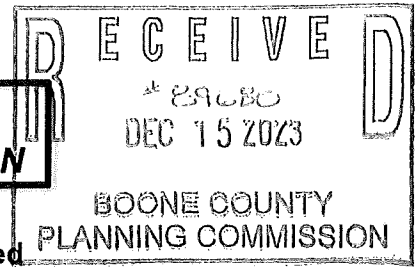


**ZONING MAP AMENDMENT
BOONE COUNTY PLANNING COMMISSION**



Seven (7) copies of submitted drawings are required

An application consists of all fees paid in full, submitted drawings, and a completed application form

SECTION A: (To be completed by applicant)

1. Name of Project: Union Promenade
2. Location of Project: US 42/Sweet Harmony/Fowlers Creek Lane
3. Total Acreage of Project: 68.42 ~~62~~ acres
4. Current Zoning of Property: UC/PD/CD
5. Proposed Zoning of Property (classification being requested): Special Signage District
6. Proposed Use(s) (specify each use):

7. Proposed Building Intensities (specify for each building):

8. Are you applying for any of the following (check all that apply):
 Conditional Use Permit Variance
9. Current Owner: City of Union
Address: 1843 Bristol

<u>Union</u>	<u>KY</u>	<u>41091</u>
City	State	Zip Code

Phone Number: 859-384-1511 Fax Number: _____
Email: _____
10. Applicant: 9541 US 42 LLC
Address: 4010 North Bend Road, Suite 301

<u>Cincinnati</u>	<u>OH</u>	<u>45211</u>
City	State	Zip Code

Phone Number: 513-662-3111 Fax Number: _____
Email: tja@meierjohanbuildinggroup.com
11. Are there any existing buildings on the site: Yes No
If yes, indicate how many: _____

1191/468
1204/621
1191/453

1202/549

2097

12.	Deed Book	Page Number	Group Number
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13. Have you had a pre-application meeting with the BCPC staff: Yes No

14. Have you submitted a Concept Development Plan: Yes No


15. Have you met or discussed your proposed development with any of the following organizations/agencies (check all that apply):

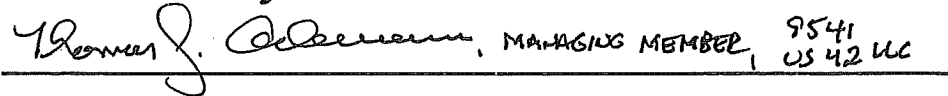
- | | |
|---|---|
| <input type="checkbox"/> Boone County Building Department | <input type="checkbox"/> Local Fire District |
| <input type="checkbox"/> Boone County Public Works Department | <input type="checkbox"/> Local School District |
| <input type="checkbox"/> Boone County Water District | <input type="checkbox"/> Northern Kentucky Health Department |
| <input type="checkbox"/> Cincinnati Bell | <input type="checkbox"/> Owen Cooperative Electric, Inc. |
| <input type="checkbox"/> Cincinnati/Northern Kentucky International Airport (Kentucky Airport Zoning Commission for height restrictions near the airport) | <input type="checkbox"/> Sanitation District No. 1 |
| <input type="checkbox"/> Duke Energy | <input type="checkbox"/> USDA NRCS/Boone County Conservation District |
| <input type="checkbox"/> Florence Public Services Department | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Kentucky Division of Water | |
| <input type="checkbox"/> Kentucky Transportation Cabinet | |

16. Concept Development Plan Jurisdiction/Location (check all that apply):
 Unincorporated Boone Florence Walton Union

17. Waiver of 60 Day Time Requirement by Originator for Final Planning Commission Action:

In accordance with the provisions of KRS 100.211, the applicant(s) and property owner(s) or originator(s) hereby waive the 60 day time limit for the Boone County Planning Commission to take final action on my (our) Zoning Map Amendment/Concept Development Plan application. This time limit waiver is considered effective immediately upon receipt by the Boone County Planning Commission and expires on MARCH 21st, 2024

Property Owner's Signature: *  MAYOR

Applicant's Signature:  THOMAS J. OBERMANN, MANAGING MEMBER, 9541 US 42 LLC



The city is signing this application pursuant to its contractual obligation, in no event should the city's action be construed as an endorsement of the applicant's request and the city reserves the right to appeal any determination of the planning commission.

EXHIBIT

“A”

STAFF REPORT

#1

Request of **9541 US 42 LLC, per Thomas J. Ackerman (applicant)** for **City of Union, per Mayor Larry Solomon and Children's Hospital Medical center, per Maura Moran-Berry (owners)** for a Zoning Map Amendment for a Special Sign District for an approximate 68 acre site located between US 42 and Old Union Road and north of Sweet Harmony Lane, Union, Kentucky, being known as the Union Promenade development. The request is for a Special Sign District in a Union Commercial/Union Neighborhood Office/Urban Residential Two/Planned Development (UC/UNO/UR-2/PD) district to allow alternative signage.

February 7, 2024

REQUEST

- A. The request is for a Zoning Map Amendment for a Special Sign District to allow signage that is currently not allowed under the Union Town Plan sign regulations.

SITE HISTORY

- 2000 On August 28, 2000, the City of Union adopted the Union Town Plan.
- 2021 On November 3, 2021, the City of Union adopted Ordinance Number 2021-18, approving a zoning map amendment changing the site to the UC/UNO/UR-2/PD district to allow the development of Union Promenade, subject to several conditions including that the permitted uses in the retail and office areas will follow the permitted uses in the UC and UNO zones, building architecture within the development shall meet the requirements of the Union Town Plan, the submitted narrative and the various architectural style drawings submitted by the applicant and the Union Promenade Architectural Guidelines, and the site will have a maximum building setback of 100 feet for the retail portion of the development located along US 42 (R-21-026-A).
- 2022 On April 27, 2022, the Boone County Planning Commission approved a Preliminary Plat for Union Promenade.
- 2022 On August 25, 2022, the Boone County Planning Commission approved an Improvement Plan for Union Promenade.
- 2022 On December 12, 2022, the Boone County Planning Commission approved a Major Site Plan for United Dairy Farmers (Lot 1).
- 2023 On January 9, 2023, the Boone County Planning Commission approved a Final Plat for Union Promenade, Section 1.
- 2023 On February 27, 2023, the Boone County Planning Commission approved a sign permit for two (2) forty (40) foot tall entrance signs (SP-U-022-2023).

