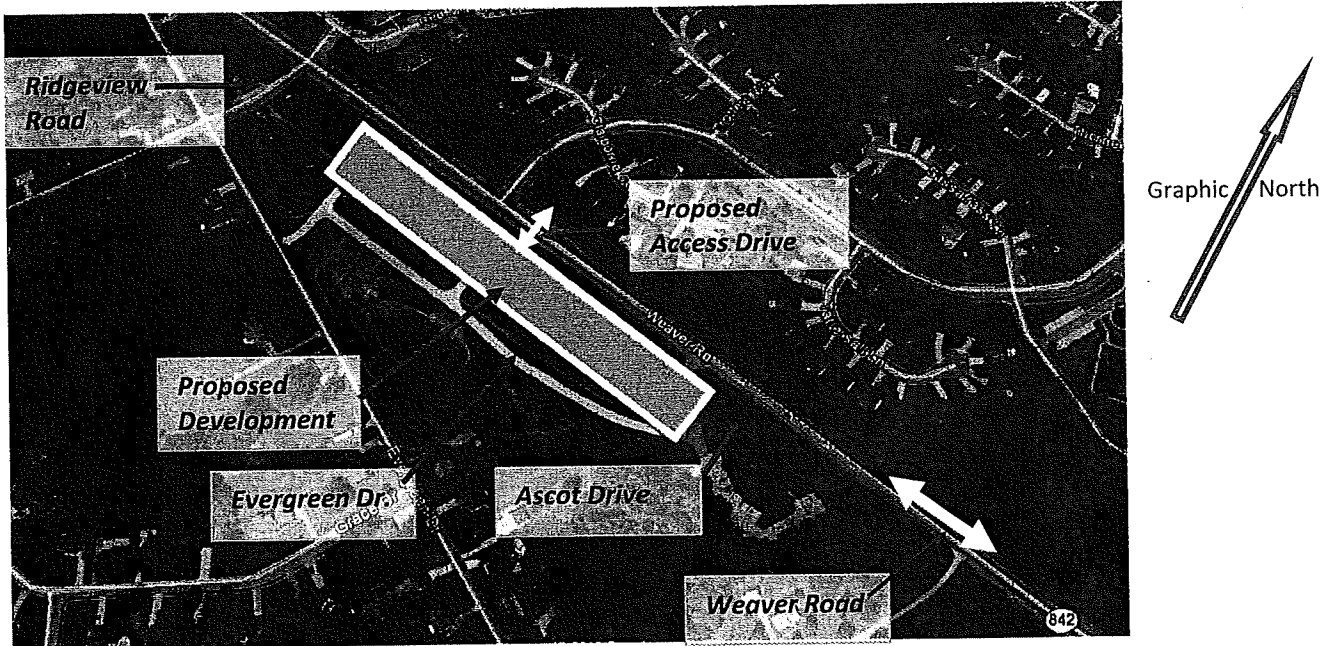


FIGURE 1 SITE LOCATION

The Traffic Impact Study will include the evaluation of the following intersection location.

- Weaver Road and Saddlebrook Lane
- Weaver Road and Ridgeview Road
- Weaver Road and Ascot Drive.

2. Existing Conditions

In the vicinity of the proposed development, Weaver Road is a 2-lane roadway posted at 55 mph. The intersection of Weaver Road and Saddlebrook Lane/Drive A is operating with a traffic signal. An exclusive lane for eastbound left turns and westbound right turns exists on Weaver Road.

The intersection of Weaver Road and Ridgeview Road is a 4-legged intersection with stop control on the northbound and southbound approaches. Exclusive left turns exist on eastbound and westbound approaches on Weaver Road, whereas an exclusive right turn lane only exists on the westbound approach.

The intersection of Weaver Road and Ascot Drive (a private street) is a T-intersection located at the east end of the proposed development. The intersection is operating with stop control on the northbound approach. No exclusive turn lanes are available on the eastbound and westbound approaches on Weaver Road.

Turning movement counts were recorded at the three intersections within the study area. The counts used were recorded in 2014 and 2015. These counts are adjusted for developing 2016 No Build traffic volumes. The turning movement counts for the 2016 No-Build scenario are shown in Figure 3.

2016 No Build turning movement counts were used to estimate 10 year projected traffic. 2026 No Build traffic volumes are shown in Figure 4. The growth rate factor was estimated using KYTC historical data for a site on Weaver Road and a traffic forecast excel spreadsheet. The growth rate was estimated at 1.0% per year and was used to obtain 2026 No-Build traffic volumes.

Summary of traffic data used in the analysis is included in Appendix B.

3. Trip Generations

New trips were estimated based on the ITE Trip Generation Manual, Ninth Edition. LU Code # 220 (Apartment) was used to estimate the new trips generated by the proposed development.

Table 1 shows the new trips generated by the proposed development.

Table 1 – Trip Generation – Peak Hour

Land Use	Unit	Total	AM Peak Hour			PM Peak Hour		
			Enter	Exit	Total	Enter	Exit	Total
220 - Apartments	DW	55	6	22	28	22	12	34
TOTAL TRIPS			6	22	28	22	12	34

Trip Distribution and Forecast

The new trips were distributed to the existing roadways as follows:

To /From East	-	40%
To/From West	-	60%

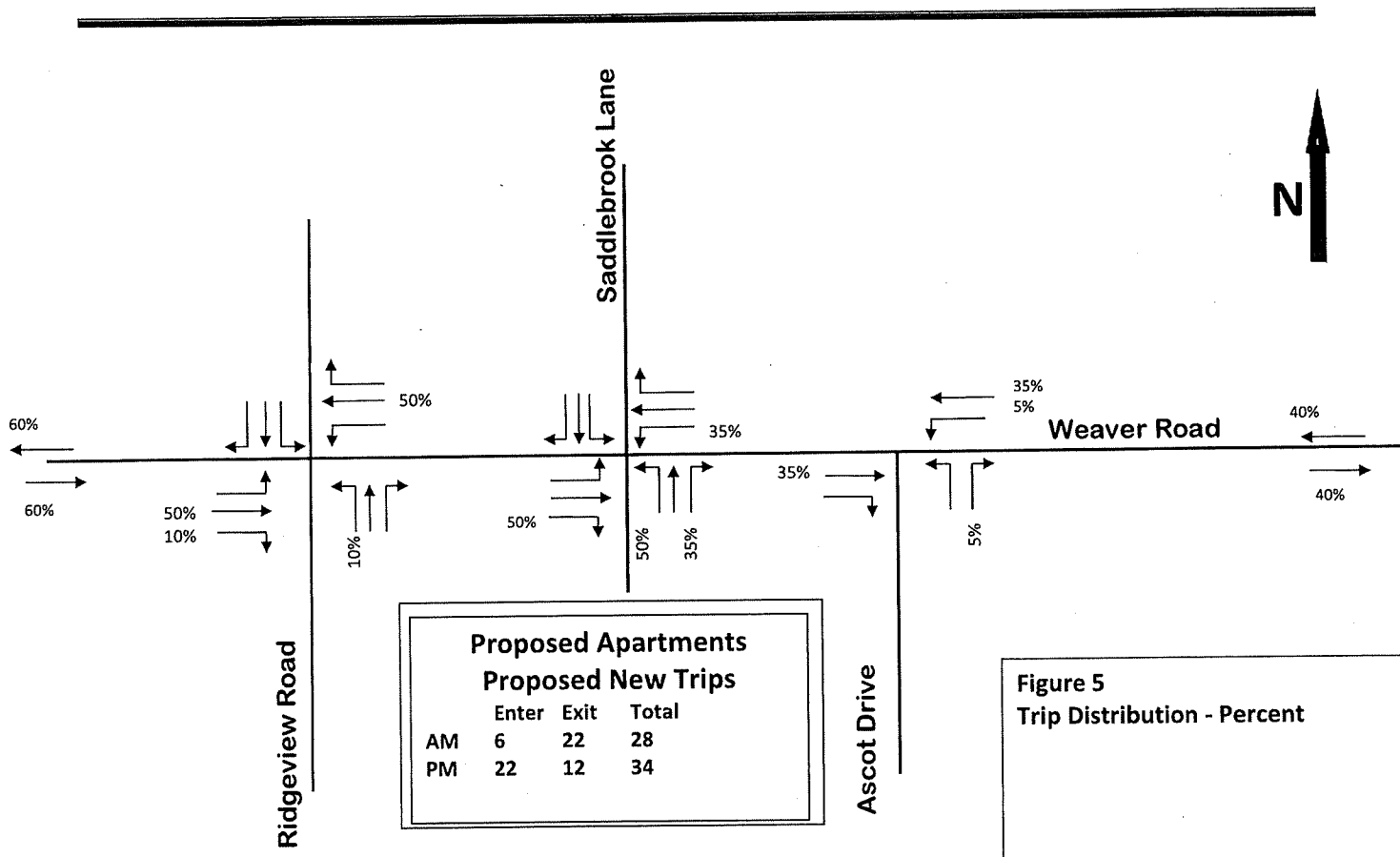
Figure 4 shows the percentage of trip assignments and Figure 5 shows the new site trips to the adjacent roadways.

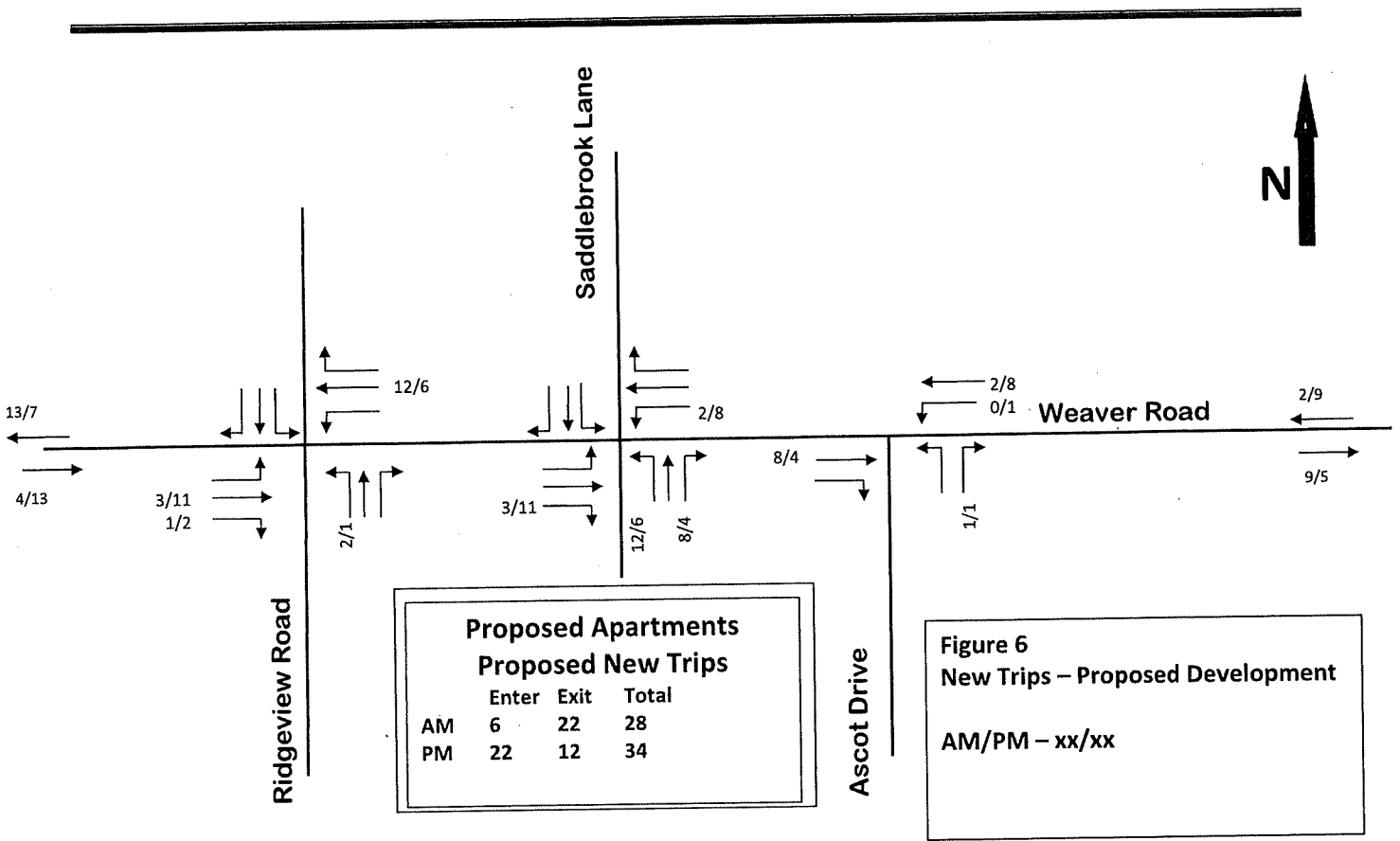
The existing turning movement counts shown in Figure 3 were combined with the traffic volumes shown in Figure 6 to obtain 2016 Opening Day Build traffic volumes, shown in Figure 7. Similarly, 2026 No-Build traffic volumes shown in Figure 4 were combined with the new trips to generate 2026 Build traffic volumes shown in Figure 8.

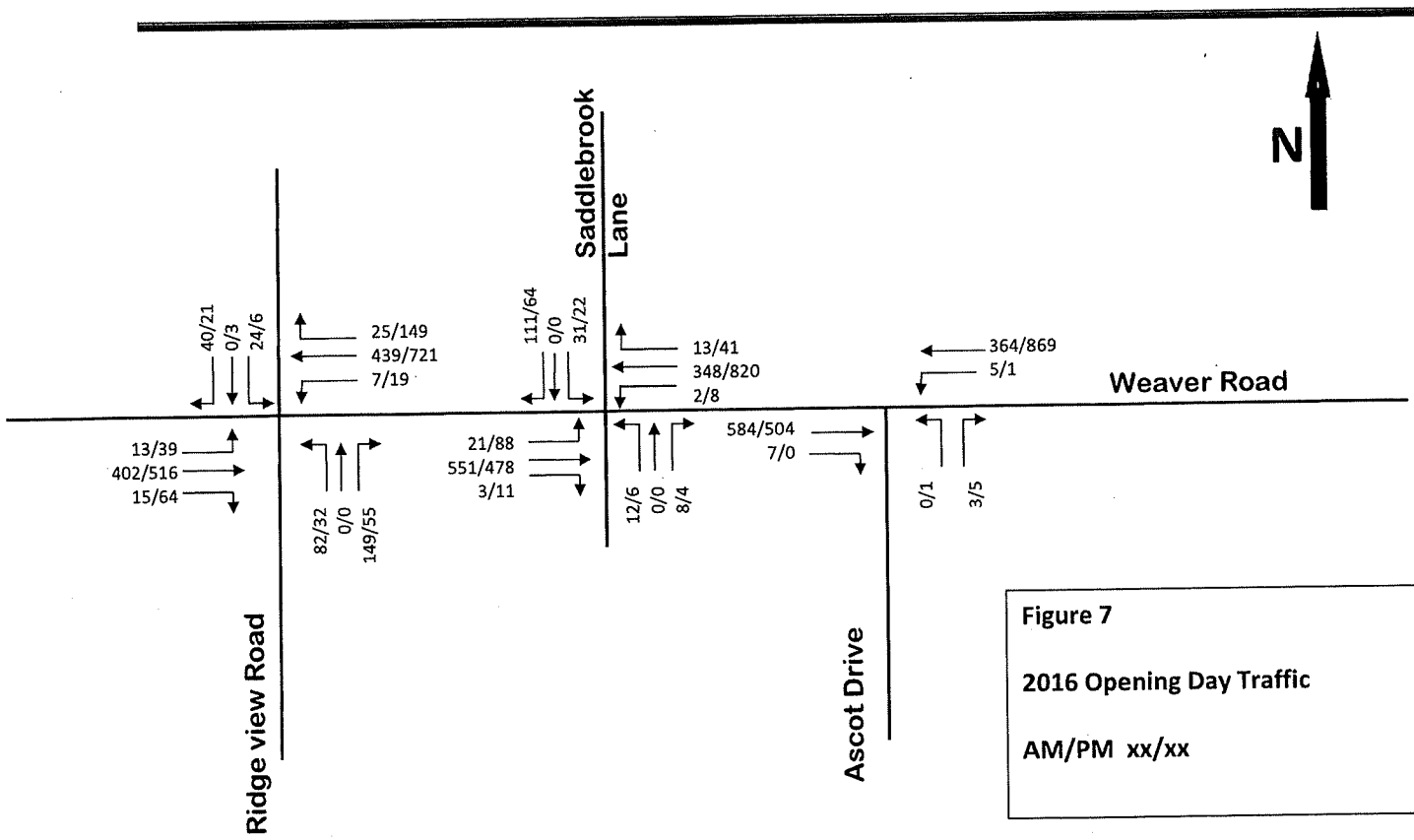
Table 2 provides estimated new trips for the previously planned development. The comparison of the trips provided in Table 1 and 2 shows the new trips generated by the proposed apartment complex are significantly lower (82% and 86% then the previous development for the AM and PM Peak Hours respectively) than the estimated trips for the previously planned development.

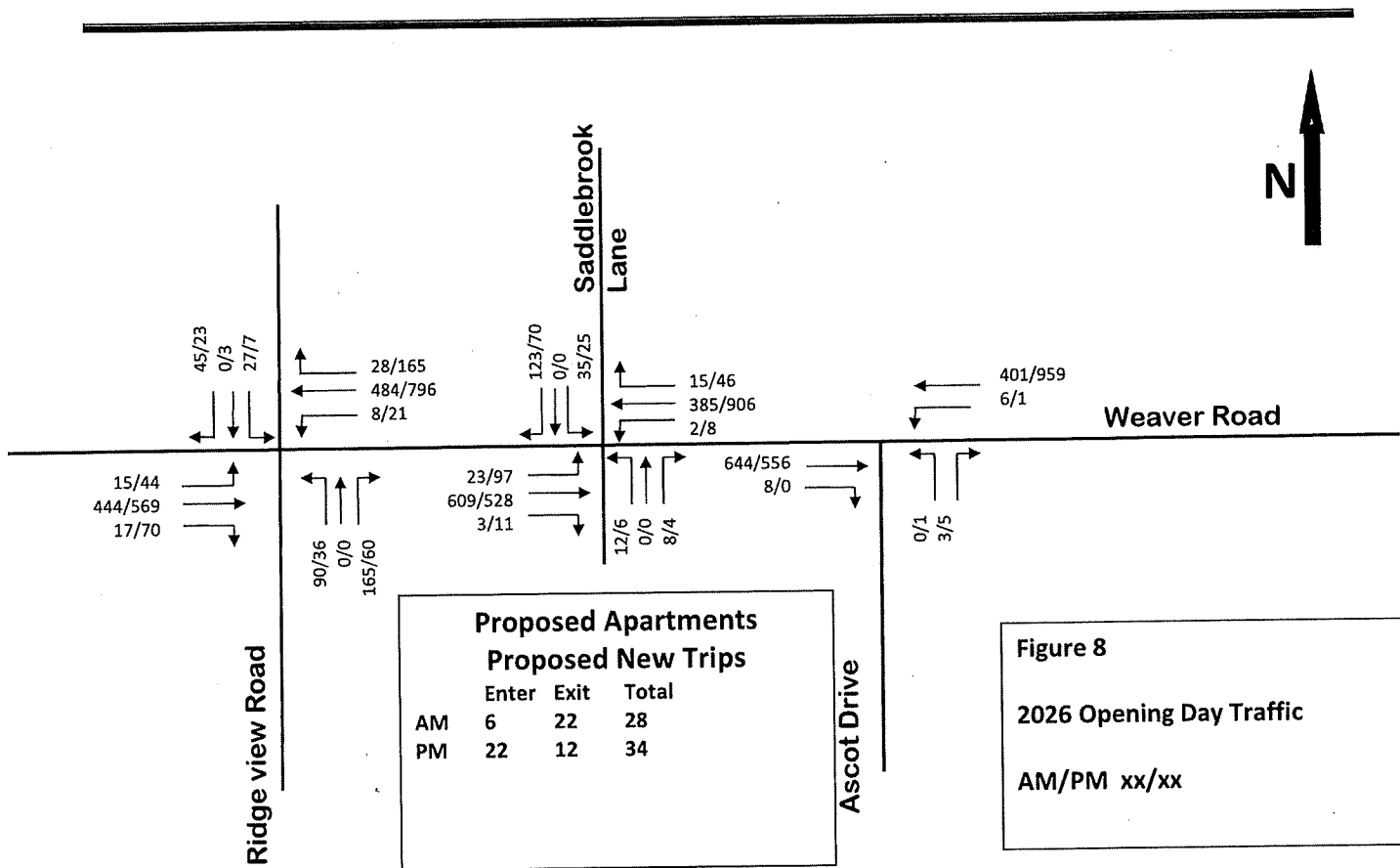
Table 2 – Estimated Trips – Previously Planned Development

Land Use	Unit	Total	AM Peak Hour			PM Peak Hour		
			Enter	Exit	Total	Enter	Exit	Total
710-General Office Building	GFA	32980	45	6	51	8	41	49
820 – Shopping Center	GFA	22260	13	8	21	40	43	83
912 – Drive-in Bank	GFA	3000	21	15	36	36	37	73
565 – Day Care Center	GFA	4000	26	23	49	23	26	49
TOTAL TRIPS			105	52	157	107	147	254









5. Findings and Conclusions

The preceding analysis and recommendations listed below are based on the typical procedure used for evaluating the impact of the proposed development on the adjacent roadway infrastructure and usual and customary traffic engineering standards.

The proposed apartment complex will generate significantly lower trips compared to what was previously proposed for the same location. The AM and PM peak hour traffic volumes are approximately 82% and 86% less than what was estimated for the previously planned development. Total new trips for the proposed development are 28 and 34 estimated for the AM and PM peak hours. These numbers are significantly below the typical threshold values (100 trips during a peak hour) that would warrant the traffic impact study.

The main access to the proposed development is located on Weaver Road across from Saddlebrook Lane. The intersection is operating with a traffic signal and is expected to be used by the majority of new trips generated by the proposed development. The analysis at this intersection shows that the new trips generated by the proposed development will not have significant impact on the flow of traffic through the intersection. The intersection will continue to operate at LOS B and C during the AM and PM peak hours.

The turn lane warrants examined for the westbound left turn from Weaver Road to Drive A indicates that an exclusive left turn lane is warranted.

The analysis completed at the intersection of Weaver Road and Ascot Drive shows the new trips generated by the proposed development will not have any impact on the flow of traffic at this intersection. The analysis completed at the intersection of Weaver Road and Ridgeview Road also shows similar results. The new trips generated by the development will not have any impact on the traffic flow and safety of the vehicles moving through the various intersections within the study area

Recommendations

The following improvements are recommended at the intersection of Weaver Road and Saddlebrook Lane/Drive A:

1. An exclusive lane for the westbound left turn at the intersection of Weaver Road and Saddlebrook Lane/Drive A from westbound on Weaver Road to south on the Drive A should be constructed. The turn lane should be 295 feet long, including the taper.

-
2. The northbound approach on Drive A should be constructed to provide an exclusive left turn lane and a lane shared for the through and right turns.
 3. The existing traffic signal should be modified to provide a signal head for the northbound approach. Also, the traffic signal head for the westbound approach may have to be adjusted/replaced due to the modified lane use for the westbound approach. A cross walk and Pedestrian signal heads and pushbuttons should be added either on east or west approach of the intersection.
 4. Pavement markings and signage within the limits of the project should be modified in accordance with changes in the geometry recommended along Weaver Road as well as on the northbound approach.
 5. All modifications should be made in accordance with the standards followed by the Kentucky Transportation Cabinet.

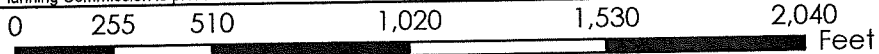
ZONING MAP

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1 inch = 500 feet

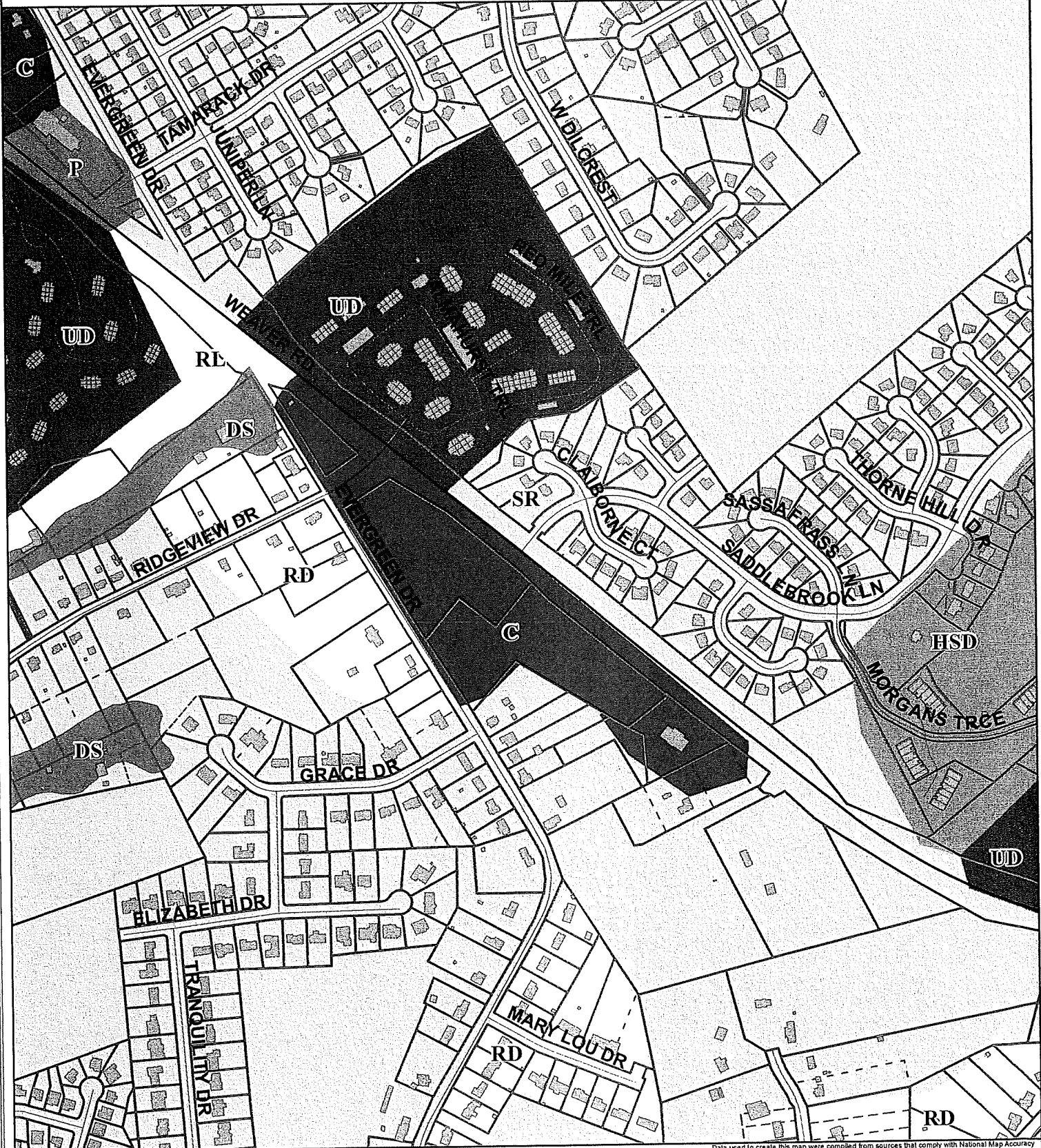


Boone County GIS - Putting Northern Kentucky on the Map



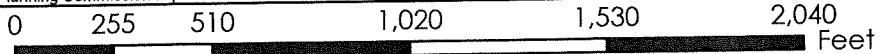
2035 FUTURE LAND USE MAP

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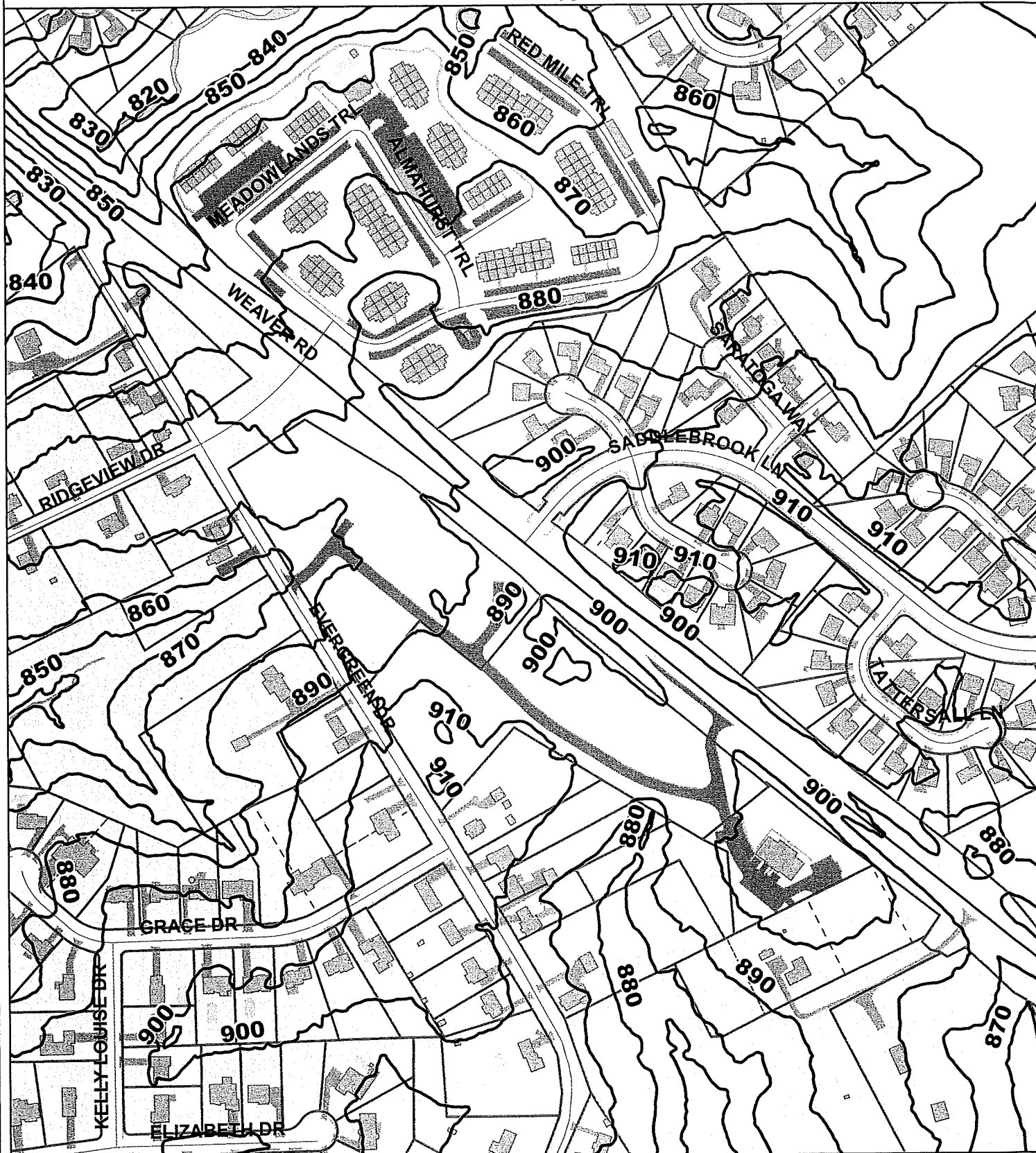
Boone County GIS - Putting Northern Kentucky on the Map



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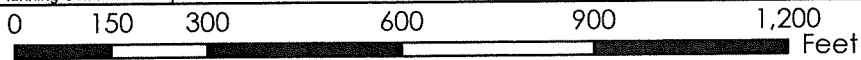
TPOGRAPHICAL MAP

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1 inch = 300 feet



Boone County GIS - Putting Northern Kentucky on the Map

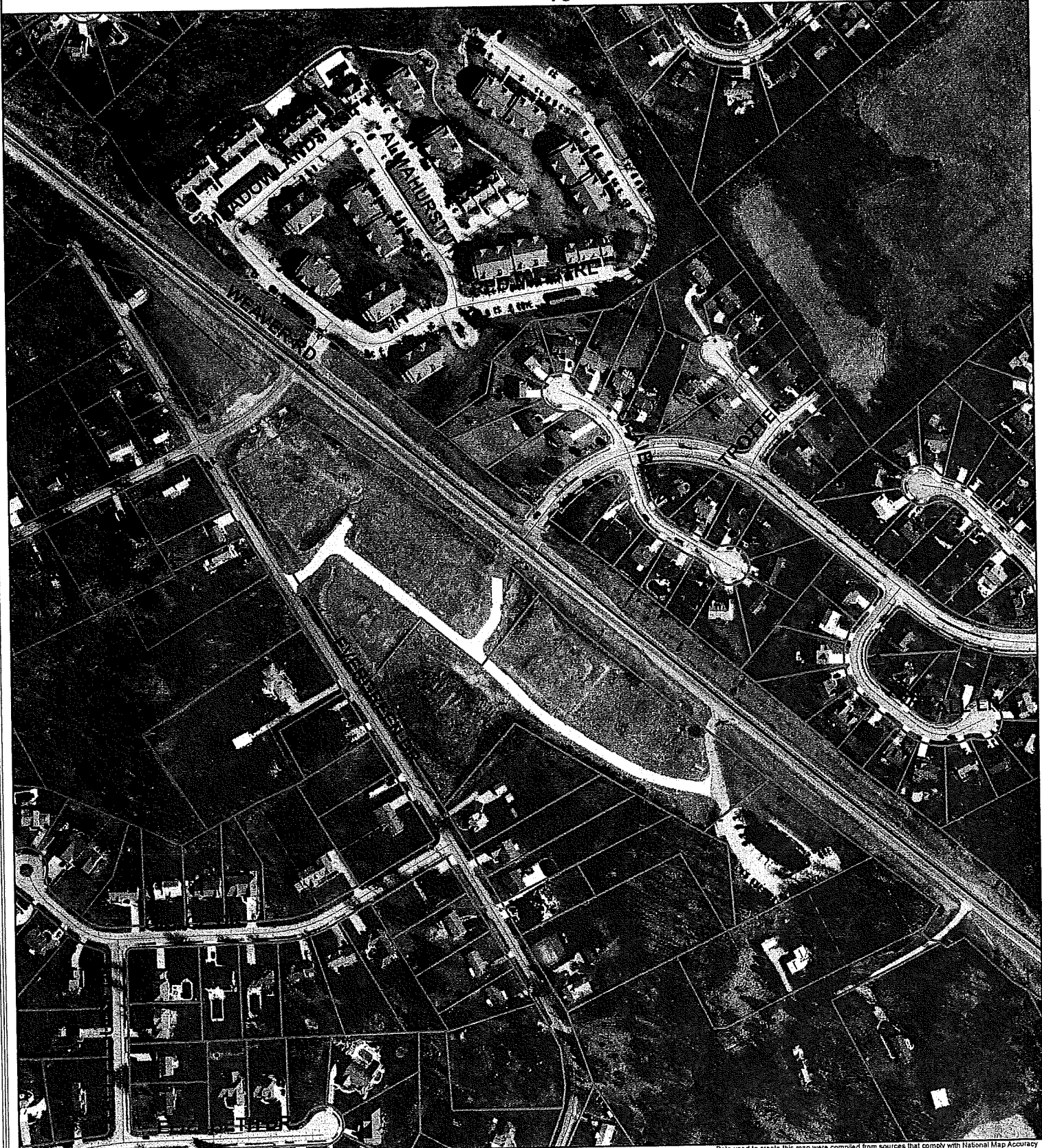


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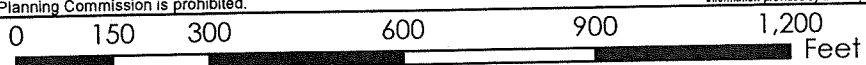
2013 AERIAL M.P.P

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1 inch = 300 feet



Map Created: 07/01/2013

Boone County GIS - Putting Northern Kentucky on the Map



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COMMITTEE REPORT

2

TO: Boone County Planning Commission
FROM: Larry Barnett, Chairman
DATE: July 6, 1988
RE: Request of Towne Land Company (applicant) for
Banklick Corporation (owner) for a Zoning Map
Amendment for a +130 acre site located on both sides
of the U.S. 42/25 Connector and west of I-75 (former
Kentucky Raceway site), Boone County, Kentucky. The
request is to rezone the site from Suburban
Residential One (SR-1) and Recreation (R) to
Suburban Residential Two / Planned Development
(SR-2/PD) and Commercial Two (C-2).

REMARKS:

We, the Committee, recommend approval of the request based upon the following findings of fact and with the following conditions.

FINDINGS OF FACT

1. The requested zoning map amendment is in conformance with the Boone County Comprehensive Plan. The Future Land Use Map indicates medium density residential for the entire site. The applicant has shown that the residential portion of the development falls within that medium density designation and accomplishes the progression of intensities, buffering, and variety of housing opportunities recommended within established urban areas.

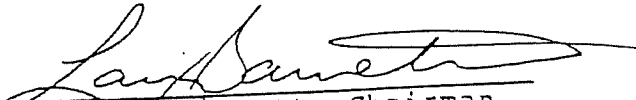
The commercial portion of the development is also in conformance with recommendations of the Boone County Comprehensive Plan. Although the Future Land Use Map does not recommend commercial uses for the specific location they are proposed, the Committee believes that the Goals and Objectives of the Business Activity Element support this portion of the proposed development. Specifically, the Business Activity Element recommends compact, integrated shopping center designs with strategic locations relative to trade areas as well as the mixing of commercial and non-commercial uses in planned developments. References to the Comprehensive Plan are made in the June 22, 1988 Staff Report.

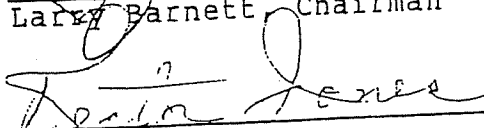
2. The applicant has demonstrated that the existing Recreation (R) zoning is inappropriate to reflect its intended race track usage in a rapidly developing residential area. In addition, the applicant has shown that the requested zoning of Suburban Residential Two/Planned Development (SR-2/PD) and Commercial Two (C-2) achieve a realistic and well designed approach to developing a site while respecting the existing topography vegetation and existing and planned adjacent land uses.

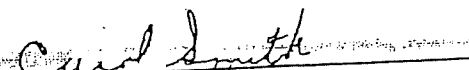
CONDITIONS

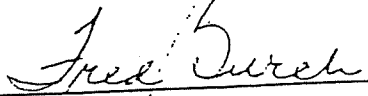
The applicant is being asked to agree to include these items as part of the Concept Development Plan in order to clarify the plan presented at the June 22, 1988 Public Hearing. Further, these conditions are intended to clarify the suitable uses and development for the presented plan.

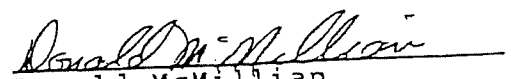
1. In order to achieve safe turning movements on the new US 25/42 Connector Road, the developer shall construct full left-hand turn lanes on the Connector Road at both the main entrance drive and at Ridgeview Drive. At these two intersections, the developer shall also construct deceleration lanes for all approaches, as well as an east bound deceleration lane at the proposed office site. The design and construction of such road improvements shall be phased at the early stages of this development and at subsequent reviews.
2. The location of the proposed entrance drive on Ridgeview Drive shall be moved 100 feet to the west to allow sufficient stacking distances and driver reaction times at the adjacent intersections.
3. Any future Commercial Two (C-2) use proposed for the 2.0 acre outparcel north of Ridgeview Drive shall be required to undergo Concept Development Plan review since no use or site layout are proposed at this time. If for some reason, a legislative body acquires this parcel from the applicant or property owner for public purposes, then the only review deemed necessary would be as required by KRS 100. The applicant is submitting a letter excluding some C-2 uses from the overall commercial area south of Ridgeview Drive. The Committee intends to incorporate this letter into this Committee Report.
4. Section D apartments needs to be developed so as to retain significant stands of mature trees.
5. Recreation facilities proposed for each section of the development shall be constructed as part of the first phase of their respective section.


Larry Barnett, Chairman


Rector Jones


Carol Smith


Fred Burch


Donald McMillian



BRUCE FERGUSON
County Judge — Executive
(606) 334-2240

R. SCOTT KIMMICH
Executive Assistant
(606) 334-2242

ROBERT C. MARTIN
Director of Administration
(606) 334-2200

MARILYN K. YOUNG
Director of Personnel
(606) 334-2243

OFFICES OF THE FISCAL COURT

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Burlington, KY 41005

PATRICK J. RAVERTY
Commissioner
District 1

RONALD ROBINSON
Commissioner
District 2

DON DAVIS
Commissioner
District 3

LARRY J. CRIGLER
County Attorney
(606) 586-9950

September 7, 1988

Mr. Matthew J. Brennan, Agent
Towne Land Co.
1055 St. Paul Place
Cincinnati, Ohio 45202

Dear Mr. Brennan,

Please be advised that your request for a zone change has been approved by the Boone County Fiscal Court with the following conditions having been added to those of the planning Commission.

- (1) A homeowner's association must be formed and that this association shall be responsible for all common ground in the development, which is not privately held.
- (2) That condition four (4) of the planning and zoning commission require the express written consent of the planning commission before any tree can be removed and that a fee of \$500.00 be levied for the illegal removal of same.

Attached you will find a copy of the ordinance approved and a full listing of the conditions applied by the planning commission and the Fiscal Court.

If you have any questions regarding this matter, please feel free to contact my office.

With kindest regards, I remain

Sincerely yours,

Bruce Ferguson
County Judge/Executive

BF:rs

3 enclosures

cc: Gerald Newton, P & Z Director

ESD

ESD ARCHITECTS/PLANNERS, INC.

WADSWORTH PARK

DEVELOPMENT FOR
TOWNE PROPERTIES, INC.

1988 Concept Dev. Plan

A MULTI-FAMILY	22 AC (11.1 AC)
PHASE 1	144 DUU 258 PMS
PHASE 2	102 DUU 170 PMS
PHASE 3	122 DUU 221 PMS (1500)
B SINGLE FAMILY ATTACHED	36 AC (19.2 AC)
PHASE 1	48 DUU
PHASE 2	82 DUU
PHASE 3	122 DUU
PHASE 4	143 DUU (143 UNITS - ONE OPEN PMS - 142 UNITS)
C SINGLE FAMILY	17 AC (11.5 AC)
PHASE 1	12 LOTS
PHASE 2	34 LOTS
PHASE 3	13 LOTS
PHASE 4	11 LOTS
PHASE 5	104 LOTS
D SINGLE FAMILY	23 AC (10.4 AC)
PHASE 1	156 DUU 275 PMS
PHASE 2	240 DUU 430 PMS (1500)
TOTAL	799 UNITS 118.2 AC (58.2 AC)

SINGLE FAMILY 2.5 AC SETBACKS
MIN. 10' SIDE
MIN. 15' REAR

SITE PLAN

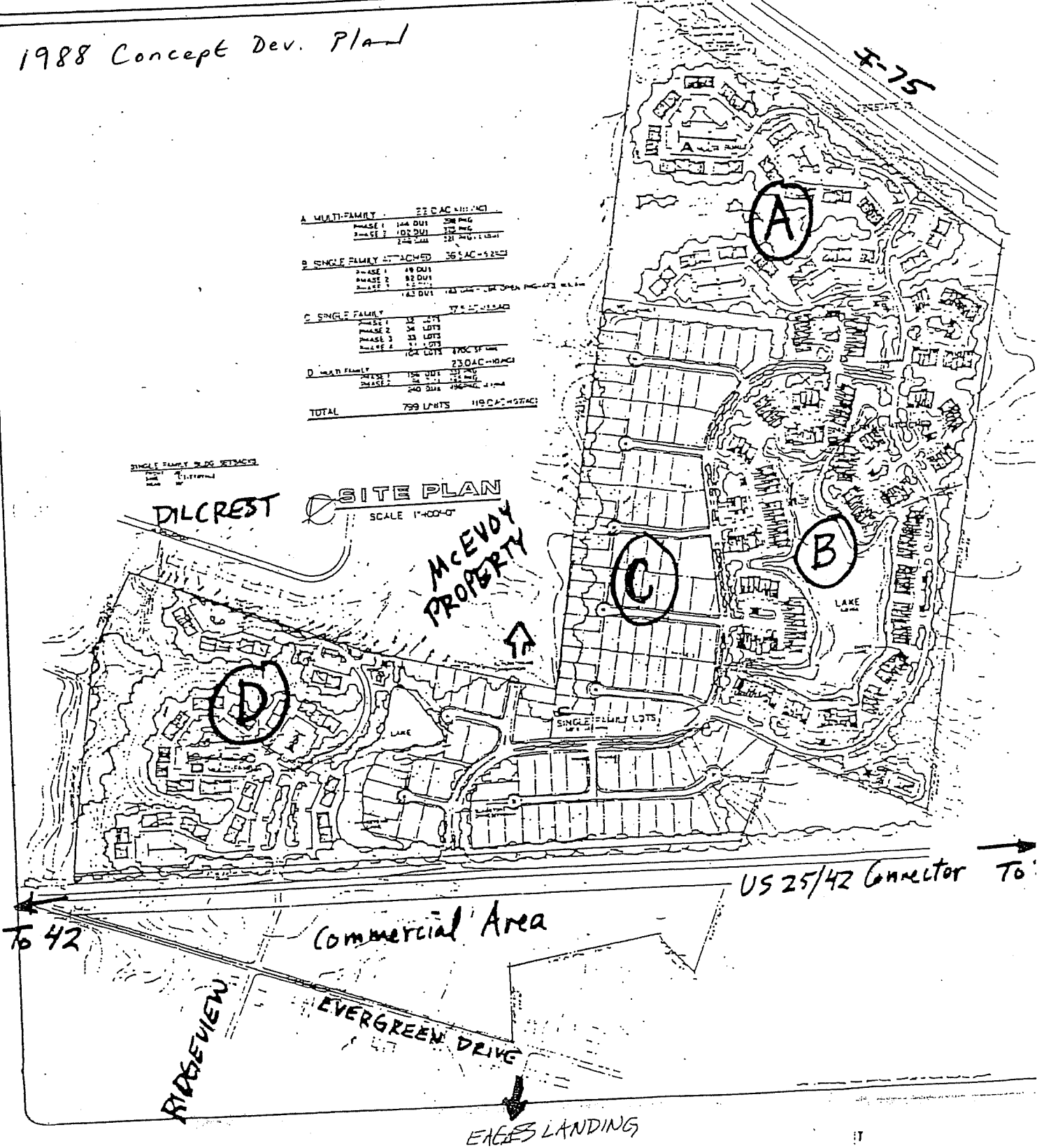
SCALE 1"=400'-0"

DILCREST

McEVROY
PROPERTY



SINGLE FAMILY LOTS



F-75

US 25/42 Connector To

To 42

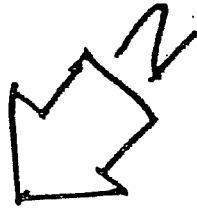
Commercial Area

EDGEVIEW

EVERGREEN DRIVE

EDGES LANDING

1988 Concept Dev. Plan



MAIN RESIDENTIAL DEVELOPMENT

To ALIGN WITH A SADDLEBROOK DRIVE

SECTION D

CONNECTOR RD.

OFFICE BUILDING

PARKING SIGNAGE

PARKING

OUT PARCEL 3.0 AC BANK BUILDING

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BOONE COUNTY PLANNING COMMISSION

www.boonecountyky.org/pc
www.boonecountygis.com

Boone County Administration Building
2950 Washington Street, Room 317
P.O. Box 958
Burlington, KY 41005



Phone (859) 334-2196; Fax (859) 334-2264
plancom@boonecountyky.org

March 14, 2007

MAR 21 2007

Noll Properties
c/o – Mr. David Noll
6 Dartmouth Drive
Ft. Mitchell, KY 41017

RE: Request of Noll Properties (applicant) for Banklick Corporation (owner) for a Change in an Approved Concept Development Plan in a Commercial Two (C-2) zone for an approximate 9.71 acre site located on the south/west side of Weaver Road across from Saddlebrook Lane, on the south and east sides of Evergreen Drive, to the northwest of the property at 957 Weaver Road, to the north and east of the property at 8912 Evergreen Drive, and to the east of the properties at 8930 and 8940 Evergreen Drive, Boone County (annexation pending into the City of Florence), Kentucky. The request is for a change in an approved Concept Development Plan to allow commercial, retail, and office uses.

Dear Mr. Noll:

The following represents the conditions of approval for the above referenced Concept Development Plan request as agreed to by the Zone Change/Concept Plan Committee. You, as applicant, and an officer of the Banklick Corporation will need to sign the appropriate spaces on the last page of this letter if you are in agreement with the conditions. Please return this original letter to the Boone County Planning Commission office by March 20, 2007.

CONDITIONS

1. The applicant agrees to install the transportation improvements which are shown on the attached traffic control concept plan. The transportation improvements may be modified to maximize sight distance, increase intersection clearance, and align curb cuts and are subject to approval by Boone County Planning Commission, Boone County Public Works, and the Kentucky Transportation Cabinet. All traffic improvements shall be constructed and open to the public before any building in the development is issued a Certificate of Occupancy by the Boone County Building Department.
2. All parking lot lighting shall be directed downwards and inwards toward the site. Light poles shall be limited to a maximum height of twenty (20) feet.

Mr. David Noll
March 14, 2007

3. The following signage conditions apply to the development:

- A. The architectural free-standing sign for the development shall be limited to fifteen (15) feet in height.
- B. Outlot (monument) signs shall not be permitted on lots 4 and 5.
- C. Building mounted signs are prohibited on the rear (western) facades of lots 4, 5, and 6.

4. The width of the Evergreen Drive street frontage buffers shall comply with the submitted Concept Development Plan. The portion of the buffer which adjoins the residential area shall contain all Buffer Yard A plantings and a continuous five (5) to six (6) berm. All required large trees shall be evergreen species and small breaks will be permitted in the berm to allow storm water drainage.

5. Any proposed building in the development, except for a convenience store with accessory gasoline sales, shall be reviewed through a Staff Design Review process which analyzes the following:

- A. All building facades shall be constructed with natural toned colored brick and shall be consistent with one of the submitted building concepts (see attachment).
- B. Roof equipment shall not be visible from any public right-of-way or adjoining residential property.

C. The buildings on lots 2, 4, 5, and 6 shall have windows and/or doors which are uniformly dispersed on all facades.

D. The building on lot 3 shall have windows and/or doors which are uniformly dispersed on the front and side facades.

Any proposed convenience store with accessory gas sales (lot 6 only) shall be subject to a formal Design Review application. Items to be reviewed are as follows:

A. All building facades shall be constructed with natural toned colored brick and shall be consistent with one of the submitted building concepts (see attachment).

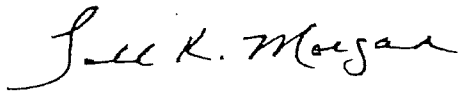
B. The placement of windows and/or doors on the front and sides shall be uniformly dispersed on the front and side facades. Windows and/or doors on the rear facade shall be designed to be to be appropriate for residential adjacency in terms of appearance and lighting impact.

C. Roof equipment shall not be visible from any public right-of-way or adjoining residential property.

Mr. David Noll
March 14, 2007

- D. The gasoline canopy shall be supported with brick columns. The brick used in the columns must match the dominant brick color of the principal structure.
 - E. The gasoline canopy roof shall have a substantial fascia with materials that match the principal structure or a pitched roof.
 - F. The gasoline canopy and pumps shall be an accessory use.
6. Sidewalks shall be required along all development driveways. The sidewalks shall connect to the required sidewalks on Weaver Road and Evergreen Drive.
 7. An attachment list the principally permitted and accessory uses which are allowed in the development.

Sincerely,



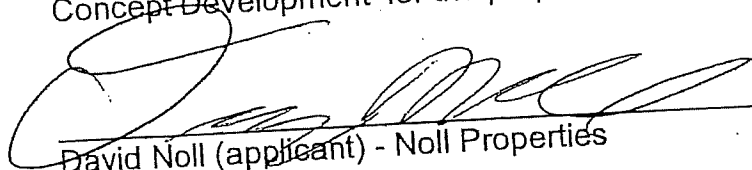
Todd K. Morgan, AICP
Senior Planner, Zoning Services

TKM\pr

Attachments

AGREEMENTS

I, David Noll, agree to the listed conditions of approval for the Change in Approved Concept Development for the property which is referenced on the first page of this letter.

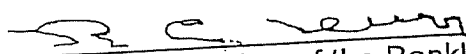


David Noll (applicant) - Noll Properties

3-20-2007

Date

I, R.C. Durr, agree to the listed conditions of approval for the Change in Approved Concept Development for the property which is referenced on the first page of this letter.



R.C. Durr - Member of the Banklick Corporation (owner)

3-16-2007

Date



BOONE COUNTY PLANNING COMMISSION

www.boonecountyky.org/pc
www.boonecountygis.com

Boone County Administration Building
2950 Washington Street, Room 317
P.O. Box 958
Burlington, KY 41005

Phone (859) 334-2196; Fax (859) 334-2264
plancom@boonecountyky.org

TO: Matt Bogen, Kentucky Transportation Cabinet
Josh Hunt, Florence Public Services
Robert Krebs, Florence Fire/EMS
Eric McArtor, Boone County Schools
Scott Pennington, Boone County Public Works

FROM: Todd K. Morgan, AICP, Senior Planner, Zoning Services *TKM*

DATE: May 9, 2016

RE: Request of **Meierjohan Building Group (applicant)** for **Buckeye Properties LLC (owner)** for a Zoning Map Amendment from Commercial Two (C-2) to Urban Residential Two (UR-2) for an approximate 9.7 acre site located on the south/west side of Weaver Road across from Saddlebrook Lane, on the south and east sides of Evergreen Drive, to the northwest of the property at 957 Weaver Road, to the north and east of the property at 8912 Evergreen Drive, and to the east of the properties at 8930 and 8940 Evergreen Drive, Florence, Kentucky. The request is for a zone change to allow attached ranch style rental units.

I have enclosed a copy of the Concept Development Plans for the above referenced application. The plans show fifteen (15) ranch style apartment buildings are proposed on the subject site. The buildings would contain fourteen (14) one-bedroom units and forty-one (41) two-bedroom units. Access to the development is proposed from a new driveway located across from the Weaver Road/Saddlebrook Lane signalized intersection and existing driveways on Weaver Road and Evergreen Drive. The public hearing for this application has been scheduled for June 1, 2016.

Please review this proposal relative to your agency's policies and service abilities and provide any comments in writing to me by May 23, 2016. Please provide a written response, even if your agency has no comments on the proposal. Comments can be e-mailed to tmorgan@boonecountyky.org or faxed to (859) 334-2264. Your feedback is greatly appreciated.

Todd Morgan

From: Robert Krebs <Robert.Krebs@Florence-KY.gov>
Sent: Thursday, May 12, 2016 4:17 PM
To: Todd Morgan
Subject: Meierjohan Building Group

If it is a major topic, the access on Evergreen I would like to maintain as a fire access if there is discussion on removing it.

Bob

Todd Morgan

From: Bogen, Matthew (KYTC-D06) <Matthew.Bogen@ky.gov>
Sent: Tuesday, May 24, 2016 11:11 AM
To: Todd Morgan
Cc: Don Stegman; Jamal A Adhami; Jack E. Pflum (jackpflum@cinci.rr.com)
Subject: Villages of Weaver Mill

Todd,

Following up on our phone conversation, D6 Permits has reviewed the information provided on the proposed Villages of Weaver Mill development at the intersection of Weaver Road and Saddlebrook Lane. Since the newest proposed development features significantly lower traffic volumes than previously planned developments, KYTC offers approval of the improvements listed in the report, pending submittal and review of an encroachment permit. Please let me know if you have any further questions.

Thanks,

Matt Bogen, PE
KYTC District 6
Permits Section Supervisor
Phone: (859) 341-2700 x307
Cell: (859) 462-8718

Todd Morgan

From: Joshua Hunt <Joshua.Hunt@Florence-KY.gov>
Sent: Thursday, May 26, 2016 1:51 PM
To: Todd Morgan
Subject: Villages of Weaver Site Plan

Todd:

I have the following comments for the above referenced site plans. Please let me know if you have any questions.

Josh

1. Please indicate the direction in which building one and two will face. Also show if the proposed road between building one and two will connect to Evergreen Drive.
2. Please note that a 6' tall wrought iron or commercial grade architectural black aluminum fence shall be required around the existing detention basin.
3. Please provide the Kentucky Transportation Cabinet's response to the submitted traffic study. Will an acceleration/deceleration lane be required?
4. Light poles and associated fixtures in the parking lots shall not exceed 14' in height.
5. A photometric plan shall be submitted with Major Site Plan application. The foot-candle measurements shall be in compliance with Section 3316 and Figure 33.6 of the Boone County Zoning Regulations.
6. All ducts, meters, air conditioning equipment, and any other mechanical equipment, whether on the structure, on the ground, or on the roof, shall effectively be screened from view with materials architecturally compatible with the building or with landscaping/ trees.
7. Please confirm/assure that no dumpster closure will be required as each unit will have individual garbage/recycling service.
8. Please indicate if the 6' shadowbox fence that is being proposed is to be painted, stained or left in a natural finish.

APPLICATION FORM

ZONING MAP AMENDMENT
BOONE COUNTY PLANNING COMMISSION

FIVE (5) COPIES OF SUBMITTED DRAWINGS ARE REQUIRED
(See Boone County Zoning Regulations)

SECTION A (To be completed by applicant)

- 1. Name of Project The Villages of Weaver Mill
2. Location of Project +/- 9.70 acres on Weaver Rd. Florence, KY (parcels 062.00-060.06 and 07)
3. Total Acreage of Site +/- 9.70 acres
4. Current Zoning of Site Commercial (C-2)
5. Proposed Zoning (Classification being requested) Urban Residential (UR-2)
6. Proposed Uses (please specify each use) New construction of ranch style apartment community.
7. Names of Applicant(s) Meierjohan Building Group
Phone No. (513) 662-3111 Fax No. E-Mail carmenm@meierjohanbuildinggroup.com
8. Address of Applicant(s) 4010 North Bend Rd Suite 301
Cincinnati Ohio 45211
City State Zip
9. Name of Property Owner(s) Buckeye Properties LLC
Phone No. Fax No. E-Mail
10. Address of Property Owner(s) 4350 Brownsboro Rd STE
Louisville Kentucky 40207
City State Zip
11. Proposed Building Intensities (please specify) 55 apartment units consisting of a mix of 1 and 2 bedroom apartments in 15 buildings on the site.
12. Are there any existing buildings on the site? NO
How many? N/A
13. Deed Book D1065 Page No. 777 Group No. 2048-B
14. Are you also applying for:
NO Conditional Use Permit
NO Dimensional Variance
15. Have you submitted a Concept Development Plan? YES
16. Have you had a pre-application meeting with BCPC Staff? YES
17. Please check the following organizations/agencies which you have discussed the proposed development within the last several months:
NA Boone County Water District
Y Florence Public Services Dept.
NA Duke Energy
NA Sanitation District #1
Cincinnati Bell
Y Owen Electric Cooperative, Inc.
Boone County Public Works Department
Y Kentucky Transportation Cabinet
NA Cincinnati/N. KY International Airport (KY Airport Zoning Commission for height restrictions near the airport)

EXHIBIT

“B”

ZONE CHANGE/CONCEPT PLAN COMMITTEE REPORT

TO: Boone County Planning Commission

FROM: Kim Bunger, Chairman

DATE: July 6, 2016

RE: Request of Meierjohan Building Group (applicant) for Buckeye Properties LLC (owner) for a Zoning Map Amendment from Commercial Two (C-2) to Urban Residential Two (UR-2) for an approximate 9.7 acre site located on the south/west side of Weaver Road across from Saddlebrook Lane, on the south and east sides of Evergreen Drive, to the northwest of the property at 957 Weaver Road, to the north and east of the property at 8912 Evergreen Drive, and to the east of the properties at 8930 and 8940 Evergreen Drive, Florence, Kentucky. The request is for a zone change to allow attached ranch style rental units.

REMARKS:

We, the Committee, recommend approval of the above referenced request based on the following findings of fact and with the following conditions:

FINDINGS OF FACT

1. The Committee has concluded that the existing zoning classification of Commercial Two (C-2) is inappropriate and that the proposed zoning classification of Urban Residential Two (UR-2) is appropriate for the following reasons:
 - A. Although the 2035 Future Land Use Map from the Boone County Comprehensive Plan forecasts the site for commercial uses, there are passages that support a multi-family residential project being developed on the subject site or immediate area.

The following Goals and Objectives are found in the Comprehensive Plan:

- A broad range of housing opportunities shall be provided which meets the needs and desires for all household types (Housing, Objectives)
- Residential developments shall be encouraged to plan and build in a manner which is compatible not only with the general housing density and design planned for the area but also with the existing conditions of the site, including the suitability of adjoining lands for appropriate access, and significant site features (Housing, Objectives).

The Land Use Element's Future Land Use Development Guidelines states that "different development densities can occur in Boone County as long as the development is designed in a proper manner and the infrastructure exists or is planned to support the development. The Goals and Objectives also acknowledge

that fluctuations in the economy and housing market should be considered when evaluating the uses and design of developments” (Development Layout, Lot Sizes, and Setbacks, pg. 162).

The Land Use Element text states that “the area south of Saddlebrook Farms Subdivision along Weaver Road, has developed in an Urban Density Residential manner consistent with the subdivision, with adequate buffering for adjacent to single-family residential uses” (Gunpowder Area, pg. 169).

The Housing Element states that “high density residential areas should be located sufficiently near and with convenient access to major streets, highways, and shopping and public facilities. A progression of densities of residential uses from high (multi-family) to low (single family) shall be encouraged. Where traditional progressions of high to low net density are not possible through creative development design, an appropriate and attractive visual transition should be achieved. This could include existing vegetation or new landscaping and/or fencing” (Housing Densities, pg. 81).

The Committee found that the proposed apartment development, with the agreed conditions, will be consistent with other multi-family developments in the corridor in terms of building and landscaping design, overall compatibility, and placement by Weaver Road and single-family residences. The site is conveniently located to major streets (Weaver Road, US 42, Dixie Highway, Mt. Zion Road), highways (I-71/75) and shopping (US 42 and Mall Road).

B. The applicant submitted a “basis for the zone change” which was included in the June 1, 2016 Staff Report. The letter states that the existing zoning designation of Commercial Two (C-2) is inappropriate and the proposed zoning designation of Urban Residential Two (UR-2) is appropriate for the following reasons:

- The property has not been developed as a commercial project for 25 years.
- During the 25 years that the property has been zoned commercial both single-family and attached residential developments have been successful on properties immediately adjacent to the subject site.
- The most recent attempt to develop the property commercially resulted in bankruptcy.
- The proposed development is much less intense than the currently approved Concept Development Plan:

The traffic produced by this development is approximately 82 to 86 percent lower than the traffic that would have been expected from the previously approved Concept Development Plan.

This project will have less impervious area than the previously approved Concept Development Plan.

This project will have more open space than the previously approved Concept Development Plan.

- The project will develop immediately as residential and will not sit for many years waiting for each commercial lot to develop.
2. The Committee recommends that the following Waivers should be approved by the Zoning Administrator at the time the Major Site Plan application is acted upon by Staff:
 - The two landscape waivers that are outlined in the Staff Report with one modification. The fence type should be changed from a shadowbox fence to a solid vinyl fence, which is beige in color.
 - Parking be permitted on one side of the main development drive. No parking signs shall be installed on the other side of the driveway.
 3. The Committee has concluded that the attached conditions are necessary to achieve consistency with the specific goals, objectives, and policies of the 2010 Boone County Comprehensive Plan. The Committee has also concluded that the attached conditions are necessary to mitigate any foreseeable community impacts that may be created by the development. The applicant and property owner have signed a letter demonstrating agreement with the conditions.

CONDITIONS

1. The approval is based on the revised Concept Development Plan that was submitted at the June 15, 2016 Zone Change Committee Meeting and building elevations and renderings that were shown at the June 1, 2016 Public Hearing. The revised Concept Plan shows 53 apartment units and some revised building orientations.
2. The following additional architectural guidelines shall apply to the apartment buildings:
 - A. Vinyl siding products may be used in the roof gable areas. All other siding shall be polymer siding.
 - B. The northeast facades (facing Weaver Road) of buildings 1, 3, 4 and 5 shall be constructed with masonry knee walls that replicate those being used on the front facades of these buildings.
 - C. The rear facade of building 10 shall be constructed with a masonry knee wall that replicates the one being used on the front facade of this building. This knee wall condition can be eliminated if a landscaping berm is installed which screens the rear facade from Weaver Road and Ascot Drive.

3. The existing landscape berms along the Weaver Road and Evergreen Drive street frontages shall be preserved. Minor modifications to these berms shall be permitted.
4. Lighting in the development shall be limited to low wattage coach lights mounted on the front and rear facades of the buildings. The lights on the front facades shall be on photocell systems.
5. Non-operational vehicles, commercial vehicles, boats, and other recreational vehicles shall not be parked or stored on site.
6. The development shall be limited to one small scale shed for the purpose of storing lawn mowing, snow removal, and other maintenance equipment. The shed be constructed with materials that complement the apartment buildings. Private residents shall not be permitted to have accessory structures.

A copy of the Public Hearing minutes accompanies the findings and recommendation serving as a summary of the evidence and testimony presented by the proponents and opponents of this request. Attached is the signature page for the Zone Change/Concept Development Plan Committee Vote.

**BOONE COUNTY PLANNING COMMISSION
BOONE COUNTY ADMINISTRATION BUILDING
BOONE COUNTY FISCAL COURTROOM
PUBLIC HEARINGS
JUNE 1, 2016
7:30 P.M.**

COMMISSION MEMBERS PRESENT:

Mr. Matt Apke
Mr. Kim Bunger, Secretary/Treasurer
Mr. Mike Ford, Vice Chairman
Mr. Mark Hicks
Mrs. Janet Kegley
Mr. Don McMillian
Mr. Kim Patton
Ms. Lisa Reeves
Mr. Charlie Rolfsen, Chairman
Mr. Bob Schwenke
Mr. Steve Turner, Temporary Presiding Officer

COMMISSION MEMBERS NOT PRESENT:

Mr. Randy Bessler
Mr. Greg Breetz
Mrs. Lori Heilman
Mr. Charlie Reynolds

LEGAL COUNSEL PRESENT:

Mr. Dale T. Wilson

STAFF MEMBERS PRESENT:

Mr. Kevin P. Costello, AICP, Executive Director
Mr. Mitchell A. Light, Asst. Zoning Administrator

Chairman Rolfsen called the Public Hearing to order at 7:43 P.M. and introduced the first item on the Agenda:

ZONING MAP AMENDMENT - Todd Morgan, Staff

1. Request of **Meierjohan Building Group (applicant)** for **Buckeye Properties LLC (owner)** for a Zoning Map Amendment from Commercial Two (C-2) to Urban Residential Two (UR-2) for an approximate 9.7 acre site located on the south/west side of Weaver Road across from Saddlebrook Lane, on the south and east sides of Evergreen Drive, to the northwest of the property at 957 Weaver Road, to the north and east of the property at 8912 Evergreen Drive, and to the east of the properties at 8930 and 8940 Evergreen Drive, Florence, Kentucky. The request is for a zone change to allow attached ranch style rental units.

Staff Member, Mitch Light, presented the Staff Report for Todd Morgan, which included a PowerPoint presentation (see Staff Report). He mentioned that he would present the slides for the request and outline the Staff concerns identified in the Staff Report. The Board should be familiar with the site. It is located at Weaver Road and Evergreen Drive in Florence. The site is approximately 9.75 acres. Mr. Light showed a layout of the proposed development. It will include 15 buildings - 14 one bedroom units and 41 two bedroom units. He also showed building elevations and a landscape plan. Mr. Light explained the history of the site. There was a 1988 approved Concept Development Plan that included C-2 zoning. The plan showed a commercial center with commercial uses. In 2007, there was a Change in an Approved Concept Development Plan application showing six commercial lots. In 2014, there was a Zone Change application for 84 two bedroom apartments - (8.65 dwelling units/acre). This application was later withdrawn by the applicant before the City of Florence. In 2015, another Zone Change application was submitted showing 172 dwelling units (17.71 dwelling units/acre). This application was denied. Mr Light showed photographs of the site and adjoining properties. The 2035 Future Land Use Map designated the site as commercial.

In terms of Staff Comments, the Planning Commission and City of Florence need to analyze the findings necessary for granting a Zoning Map Amendment as listed in Section 308 of the Zoning Regulations. The applicant's team submitted a letter with the request which provides a basis for the zone change. A chart appears in the Staff Report that compares the proposed building intensity compared to other apartment complexes in the immediate area. A Traffic Impact Study was also submitted with the request and the entire document is part of the record. The introduction, trip generations, and findings and conclusions sections have been copied and are included in the Staff Report. Total trips for the development are estimated to be 28 and 34 for the AM and PM peak hours. A comparison table indicates that trip generation for the proposed apartment complex will be significantly lower (approximately 82% less for the AM peak and approximately 86% less for the PM peak) than the retail/commercial/office development. The analysis at the Weaver Road/Saddlebrook Lane intersection will continue to operate at Level of Service (LOS) B and C during the AM and PM peak hours. The analysis completed at the Weaver Road/Ascot Drive and Weaver Road/Ridgeview Road intersections show the new trips generated by the new development will not have any impact on the flow of traffic and safety of vehicles. An exclusive westbound left turn lane should be provided at the Weaver Road/Saddlebrook Lane intersection for motorists that are turning into the proposed development. The turn lane should be 295 long, including the taper. The northbound approach on Drive A (main development driveway that connects to traffic signal) should be constructed to provide an exclusive left turn lane and a shared lane for through traffic and right turns. Staff has the following comments regarding the application:

Staff would like the applicant to address if the berms along Weaver Road and Evergreen Drive will remain? Staff would like the applicant to address similar apartment projects they have constructed. Where are they located and who are their typical tenants (seniors, single professionals, married couples with children, etc.)? The project does not show any amenities (pool, playground, etc.). The building elevations and floor plans show that the units will have rear patios and be screened with 6' tall privacy fencing. The fencing cannot be permitted behind building #1 because it would be located in the corner side yard. Staff recommends that more guest parking stalls should be added to the plan. The plans show that sidewalks will be constructed along the Weaver Road frontage, main development driveways, and a small portion of Evergreen Drive. The Planning Commission and City of Florence should determine if the sidewalk system is adequate. Are outside trash areas or mail kiosks being provided? If so, where will they be located? A note on the plan indicates that all site lighting will be placed on the buildings and will not glare onto adjacent residential properties. The back and sides of the buildings are being constructed entirely of vinyl siding. Staff recommends the following: The vinyl horizontal siding shown on the buildings shall be replaced with polymer siding. Vinyl siding products may be used in the roof gable areas. The rear facades of buildings 1, 3, and 11 shall be constructed with some stone veneer. The proportion of stone veneer shall replicate the front of the buildings. Staff would like the applicant to address if the size of the storm water detention basin is adequate and the outlet point across Evergreen Drive.

The landscaping plan shows the following Waivers will be sought:

275' Property Line (common property line with Browning)

A 20' wide Buffer Yard B is required and the plantings are required as noted in the Staff Report. The Waiver would allow a 6' shadowbox fence to be installed in place of the required evergreen trees and large shrubs. The fence is shown on the property line.

490' Property Line (common property line with Browning, Gausepohl, Pommier, and KY Farm Bureau)

A 20' wide Buffer Yard B is required and the following plantings are required as noted in the Staff Report. The Waiver would allow a 6' shadowbox fence to be installed instead of the required evergreen trees and shrubs. The plans also indicate that three existing trees and honeysuckle vines would be retained in the buffer. The planting of the required trees would occur on both sides of the development drive.

Staff would like the applicant to address if some of the maple trees could be replaced with columnar evergreen trees to provide year around screening? Staff sent out an memo regarding the project on May 9, 2016. At the time the Staff Report was finalized, Florence Fire, Florence Public Services, and Kentucky Transportation had commented. Their responses are attached to the Staff Report. Staff also reached out to Carol Callan-Ramler, with Kentucky Transportation Cabinet regarding Project 6-367. As part of this project, sidewalks will be constructed on Weaver Road between the newly constructed US/Weaver Road intersection and the Florence Fire Department. Project construction is currently scheduled for 2017. The City of Florence has also applied for Federal funds to help with the construction of an approximate 2,100 foot section of sidewalk between Tamarack Drive and Saddlebrook Lane. This section of sidewalk will tie into the sidewalks

that are part of the state road project outlined above. Boone County is a partner with the City of Florence in this project and has committed equal funding. This section of sidewalk should also be constructed in 2017.

At this time, Chairman Rolfsen asked if the applicant was present and wanted to proceed with his presentation?

Mr. T. J. Ackermann, stated that he was the applicant for the project on behalf of Meierjohan Building Group. He noted that his company was ready to build a similar project off Hopeful Church Road about one mile from the subject site.

Mr. Don Stegman, Cardinal Engineering, stated that the last two proposals for the site have involved multi-family type housing. The site is not feasible for commercial development. It has not developed in almost 30 years. The property was foreclosed and a bank owns the property. The Planning Commission approved a multi-family project for the site two applications ago, about 8.3 units/acre in 2013 but the developer withdrew the application because of additional conditions. Last year, another application was submitted at a density of 17.7 units/acre. That proposal was turned down. The applicant is proposing a new product - ranch style apartments. The buildings have a single floor. Each unit has a built-in garage not detached like other apartment projects. Most of the units have two bedrooms. Each unit has four parking spaces (two spaces in the garage and two spaces on the driveway). The look and feel of the project is single-family residential. The proposed project has a density of 5.7 units/acre, much lower than neighboring apartment complexes. It is similar to SR-1 (up to four units per acre) zoning. It is between SR-1 and SR-2 zoning. A traffic Impact Study was completed and the Kentucky Transportation Cabinet is okay with what is proposed for improvements. The signal will be modified and a left lane will be added. Mr. Stegman stated that his client complies with items 3.a - 3e outlined in the Staff Report. The height of the berms from Weaver Road and Evergreen Drive will remain the same. Some of the berm height may be changed a little to accommodate a corner of two buildings. It will not affect views from the two public roads. They may have to install a small retaining wall.

Mr. T. J. Ackermann, stated that his company is developing five other projects identical to the proposed project in the area. The first project is open in Harrison, Ohio. The make-up of the tenants - over 75% of their tenants are 50 years or older. 37.5% of those residents are retired and over 50% of the group are single. Most people are looking for a care free lifestyle. The product they offer provides the best of an apartment and a condominium. A condominium gives one an individual unit with their own garage, open floor space and yard. The apartment gives residents a total care free lifestyle where a company is responsible for the exterior, along with the interior in terms of appliances, the HVAC system, the lighting system and plumbing maintenance. Each unit has a no step entry. Doorways are three feet wide and hallways are between 4-5 feet in width. The experience is single-family home living.

Mr. Stegman explained that due to the low density of the project and type of resident that is attracted to this type of development, there is no need for a playground or pool. It is a quiet neighborhood. There is a planned sidewalk system within the development that can be used by residents. Mr. Stegman stated that they would modify the location of Building #1 due to the fencing requirements. He noted they have plenty of parking in the site with parking allowed in the garages

and driveways. They also have extra stalls distributed throughout the development. They show 113 parking spaces of which 103 are required. That figure does not include any garage space. If you include the garage, it would be double the amount provided. The existing street is 25 feet in width and parking could be provided on the street. There is plenty of room to park. It is not any different than a single-family residential development. It is a private street as there is no right-of-way. Mr. Stegman showed the location of the additional seventeen parking spaces and sidewalks. Each unit will have its own garbage cans like a single-family house. They will be kept in the garage. A kiosk will be installed for mail service. Each unit will have a "coach-style" light installed on the building facade. Mr. Stegman agreed with the comment about vinyl siding (see page 9 of Staff Report). He noted they will have less impervious surface than a commercial development. They assume it is adequate but there are new water quality regulations. It will be sized according to the new detention and water quality requirements.

Mr. Costello noted that the detention pond has been in place for many years without maintenance. The whole system should be checked to make sure it is working properly. There was an issue with a headwall and erosion occurring on property across Evergreen Drive. Mr. Stegman responded they will review it for flow purposes.

Mr. Stegman referred to the submitted landscape plan. He stated that they would like to keep as much vegetation as possible on the former Browning property. They will install a six foot tall shadow box fence on the property and then off the property line as you turn the corner due to the presence of existing vegetation. They will also supplement the existing landscaping. He showed photographs of the two property lines and existing vegetation. The proposed houses are single story.

Ms. Gayle Frazer, landscape architect, stated that she chose English Oak trees because of overhead wire constraints and the fact that the fence can be placed in the easement. The English Oak does keep its leaves in the winter. There should be a lot of opacity with the fence and mature oak trees. Mr. Stegman offered to look at other tree types if necessary. In conclusion, the commercial zoning is not appropriate and this type of product is a good fit. It is being built in Burlington and down the street along Hopeful Church Road. This project is a great addition to their other project in Florence. The proposed project will be jointly managed with the Hopeful Church Road project by the applicant. That project will have a clubhouse that could be potentially rented by residents of the proposed project.

At this time, Chairman Rolfsen asked if there was anyone in the audience who wanted to speak in favor or against the request?

Mr. Clay James, resident in Eagle's Landing Subdivision, asked if the proposed development would have any subsidized housing? Will it be a percentage of units? Will the development have parking standards for automobiles, campers and boats similar to what Saddlebrook Apartments enforces?

Mr. Buddy Krebs, 8912 Evergreen Drive, stated that his property is the former Browning property shown on the drawing. He noted that if the power company wants to remove the existing vegetation, they can do it immediately since it is their easement. Nothing is there. He purchased

his property because it was a commercially zoned area. An apartment complex in his backyard and side yards will decrease his property value. Is the fence an option or is it both? There is part of the property that drops and the fence will also drop and therefore there will only be a 3 to 4 foot buffer. In the Fall, Mr. Krebs stated that he can see the Saddlebrook Apartments when the leaves drop. Chairman Rolfsen responded that the fence would be a backup. Mr. Krebs asked what is the distance between the fence and road?

Mr. Randy Pommier, 8940 Evergreen Drive, expressed a concern about the traffic on Evergreen Drive. All the traffic studies have been done on Weaver Road. He has loved living in the area for 15 years. Traffic is using Evergreen Drive and Ridgeview Drive. Those roads are not capable of handling more traffic. The site will be a cut through for local traffic, especially with the Mt. Zion Road construction. It is difficult to turn off Evergreen Drive onto Weaver Road. Adding 55 units will make it worse. He stated that he has a two story deck and a six foot wall won't help him. The buffer is not adequate. He has storm water runoff problems in his yard since the site has been developed. It is a mud pile.

Mr. Charlie Walton, Eagle's Landing Subdivision resident, stated he owns property along Evergreen Drive. He suggested looking at traffic from 7:00 to 9:30 a.m. and from 3:30 - 6:30 p.m. Sometimes, you have to wait 5 minutes at the intersection of Evergreen Drive and Weaver Road to make a left turn onto Weaver Road. There is a definite traffic issue there.

Ms. Karen James, Eagle's Landing Subdivision resident, asked why UR-2 was being requested with such a low density? Mr. Don Stegman replied due to the setback requirements given their building type and size.

Mr. Ackermann stated that they don't accept subsidized housing, vouchers or government programs. The units are market rate renting at \$1,200 - \$1,300/month for one bedroom units and \$1,500/month for two bedroom units. He explained that single residents are renting two bedroom units and use the second bedroom as a den or office or guest room. A one bedroom unit is 1,000 square feet and a two bedroom is 1,350 square feet in size excluding the garage. Boats, campers and car storage are not allowed in the development including work on vehicles. The vehicles have to be operational. They also don't allow outdoor play sets or portable pools. They are trying to keep it quiet for the residents and neighbors. Basketball hoops are not allowed. Research indicates that most people belong to various clubs and various activities so it is not needed on the proposed site. It wouldn't be used and would only attract people outside the neighborhood.

Mr. Ford asked how the property would be managed? Mr. Ackermann replied that his management company has full time Staff and they would manage the property. He has on-site management, on-site leasing, on-site maintenance and regional oversight. He explained that they want to install a fence to fully screen both properties. The former Browning property is being used commercially with the storage of boats, lawn maintenance equipment and animals. The proposed development will allow neighbors from adjoining subdivisions to use the traffic signal at the front of their entrance. It was originally planned that way dating back to the late 1980's. The community will not be gated. It will remain open even though they have private streets. His residents won't be out during peak hours so the local traffic can use the signal in order to cut their wait time by 3.5 to 4 minutes. It is difficult and unreasonable to screen something from a two story deck. Storm water

runoff including water quality will be managed by a central system and meet County standards. They will maintain the system.

Chairman Rolfsen asked if the applicant limited the number of people living in a one bedroom and two bedroom apartment? Mr. Ackermann replied yes. It is regulated by the building code. Each one bedroom can accommodate two people and two bedrooms can accommodate four people. They perform periodic checks for maintenance purposes. They allow up to three pets with a total maximum weight of 100 pounds.

Mr. McMillian inquired about the neighbor's mud problems. Mr. Ackermann responded that they cannot add to an existing problem. He is not aware of any off-site issues related to his site. If there is an issue, they are willing to assess the problem.

Chairman Rolfsen inquired how the applicant verifies the weight of a pet? Mr. Ackermann replied that the resident has to provide certification from a veterinarian. He explained that they are trying to build a community where people are mature and comfortable - a place where there is not 50% turnover in the first year. They retain residents at a minimum of three years or on an average of seven years. It creates more stability and less wear and tear on the property.

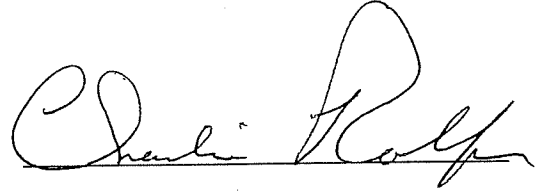
Mr. Hicks asked if the applicant has sold this type of development in the past? Mr. Ackerman answered no. His family has been in the multi-family residential development business since 1933. His business model is to build and hold. That is why they are investing in upgraded building materials. He has no desire to sell it. It is like an annuity for his children.

Mr. Patton asked the applicant to provide to the Zone Change Committee a copy of a lease outlining the operational standards. Mr. Ackermann replied he would do so. Chairman Rolfsen asked what is the length of the lease? Mr. Ackermann replied they are usually for one year but they have some short term leases (5-10%). Short-term is defined as six months. After the resident completes the first year, the leases go month to month.

Mr. Bunker asked whether the applicant would consider not allowing parking on the main road since others will be using the road to get to the traffic signal? Mr. Ackermann responded that it would depend on how the street is being used. He doesn't anticipate parking on the street. He doesn't see a problem with restricting parking to one side of the street if it were needed on an occasional basis for a special event or party. He doesn't want to overly restrict the problem to make it more difficult for people to live there. Mr. Ackermann stated that he would consider restricting it from Evergreen Drive to the main connector street. The stretch from the main connector street to the Farm Bureau building would provide more parking opportunities. Mr. Bunker noted that the applicant will be installing up to 900 lineal feet of shadow box fencing. He asked the applicant to provide the type of design of the proposed fence to the Zone Change Committee. Mr. Stegman suggested limiting on-street parking to off peak hours and events. They will also bring pictures of fence styles they are proposing on the site.

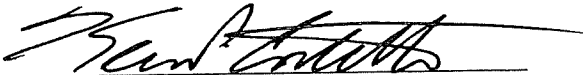
There being no further questions or comments, Chairman Rolfsen announced that the Committee Meeting for this item will be on June 15, 2016 at 5:00 P.M. in this room. This item will be on the Agenda for the Business Meeting on July 6, 2016 at 7:00 P.M. Chairman Rolfsen closed the Public Hearing at 9:00 P.M.

APPROVED:



Charlie Rolfsen
Chairman

Attest:



Kevin P. Costello, AICP
Executive Director

ZONE CHANGE/CONCEPT PLAN COMMITTEE VOTE

TO: Boone County Planning Commission

FROM: Kim Bunger, Chairman

DATE: June 15, 2016

ZONING MAP AMENDMENT - Kim Bunger, Chairman, Todd Morgan, Staff

2. Request of Meierjohan Building Group (applicant) for Buckeye Properties LLC (owner) for a Zoning Map Amendment from Commercial Two (C-2) to Urban Residential Two (UR-2) for an approximate 9.7 acre site located on the south/west side of Weaver Road across from Saddlebrook Lane, on the south and east sides of Evergreen Drive, to the northwest of the property at 957 Weaver Road, to the north and east of the property at 8912 Evergreen Drive, and to the east of the properties at 8930 and 8940 Evergreen Drive, Florence, Kentucky. The request is for a zone change to allow attached ranch style rental units.

REMARKS:

We, the Committee Members were present at the Committee Meeting and voted on the above request or else were absent from voting. Further, based upon the vote, the Committee directs the Staff to draft the findings of fact and conditions if deemed necessary in order to complete the Committee Report.

Meierjohan/Buckeye

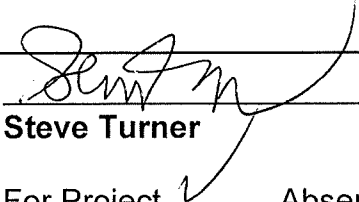
June 15, 2016

Greg Breetz

For Project ___ Absent ___

Against Project ___

Abstain ___ Deferred ___

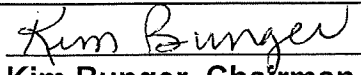


Steve Turner

For Project 1 Absent ___

Against Project ___

Abstain ___ Deferred ___



Kim Bunger, Chairman

For Project 1 Absent ___

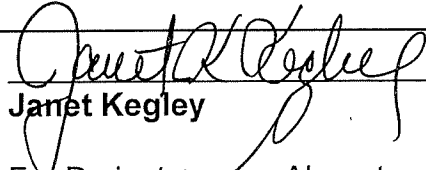
Against Project ___

Abstain ___ Deferred ___

Randy Bessler (Alternate)

For Project ___ Absent ___

Against Project ___



Janet Kegley

For Project 1 Absent ___

Against Project ___

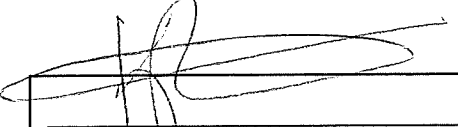
Abstain ___ Deferred ___

Mark Hicks, (Alternate)

For Project ___ Absent ___

Against Project ___

Abstain ___ Deferred ___



Kim Patton

For Project X Absent ___

Against Project ___

Abstain ___ Deferred ___

Lori Heilman (Alternate)

For Project ___ Absent ___

Against Project ___

Abstain ___ Deferred ___

TOTAL: ___ DEFERRED ___ FOR PROJECT ___ ABSENT

___ AGAINST PROJECT ___ ABSTAIN

SUPPORTING INFORMATION

24 mg.

IN-CARE-OF ADDRESS
FOR MAILING TAX BILL :

Buckeye Properties LLC
4350 Brownsboro Road, Suite 310
Louisville, Kentucky 40207

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED OF CONVEYANCE made this 30th day of December, 2015, between **COMMONWEALTH BANK & TRUST COMPANY, successor by merger to First Security Trust Bank, Inc.**, a Kentucky banking corporation, with its principal office located at 4350 Brownsboro Road, Suite 310, Louisville, Kentucky 40207, Party of the First Part, and **BUCKEYE PROPERTIES LLC**, a Kentucky limited liability company, with its principal office located at 4350 Brownsboro Road, Suite 310, Louisville, Kentucky 40207, Party of the Second Part.

WITNESSETH :

That the said Party of the First Part, for and in consideration of the sum of \$1.00 and other good and valuable consideration in hand paid, the receipt whereof is hereby acknowledged, grants, bargains, sells and conveys unto said Party of the Second Part, in fee simple title with covenant of Special Warranty, the following described parcels or tracts of land, lying and being in Boone County, Kentucky, to-wit:

In and to the following described Real Estate, in the City of Florence, County of Boone and more particularly described as follows:

Group No. 2048-B

Parcel I
Description of 5.000 Acres

Located in Boone County, Kentucky lying on the southwesterly side of Weaver Road and the northeasterly side of Evergreen Drive and is more particularly described as follows:

Unless otherwise stated any monument referred to herein as an iron pin (set) is 1/2 inch diameter rebar eighteen inches in length with a plastic cap stamped "PLS 3357." All bearing referred to herein are based upon Saddlebrook Center Subdivision.

Beginning at an iron pin (existing) in the northeasterly side of Evergreen Drive 25.00 feet as measured perpendicular to the centerline at the common corner of

Boone County
D1065 PG 777

RETURN TO: Pg 1

the Banklick Corporation (Deed Book 530, Page 160) and Eleanor Dameron (Deed Book 305, Page 317) thence with said right of way line N 31-53-53 W 155.61 Feet to an iron pin (set) thence N 32-38-08 W 166.73 feet to an iron pin (set) thence leaving said right of way line with a new division line of the Banklick Corporation's property N 39-16-21 E 200.03 feet to an iron pin (set) thence S 50-43-36 E 175.76 feet to an iron pin (set) thence N 39-17-42 E 212.27 feet to an iron pin (set) in the southwesterly right of way line of Weaver Road; thence with said right of way line S 44-56-15 E 90.33 feet to an iron pin (set) thence S 50-38-52 E 575.00 feet to an iron pin (existing) at the common corner of the Banklick Corporation and the Kentucky Farm Bureau Insurance Company (Deed Book 918, Page 119) thence leaving said right of way line with the common line of the Banklick Corporation and the Kentucky Farm Bureau Insurance Company S 51-44-09 W 190.91 feet to an iron pin (set) in the common line of another parcel owned by the Kentucky Farm Bureau Insurance Company (Deed Book 918, Page 728) thence with the common line of the Banklick Corporation the Kentucky Farm Bureau Insurance Company Randy Pemmier (Deed Book 807, Page 438), Davie Gauspohl (Deed Book 914, Page 769) and Eleanor Dameron (Deed Book 305, Page 317) N 58-52-17 W 490.70 feet to an iron pin (existing) at the common corner of the Banklick Corporation and Eleanor Dameron thence with the common line of the Banklick Corporation and Eleanor Dameron S 41-07-01 W 248.59 feet to the point of beginning containing 5.00 acres and being subject to all right of ways and easements of record.

Parcel II

Description of 4.710 Acres

Located in Boone County, Kentucky lying on the southwesterly side of Weaver Road and the Northeasterly side of Evergreen Drive and is more particularly described as follows:

Unless otherwise stated any monument referred to herein as an iron pin (set) is ½ inch diameter rebar eighteen inches in length with a plastic stamped "PLS 3357." All bearing referred to herein are based upon Saddlebrook Center Subdivision.

Beginning at an iron pin (existing) in the northeasterly side of Evergreen Drive 25.00 feet as measured perpendicular to the Centerline at the common corner of the Banklick Corporation (Deed Book 530, Page 160) and Eleanor Dameron (Deed Book 305, Page 317); thence with said right of way line N 31-53-53 W 155.61 feet to an iron pin (set) thence N 32-38-08 W 166.73 feet to an iron pin (set) at the TURE POINT OF BEGINNING; thence continuing with said right of way line N 32-38-08 W 100.50 feet to a point; thence N 31-06-01 W 380.48 feet to a point thence N 29-31-12 W 100.60 feet to an iron pin (set) at the right of way intersection of Evergreen Drive and Ridgeview Drive thence with said right of way line of Ridgeview Drive N 57-22-41 E, 203.91 feet to an iron pin (set) in the Southwesterly right of way line of Weaver Road; thence with the said right of way line S 58-37-08 E 252.45 feet to an iron pin (set) thence S 49-49-47 E

Boone County
D1065 PG 778

350.05 feet to an iron pin (set) thence S 44-56-15 E 60.42 feet to an iron pin (set) thence leaving said right of way line with a new division line S 39-17-42 W 212.27 feet to an iron pin (set) thence N 50-43-36 W 175.76 feet to an iron pin (set) thence S 39-16-21 W 200.03 feet to the TRUE POINT OF BEGINNING containing 4.710 acres and being subject to all right of ways and easements of record.

The above referenced Parcel I and Parcel II being all of the same property conveyed to First Security Trust Bank, Inc., and its successors and assigns, by virtue of a Master Commissioners Deed recorded in Deed Book 1016, Page 420, in the Boone County Clerk's records at Burlington, Kentucky. ✓

That Party of the First Part covenants that it is lawfully seized of a fee simple title to the property herein conveyed; that it has full right and power to convey same.

This conveyance is further made subject to easements and restrictions of record and ad valorem property taxes due and payable in 2016, which Party of the Second Part assumes and agrees to pay.

Party of the First Part covenants that it, its successors and assigns, shall warrant and defend the property herein conveyed unto Party of the Second Part, its successors and assigns, against the lawful claims of all persons claiming by, through, or under Party of the First Part, but not otherwise.

CONSIDERATION CERTIFICATE

This transfer is for nominal monetary consideration, is made between a parent corporation and its solely owned subsidiary and is tax exempt pursuant to KRS 142.050(7)(i). The estimated fair cash values of the property herein conveyed is: \$975,000.00.

The Parties hereto certify that the above-stated consideration is the true, correct, and full consideration given for the property herein conveyed. Party of the Second Part executes this deed to certify as to the estimated fair cash value of the property herein conveyed.

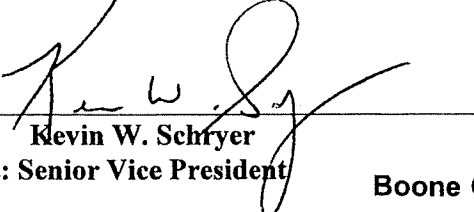
IN TESTIMONY WHEREOF, witness the signature of the Parties this day and year first above written.

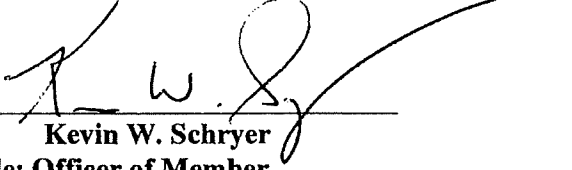
Party of the First Part

Party of the Second Part

**COMMONWEALTH BANK & TRUST
COMPANY**

BUCKEYE PROPERTIES LLC

By: 
Kevin W. Schryer
Title: Senior Vice President

By: 
Kevin W. Schryer
Title: Officer of Member

**Boone County
D1065 PG 779**

COMMONWEALTH OF KENTUCKY :

COUNTY OF JEFFERSON :

The foregoing Deed was acknowledged and the Consideration Certificate subscribed and sworn to before me this 30th day of December, 2015, by Kevin W. Schryer as Senior Vice President of **Commonwealth Bank & Trust Company**, a Kentucky banking corporation, on behalf of the corporation.

My Commission expires: 6/1/2016.

Wiane K. Scroggins
Notary Public, Kentucky, State At Large

COMMONWEALTH OF KENTUCKY :

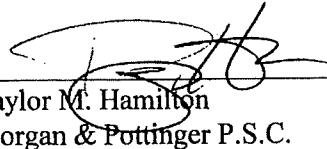
COUNTY OF JEFFERSON :

The foregoing Consideration Certificate was subscribed and sworn to before me this 30th day of ~~March~~ ^{December}, 2015, by Kevin W. Schryer as Officer of Member of **Buckeye Properties LLC**, a Kentucky limited liability company, on behalf of the company.

My Commission Expires: 6/1/2016.

Wiane K. Scroggins
Notary Public, Kentucky, State At Large

This Instrument Prepared By:


Taylor M. Hamilton
Morgan & Pottinger P.S.C.
601 W. Main Street
Louisville, Kentucky 40202

RETURN TO:

Boone County
D1065 PG 780

DOCUMENT NO: 693295
RECORDED ON: JANUARY 21, 2016 04:05:22PM
TOTAL FEES: 120.00
GROUP : 20400
COUNTY CLERK: KENNY BROWN
COUNTY: BOONE COUNTY CLERK
DEPUTY CLERK: CINDY
BOOK D1065 PAGES 777 - 780

ZONE CHANGE

C-2 TO UR-2

The Villages of Weaver Mill

Lying in the City of Florence, Boone County, Kentucky, southwest of Weaver Road (State Route 842), northeast of Evergreen Drive, southeast of Ridgeview Drive, more particularly described as follows:

Beginning at the intersection of the centerline of Evergreen Drive and the extension of the common line of First Security Trust Bank, Inc. (D.B. 1016 P.G. 420) and Marie Browning (D.B. 305 P.G. 317);

Thence with the centerline of Evergreen Drive, the following four (4) calls:

North 31°53'53" West a distance of 163.08 feet to a point;
North 32°38'08" West a distance of 267.40 feet to a point;
North 31°06'01" West a distance of 381.16 feet to a point;
North 29°31'12" West a distance of 99.59 feet to a point at the intersection of the centerline of Evergreen Drive and the extension of the northwest property line of said First Security Bank;

Thence leaving said centerline of Evergreen Drive and with the northwest property line of First Security Bank, North 57°22'41" East a distance of 323.60 feet to a point in the centerline of Weaver Road (State Route 842);

Thence with the centerline of Weaver Road, South 50°38'52" East a distance of 1312.19 feet to the intersection of the southeast line of said First Security Bank and Weaver Road;

Thence with said southeast line, South 51°44'09" West a distance of 267.70 feet to a point in the line of Kentucky Farm Bureau Mutual Insurance Company (D.B. 918 P.G. 728);

Thence with said Kentucky Farm Bureau in part, Randy Joe & Kimberly A. Pommer (D.B. 807 P.G. 438) in part, David H. Gauspohl (D.B. 914 P.G. 769) in part and Marie Browning (D.B. 305 P.G. 317), North 58°52'17" West a distance of 490.70 feet to a point;

Thence continuing with said Browning South 41°07'01" West a distance of 274.73 feet to the POINT OF BEGINNING.

Said parcel contains 12.318 acres.



To whom it may concern:

Enclosed please find a certified copy of City of Florence, Kentucky Ordinance No. O-13-16:

ORDINANCE NO. O-3-16:

AN ORDINANCE ADOPTING AND APPROVING A ZONING MAP AMENDMENT FROM COMMERCIAL TWO (C-2) TO URBAN RESIDENTIAL TWO (UR-2) FOR AN APPROXIMATE 9.7 ACRE SITE GENERALLY LOCATED ON THE SOUTH/WEST SIDE OF WEAVER ROAD ACROSS FROM SADDLEBROOK LANE, ON THE SOUTH AND EAST SIDES OF EVERGREEN DRIVE, TO THE NORTHWEST OF THE PROPERTY AT 957 WEAVER ROAD, TO THE NORTH AND EAST OF THE PROPERTY AT 8912 EVERGREEN DRIVE, AND TO THE EAST OF THE PROPERTIES AT 8930 AND 8940 EVERGREEN DRIVE, FLORENCE, KENTUCKY, TO ALLOW ATTACHED RANCH STYLE RENTAL UNITS. (BUCKEYE PROPERTIES LLC PROPERTY)

The First Reading of Ordinance No. O-13-16 was held on the 23rd Day of August, 2016. The Second Reading of Ordinance No. O-13-16 was held on the 13th Day of September, 2016. Ordinance No. O-13-16 was published in the *Boone County Recorder* on the 29th Day of September, 2016 at which time the Ordinance became statutorily official.

Please contact me if you require additional information.

Sincerely,

Erin M. Courts

Erin M. Courts
City Clerk, City of Florence

I, Erin M. Courts, City Clerk for the City of Florence, Kentucky, do hereby certify the foregoing is a true and correct copy of Ordinance O-13-16 as same appears in the official records of my office.

Dated this 29th day of March, 2017.

Erin M. Courts

Erin M. Courts
City Clerk
City of Florence
8100 Ewing Boulevard
Florence, KY 41042-7588
859-647-8178 (phone)
859-647-5411 (fax)
erin.courts@florence-ky.gov
www.florence-ky.gov

ORDINANCE NO. 0-13-2010

AN ORDINANCE ADOPTING AND APPROVING A ZONING MAP AMENDMENT FROM COMMERCIAL TWO (C-2) TO URBAN RESIDENTIAL TWO (UR-2) FOR AN APPROXIMATE 9.7 ACRE SITE GENERALLY LOCATED ON THE SOUTH/WEST SIDE OF WEAVER ROAD ACROSS FROM SADDLEBROOK LANE, ON THE SOUTH AND EAST SIDES OF EVERGREEN DRIVE, TO THE NORTHWEST OF THE PROPERTY AT 957 WEAVER ROAD, TO THE NORTH AND EAST OF THE PROPERTY AT 8912 EVERGREEN DRIVE, AND TO THE EAST OF THE PROPERTIES AT 8930 AND 8940 EVERGREEN DRIVE, FLORENCE, KENTUCKY, TO ALLOW ATTACHED RANCH STYLE RENTAL UNITS. (BUCKEYE PROPERTIES LLC PROPERTY)

WHEREAS, the City of Florence, Kentucky, is a member of the county-wide planning unit with a county-wide planning commission known as the Boone County Planning Commission, and

WHEREAS, the Boone County Planning Commission has recommended approval of a zoning map amendment from Commercial Two (C-2) to Urban Residential Two (UR-2) for an approximate 9.7 acre site generally located on the south/west side of Weaver Road across from Saddlebrook Lane, on the south and east sides of Evergreen Drive, to the northwest of the property at 957 Weaver Road, to the north and east of the property at 8912 Evergreen Drive, and to the east of the properties at 8930 and 8940 Evergreen Drive, Florence, Kentucky, to allow attached ranch style rental units.

WHEREAS, the recommendation for approval of the Boone County Planning Commission is based upon certain findings and conditions attached to its Resolution of Recommendation, all of which have been reviewed by the City Council for the City of Florence, Kentucky.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY OF FLORENCE, KENTUCKY AS FOLLOWS:

SECTION I

That the zoning map amendment from Commercial Two (C-2) to Urban Residential Two (UR-2) for an approximate 9.7 acre site generally located on the south/west side of Weaver Road across from Saddlebrook Lane, on the south and east sides of Evergreen Drive, to the northwest of the property at 957 Weaver Road, to the north and east of the property at 8912 Evergreen Drive, and to the east of the properties at 8930 and 8940 Evergreen Drive, Florence, Kentucky, to allow attached ranch style rental units, shall be and is hereby approved.

The real estate which is the subject of this Ordinance is more particularly described in Exhibit "A", attached hereto and incorporated herein by reference. The zoning

map of Boone County, Kentucky, as it applies to the City of Florence, Kentucky, shall be amended or changed to reflect the zoning map amendment for this subject property.

SECTION II

This approval of this zoning map amendment is granted subject to the conditions, terms and provisions of the Boone County Planning Commission recommendation, including the Committee Report made a part of that recommendation, a copy of that recommendation and Committee Report of the Boone County Planning Commission being attached, marked Exhibit "B", and incorporated herein as if fully set out, this recommendation being in the form of Resolution No. R-16-013-A of the Boone County Planning Commission along with the referenced Exhibits to that Resolution.

SECTION III

This approval is granted based upon the findings of fact made by the Boone County Planning Commission and contained within its recommendation, including the committee report of that Commission, which is attached and part of the Commission's Resolution No. R-16-013-A, marked Exhibit "B", and incorporated herein as if fully set out.

SECTION IV

If this approval for this zoning map amendment shall be held invalid, in whole or in part, by any Court of proper jurisdiction, such invalidity shall not affect the validity of any of the other zoning regulations, zoning map or comprehensive plan provisions as they are severable from this Ordinance and they are intended to have effect regardless of any invalidity relating to this particular Ordinance and this particular zone change approval.

SECTION V

Publication of this Ordinance is hereby to be by summary publication in accordance with Kentucky law.

PASSED AND APPROVED ON FIRST READING THIS 23RD DAY OF August, 2016.

PASSED AND APPROVED ON SECOND READING AND PUBLICATION ORDERED THIS 13TH DAY OF September, 2016.

APPROVED:

Deane Z. Whole

MAYOR

ATTEST:

Erin M. Coueto

CITY CLERK

CITY OF FLORENCE, KENTUCKY
PLANNING AND ZONING COMMITTEE

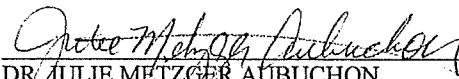
IN RE: REPORT AND RECOMMENDATION - REQUEST OF MEIERJOHAN BUILDING GROUP (APPLICANT) FOR BUCKEYE PROPERTIES LLC (OWNER) FOR A ZONING MAP AMENDMENT FROM COMMERCIAL TWO (C-2) TO URBAN RESIDENTIAL TWO (UR-2) FOR AN APPROXIMATE 9.7 ACRE SITE GENERALLY LOCATED ON THE SOUTH/WEST SIDE OF WEAVER ROAD ACROSS FROM SADDLEBROOK LANE, ON THE SOUTH AND EAST SIDES OF EVERGREEN DRIVE, TO THE NORTHWEST OF THE PROPERTY AT 957 WEAVER ROAD, TO THE NORTH AND EAST OF THE PROPERTY AT 8912 EVERGREEN DRIVE, AND TO THE EAST OF THE PROPERTIES AT 8930 AND 8940 EVERGREEN DRIVE, FLORENCE, KENTUCKY, TO ALLOW ATTACHED RANCH STYLE RENTAL UNITS.

The Committee met in a regular meeting on August 8, 2016, at the Florence Government Center Building to consider Resolution No. R-16-013-A of the Boone County Planning Commission which recommended approval of the request described above. The Committee reviewed the record of proceedings before the Boone County Planning Commission, including said Resolution and the exhibits thereto, and the approved Minutes of the public hearing. The Committee determined that the record from the Boone County Planning Commission contains adequate information for consideration of the recommendation and that no need exists for an additional hearing before the City Council.

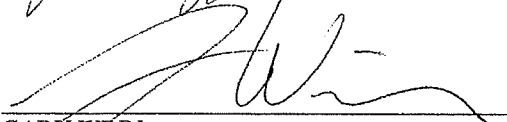
NOW, THEREFORE, the Planning and Zoning Committee recommends to the City Council of the City of Florence, Kentucky, as follows:

- a. That this matter be considered solely on the record before the Boone County Planning Commission and that no additional hearings be held; and
- b. That the recommendation of approval from the Boone County Planning Commission be affirmed, and the request described above be approved.

MEMBERS OF THE COMMITTEE:



DR. JULIE METZGER AUBUCHON



GARY WINN

Treva Beagle

From: Erin Courts <Erin.Courts@Florence-KY.gov>
Sent: Wednesday, March 29, 2017 9:47 AM
To: Treva Beagle
Subject: RE: Ordinance
Attachments: City of Florence Ordinance No. O-13-16 (Zoning Map Amendment - Saddlebrook).pdf

I am so sorry Treva!
Here is the signed copy of O-13-16.

Please let me know if there is anything else you need.

Thank you!

Erin M. Courts

City Clerk
City of Florence
8100 Ewing Blvd
Florence, KY 41042
(Phone) 859-647-8178
(Fax) 859-647-5411
Email: erin.courts@florence-ky.gov





From: Treva Beagle [<mailto:tbeagle@boonecountyky.org>]
Sent: Wednesday, March 29, 2017 9:02 AM
To: Erin Courts
Subject: Ordinance

Good Morning Erin,
I have been checking our Resolution folders and discovered that we don't have a complete signed ordinance for a Zoning Map Amendment (Ordinance O-13-2016). Could you please email me one? I can print from the City of Florence website but there are no signatures. I also have a question regarding future ordinances that pertain to us. Will you automatically email them to me or do I need to request them? Thanks!

Treva L. Beagle

Manager, Administrative Services
Boone County Planning Commission
tbeagle@boonecountyky.org
859-334-2196
859-334-2264 (fax)

REVISIONS DATE BY ITEM	 CARDINAL ENGINEERING LAND SURVEYING 4010 NORTH BEND ROAD SUITE 301 CINCINNATI, OHIO 45211 PHONE: (513) 533-1000 FAX: (513) 533-1000 WWW.CARDINALSURVEYING.COM	PROJECT: ZONE CHANGE PLAN VILLAGES OF WEAVER MILL WEAVER ROAD - FLORENCE, KY	CLIENTS: MEIERJOHAN BUILDING GROUP 4010 NORTH BEND ROAD SUITE 301 CINCINNATI, OHIO 45211	VICINITY MAP SCALE: 1" = 100' 	DRAWN BY: MMR CHECKED BY: DES DESIGNED BY: DES PROJECT MANAGER: DES PROJECT NO.: 14-103 SCALE: 1" = 60' DATE: 05-03-16 SITE DEVELOPMENT PLAN SHEET C-4.0
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LEGEND	
1/4" = 100'	OVERHEAD ELECTRIC
1/4" = 100'	UNDERGROUND ELECTRIC
1/4" = 100'	ELECTRIC BOX
1/4" = 100'	ANCHOR BOLT
1/4" = 100'	ANCHOR PILE
1/4" = 100'	LIGHT POLE
1/4" = 100'	STREET LIGHT
1/4" = 100'	UNDERGROUND TELEPHONE
1/4" = 100'	TELEPHONE BOX
1/4" = 100'	TELEPHONE MANHOLE
1/4" = 100'	DOUGLASS
1/4" = 100'	SOIL
1/4" = 100'	WATER LINE
1/4" = 100'	WATER METER
1/4" = 100'	WATER MAIN
1/4" = 100'	POST INDICATOR VALVE
1/4" = 100'	GAS METER
1/4" = 100'	GAS MAIN
1/4" = 100'	UTILITY MANHOLE
1/4" = 100'	SEWER OR CHECK
1/4" = 100'	SEWER MANHOLE
1/4" = 100'	SEWER LINE

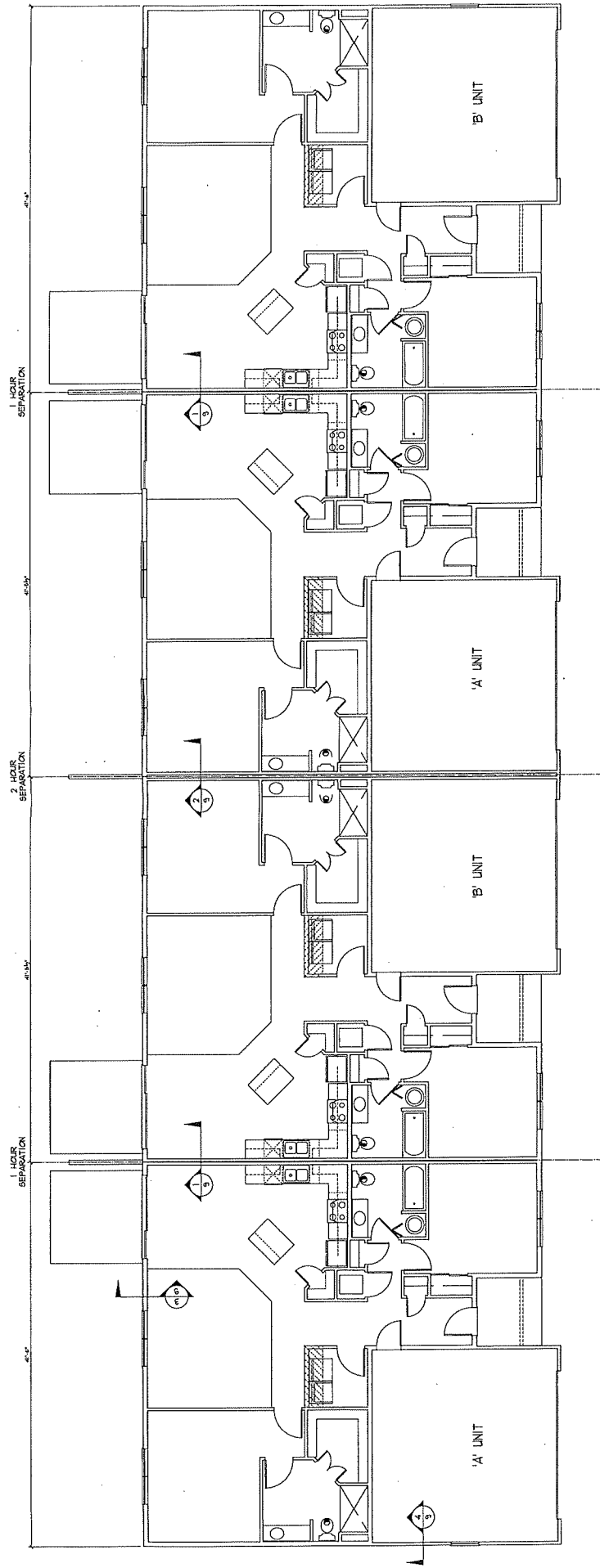


- NOTES:
- EXISTING SOIL TYPES - I-4, B-6, & R-6.
 - EXISTING ON-SITE STREET IS 24" WIDE CONCRETE AND WILL REMAIN PRIVATE. USE IS UN-RESERVED. CONCRETE LOTS WITH ALL UTILITIES AND INFRASTRUCTURE. NO BUILDINGS OR PARKING LOTS EXIST.
 - EXISTING ON-SITE PUBLIC UTILITIES INCLUDE THE FOLLOWING:
 - OVERHEAD ELECTRIC (DUKE ENERGY & OWEN ELECTRIC)
 - GAS MAIN (DUKE ENERGY)
 - TELEPHONE (CINCINNATI BELL)
 - PROPOSED USE WILL BE MULTI-FAMILY (APARTMENTS). APARTMENTS SHALL BE CONSTRUCTED IN ONE PHASE. BUILDINGS SHALL BE CONSTRUCTED IN ONE PHASE.
 - NO LIGHTS SHALL CLARE ON TO ADJACENT RESIDENTIAL PROPERTIES AND ROADWAY IMPROVEMENTS TO WEAVER ROAD WILL BE DONE IN ACCORD WITH THE REQUIREMENTS OF THE KENTUCKY DEPARTMENT OF TRANSPORTATION.





STREET PERSPECTIVE VIEW



4-UNIT BUILDING FLOOR PLAN
 SCALE: 3/32"=1'-0" (10X11) 3/16"=1'-0" (24X36)

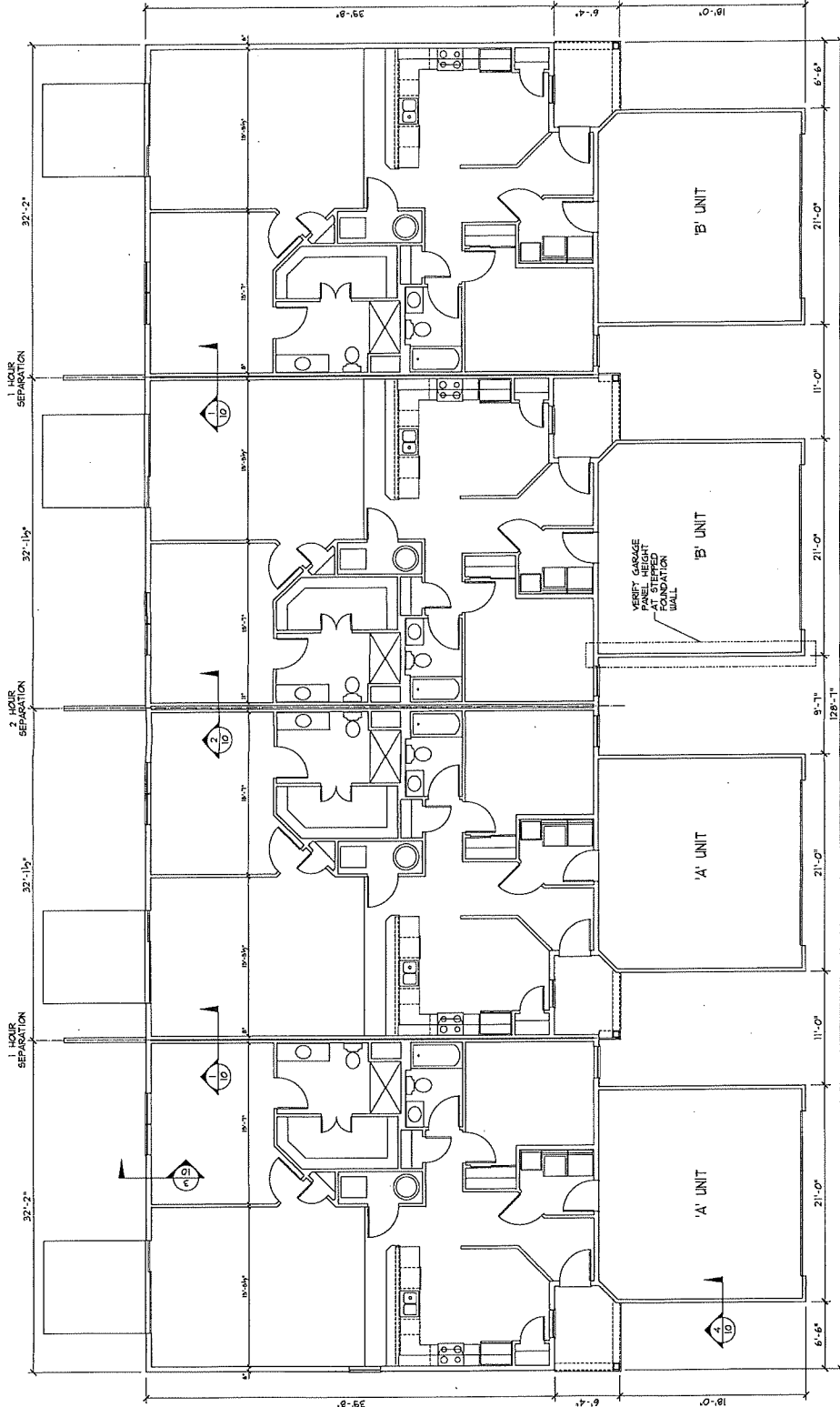
JOB #	V01 50-93
SHEET #	A-2.0

DATE	2/24/15
REVISIONS	3/16/15

MULTI-FAMILY RESIDENCE
 "SYDNEY"

MEIERJOHAN
 BUILDING GROUP
 meierjohanbuildinggroup.com
 (313) 662-3111

10452 Camden-College Corner Road
 Cambridge, MA 02142
 P-617-552-4400 F-617-552-4677
 greg@fullhousearchitectural.com
Full House ARCHITECTURAL
 Residential Design, LLC
 GREG RUTHER - Designer



5-UNIT BUILDING PARTIAL FLOOR PLAN
 SCALE: 3/32"=1'-0" (LIMIT) 3/16"=1'-0" (2x3x6)

JOB #	101.009.06
SHEET #	A-5.0

DATE	REVISIONS
1/13/16	

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MULTI-FAMILY RESIDENCE



"SOPHIA"

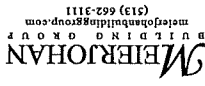
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 meierjohانبuildinggroup.com
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 P: 614-707-1467 F: 614-725-8807
 greg@fullhousedesignllc.com
 GREG RUTHER - Designer

ALL
 BID
 AMERICAN
 ARCHITECTURE
 ASSOCIATION
 MEMBER


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 F: (617) 767-8801
 greg@fullhousebuildinggroup.com
 greg@fullhousebuildinggroup.com
 Greg Rutherford - Designer


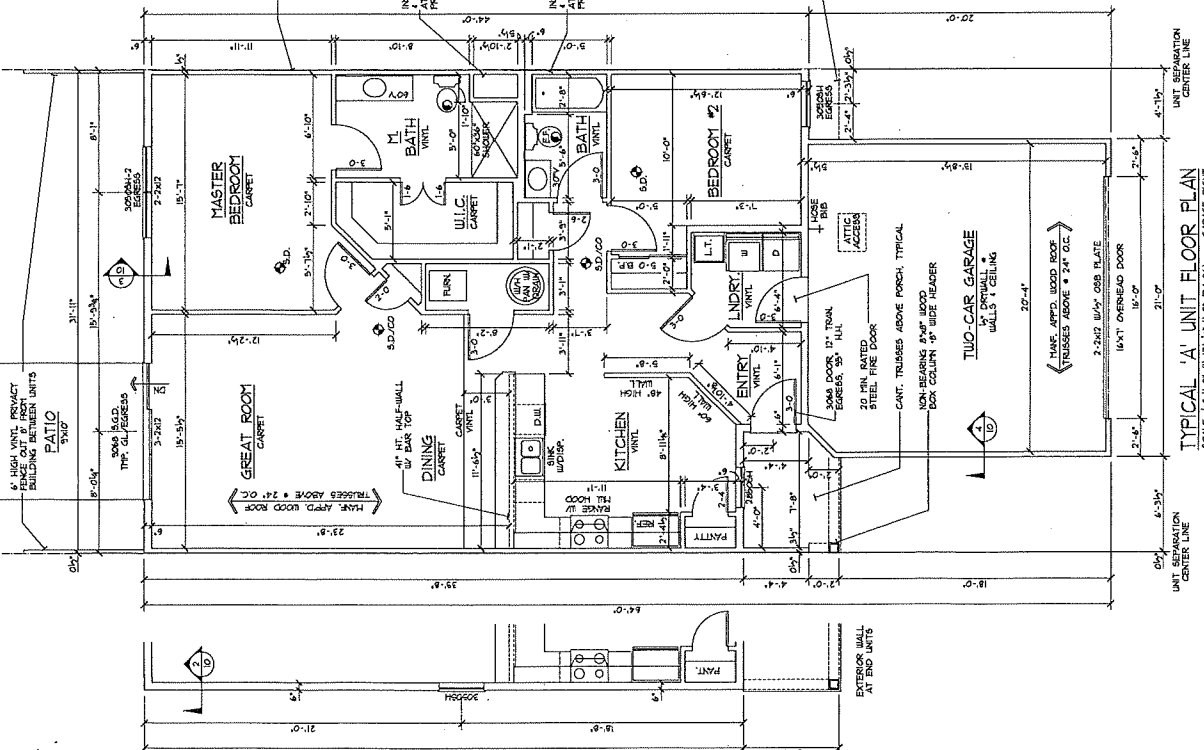
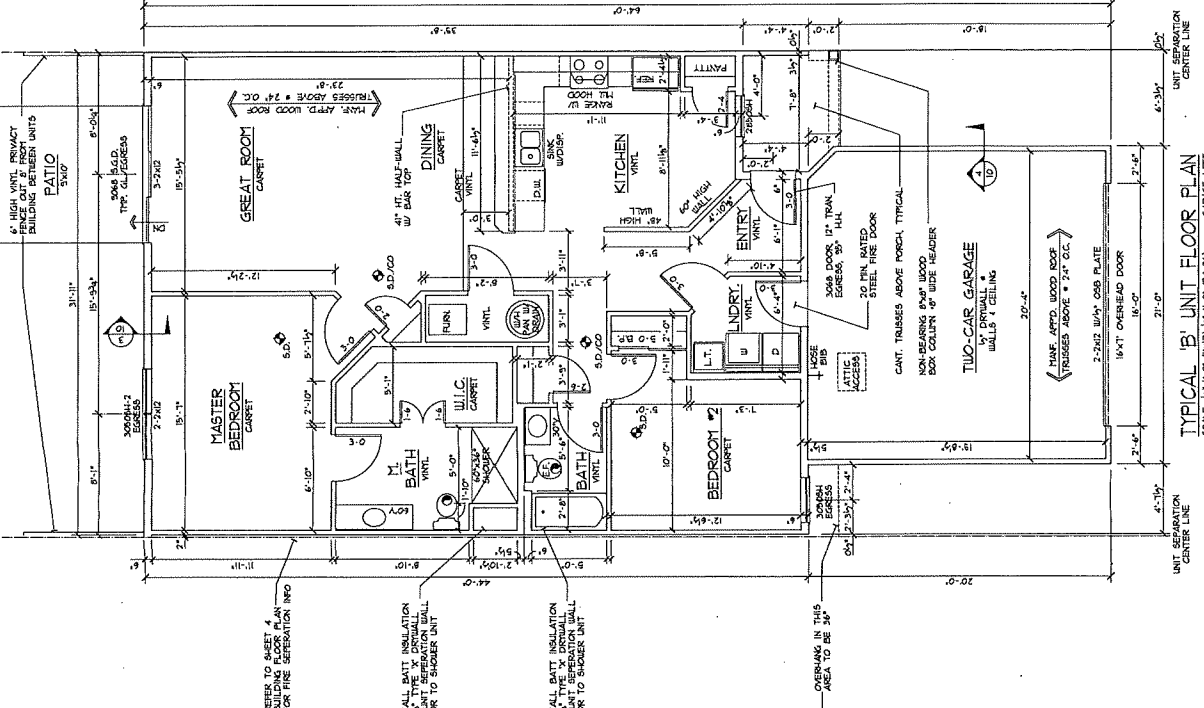

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"SOPHIA"
 MULTI-FAMILY RESIDENCE

REVISIONS	
DATE	1/13/16
JOB #	101102106
SHEET #	A-6.0

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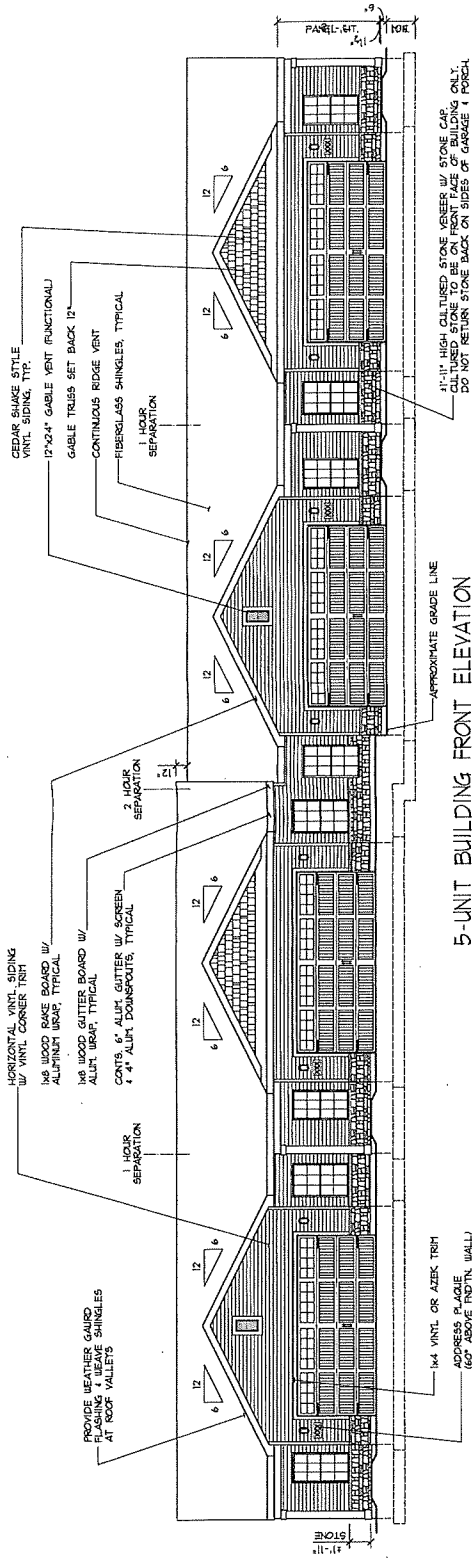
- FLOOR PLAN NOTES**
- 5.0-10.0 SPOKE DETECTOR INTERCONNECTED W/ BATTERY BACKUP
 - 5.0-10.0 SPOKE DETECTOR INTERCONNECTED TO BE 5.0-10.0, UNLESS NOTED OTHERWISE
 - 3.0-4.0 SPOKE DETECTOR INTERCONNECTED TO BE 3.0-4.0, UNLESS NOTED OTHERWISE
 - ALL GROUNDWATER TO BE STAINLESS STEEL BALASTERS W/ 4" DIA. OPEN DIALS TO BE SPACED 5.0' TO ALLOW 1/4" DIA. TO PASS THROUGH
 - WALL MOUNTED HANDRAILS TO BE 34" HIG. 3/4" DIA. HIGH W/ BIDS RETURNED TO WALL
 - 3.0-4.0 SPOKE DETECTOR INTERCONNECTED TO BE 3.0-4.0, UNLESS NOTED OTHERWISE
 - EXTERIOR STEPS: 8"4" MAX. RISE & 11" MIN. TREAD
 - ATTIC ACCESS PANEL TO BE APPROX. 22"x30" MIN.
 - EXTERIOR WINDUP MIN. DIA. 1/2" HIG. 2.42' WIDTH 10"
 - ALL TRUSS SPAN INDICATIONS FOR PLAN CLARITY. TRUSSES LOCATIONS NOT SHOWN FOR PLAN CLARITY. TRUSSES HAVE 1/4" LIFT-OUT FOR SPANS. CHECK TRUSS LOCATIONS AND BEARING POINT REQUIREMENTS, TYPICAL
 - WOOD JOIST TO 4" WOOD JOIST IN 2ND FLOOR. TYPE TRUSS ABOVE TRUSS MANUFACTURER TO BE TYPE TRUSS. NOTE: ALL COLLARS SHALL HAVE SOLID BEARING TO FOUNDATION WALL BELOW
 - TRUSS MANUFACTURER TO BE TYPE TRUSS. NOTE: ALL COLLARS SHALL HAVE SOLID BEARING TO FOUNDATION WALL BELOW
 - ALL CLOTHES CLOSETS TO HAVE (5) SHELVES. LINEN CLOSET & PANTRY TO HAVE (5) SHELVES. PROVIDE 3" MIN. CLEARANCE ABOVE ALL CABINETS, ISLANDS, & PENINSULAS



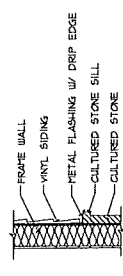
9'-1 1/8" CEILING HEIGHT

TYPICAL 'B' UNIT FLOOR PLAN
 SCALE: 1/8" = 1'-0" (NORTH 9/4" = 1'-0" (2.43M))

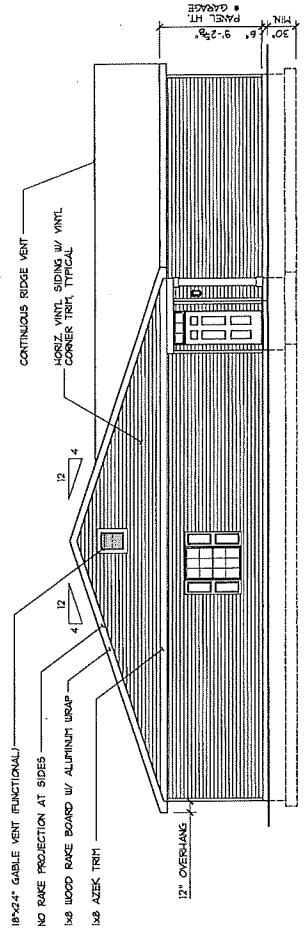
TYPICAL 'A' UNIT FLOOR PLAN
 SCALE: 1/8" = 1'-0" (NORTH 9/4" = 1'-0" (2.43M))



5-UNIT BUILDING FRONT ELEVATION
SCALE: 3/32"=1'-0" (LIMIT) 3/16"=1'-0" (24334)



CULTURED STONE FLASHING
SCALE: N.T.S.



5-UNIT BUILDING LEFT SIDE ELEVATION
SCALE: 3/32"=1'-0" (LIMIT) 3/16"=1'-0" (24334)

- ELEVATION NOTES**
1. PROVIDE WATERPROOFING MEMBRANE AT ALL VALLEYS, ROOF EAVES, AND PENETRATIONS PER MANF. SPECS. USE 30\"/>
 - 2. PROVIDE WATERPROOFING MEMBRANE TAPE AT ALL WINDOWS, INSTALLED PER MANF. SPECS.
 - 3. ALL EXTERIOR STEPS & LANDINGS SHALL BE ILLUMINATED BY LIGHT * DOOR.
 - 4. ALL GABLE & VALLEY OVER-FRAMING TO BE TRUSSED UNLESS NOTED OTHERWISE.
 - 5. SLOPE FINAL GRADE DOWN 6" MIN. IN THE FIRST 10' AWAY FROM BUILDING.
 - 6. PROVIDE 3:1 MAXIMUM GRADE SLOPE, TYPICAL.
 - 7. FOR FINISHED GRADE REFER FINAL GRADING PLAN.

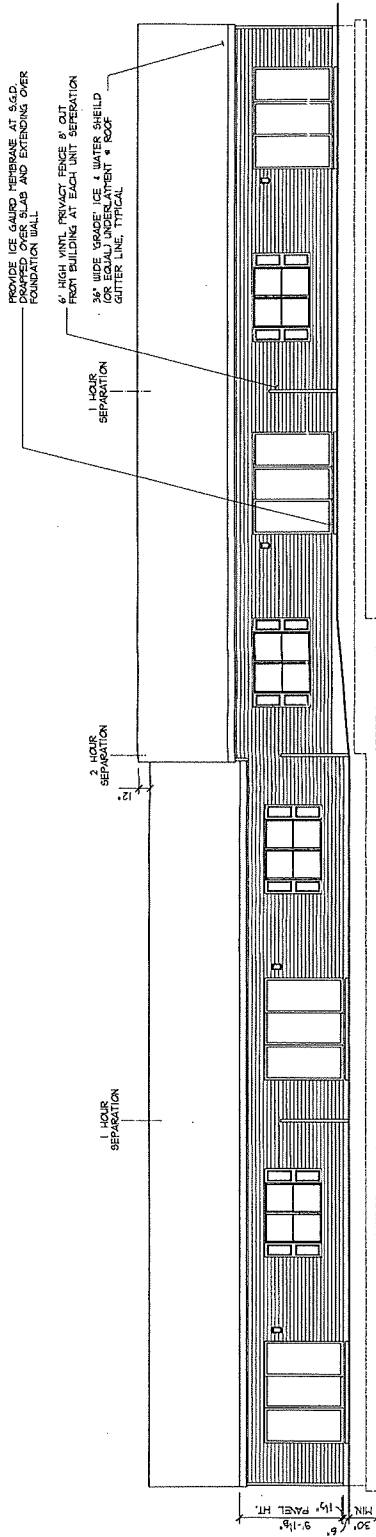
DATE	1/13/16
REVISIONS	
JOB #	105-106
SHEET #	A-7.0

MULTI-FAMILY RESIDENCE
"SOPHIA"

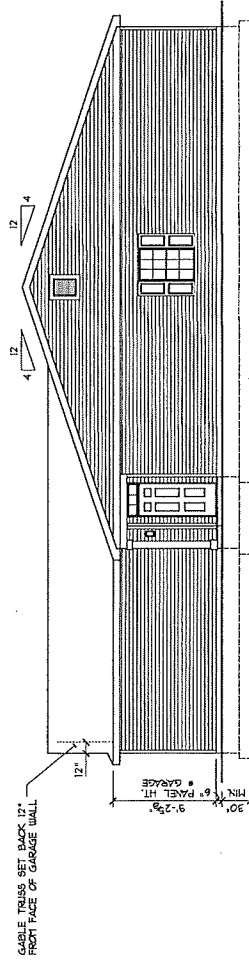
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GREG RUTLIER - Designer

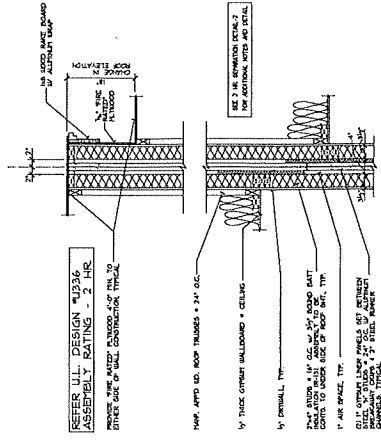
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5-UNIT BUILDING PARTIAL REAR ELEVATION
SCALE: 3/32"=1'-0" (LIMIT) 3/16"=1'-0" (24x36)



5-UNIT BUILDING RIGHT SIDE ELEVATION
SCALE: 3/32"=1'-0" (LIMIT) 3/16"=1'-0" (24x36)



2 HR UNIT SEPARATION @ STEEPED ROOF **2C**
SCALE: 3/16"=1'-0" (LIMIT)

DATE	JOB #
1/13/16	101 124-106
REVISIONS	SHEET #
	A-8.0

MULTI-FAMILY RESIDENCE	
"SOPHIA"	

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MEIERJOHAN BUILDING GROUP, LLC

QNT	SIZE	LATIN	COMMON	NOTES
33	3 in	<i>Acer rubrum 'Armstrong'</i>	COMMON	specimen
1	3 in	<i>Acer rubrum 'Autumn Flame'</i>	COMMON	specimen
6	3 in	<i>Acer rubrum 'October Glory'</i>	COMMON	specimen
21	2.5 in	<i>Acer rubrum 'Red Sunset'</i>	COMMON	specimen
30	2.5 in	<i>Quercus rubra 'Fastigiata'</i>	COMMON	specimen
6	6-8 1/2 in	<i>Malus 'Virens'</i>	COMMON	specimen, matching
3	8 1/2 in	<i>Prunus pennsylvanica 'Crimson Form'</i>	COMMON	specimen, matching
4	8 1/2 in	<i>Prunus pennsylvanica 'Thundercloud'</i>	COMMON	specimen, matching
1	2.5 in	<i>Saxifraga 'Mabel or Tillsie'</i>	COMMON	specimen
105	TOTAL	SHADE TREES		
34	6'	<i>Aspen albes</i>	COMMON	specimen
19	6'	<i>Aspen parvifera</i>	COMMON	specimen
53	TOTAL	EVERGREEN TREES		
46	3 gal	<i>Evergreen abies 'Compacta'</i>	COMMON	specimen
10	3 gal	<i>Forsythia ovata 'Northern Sun'</i>	COMMON	specimen
49	3 gal	<i>Viburnum burkwoodii 'Muhlenberg'</i>	COMMON	specimen
80	3 gal	<i>Juniperus horizontalis 'Grey Owl'</i>	COMMON	specimen
185	TOTAL	SHRUBS		

plant key

4.26.16

GF
Gayle A. Frazer
Registered Landscape Architect

7877 bridgpoint pass • Cincinnati, ohio 45248 • 513-607-8098 • gaf11a@use.net



REVISIONS: DATE: FT04

PROJECT: VILLAGES OF WEAVER MILL, WEAVER ROAD - FLORENCE, KY

CLIENT: MERIDIAN BUILDING GROUP, 401 NORTH BEND ROAD SUITE 301, CINCINNATI, OHIO 45211

PROJECT MAP: VILLAGES OF WEAVER MILL

SCALE: 1" = 60'

DATE: 05-24-16

LANDSCAPE PLAN

SHEET: []