- 2023 On March 17, 2023, the Boone County Planning Commission approved a Major Site Plan for Lot 6.
- 2023 On March 29, 2023, the Boone County Planning Commission approved a Major Site Plan for Union Club Apartments – Phase A.
- 2023 On April 1, 2023, the Boone County Planning Commission approved a Major Site Plan for a retail/restaurant building on Lot 7 of Union Promenade.
- 2023 On May 1, 2023, the Boone County Planning Commission approved a Major Site Plan for Lot 7.
- 2023 On July 6, 2023, the Boone County Planning Commission approved a Major Site Plan for The Reserve at Union Promenade (Lots 19 and 20).
- 2023 On July 25, 2023, the Boone County Planning Commission approved a Major Site Plan for Union Club Apartments – Phase B.
- 2023 On July 26, 2023, the Boone County Planning Commission approved a Major Site Plan for a 4-unit attached single-family building on Lot 19 of Union Promenade.
- 2023 On July 26, 2023, the Boone County Planning Commission approved a Major Site Plan for a 6-unit attached single-family building on Lot 20 of Union Promenade.
- 2023 On October 24, 2023, the Boone County Planning Commission approved a Major Site Plan for Union Club Apartments – Phase C.
- 2023 On November 13, 2023 and December 5, 2023, the Union Board of Adjustment approved Variances increasing the height and square footage of a monument sign and increasing the square footage of two (2) building mounted signs for UDF (Lot 1) (UBOA 23-002).
- 2023 On December 5, 2023, the Union Board of Adjustment denied an appeal of the zoning administrator's determination that a change from twelve (12) attached single-family residential dwellings within three (3) buildings to sixteen (16) attached single-family residential dwellings within two (2) buildings was a major change from the existing approved Concept Development Plan (UBOA-DE-01)

APPLICABLE REGULATIONS

- A. Section 3407.3 of the Boone County Zoning Regulations provides regulations for signage within the Union Town Plan Special Sign District.
- B. The existing approved Concept Development for the Union Promenade development provides for certain signage.
- C. Section 3410 of the Boone County Zoning Regulations allows for the creation of special sign districts.

D. Section 3410.C of the Boone County Zoning Regulations provides criteria for the approval of a Special Sign District:

1. A Special Sign District shall be approved only if the legislative body finds that the proposed plan meets all of the standards set out in this article. If the legislative body finds that the proposed plan substantially meets such standards, it may approve the proposed plan subject to conditions that will cause it to meet these standards. Otherwise, the legislative body shall deny the application for plan approval:
 - a. Each proposed sign generally conforms with all applicable standards of this article.
 - b. The total amount of signage proposed for any building, wall, site, or portion of a site, generally conforms with all applicable standards of this article.
 - c. The proposed allocation of allowed signage among eligible tenants, which shall be proportional to one of or a combination of the following criteria:
 - (1) The number of public entrances to space leased to or controlled by each tenant or occupant;
 - (2) The linear feet of frontage of the space leased to or controlled by each tenant or occupant along the wall(s) containing public entrances; and/or
 - (3) The façade area of the building elevation(s) containing the public entrances to the spaces leased to or controlled by each tenant or occupant.
 - d. All proposed signs shall be part of a common design scheme, meeting at least the following criteria:
 - (1) The materials and design of all wall signs shall follow one design scheme;
 - (2) The materials and design of freestanding signs bearing commercial messages shall follow one design scheme, which may or may not be the same as the design scheme for wall signs;
 - (3) Each design scheme shall require consistency among signs for at least three of the following criteria: lighting design; color schemes; materials; shape; proportion; and/or type faces;
 - (4) If the design schemes for the wall signs and freestanding signs are different, they shall have in common at least two of the following criteria: lighting design; color schemes; materials; proportion; and
 - (5) The design scheme for freestanding signs shall use building materials, colors and, where applicable, architectural design features consistent with the materials, colors

and architectural design features of the principal building on the site.

- e. A determination shall be made that any signage that is proposed as part of a Special Sign District that does not conform to the requirements of this Article must be superior to the signage allowed under this Article.

SITE CHARACTERISTICS

- A. The approximate 68 acre site located between US 42 and Old Union Road and north of Sweet Harmony Lane.
- B. The site is being developed with a mix of office, retail, service, and residential uses as part of the Union Promenade development.

ADJACENT LAND USES AND ZONING

- North: Villas at Fowler Creek (SR-2/UTO)
- South: Union Fire Station (PF/UTO) and Harmony Place Subdivision (RSE/UTO)
- East: Panera Bread (C-2/PD), Storypoint of Union (PF/PD), Arbor Springs at Plantation Pointe Subdivision (RSE/UTO), and Harmony Subdivision (RSE/UTO)
- West: Single-family residential and agricultural/undeveloped land (A-2/UTO)

RELATIONSHIP TO COMPREHENSIVE PLAN

- A. Our Boone County – Plan 2040 “2040 Future Land Use Plan” designates the site for Rural Lands, Rural Density Residential, and High Suburban Density Residential uses which is described as follows:
 - 1. Rural Lands – Wooded, agricultural, recreational, or low density residential uses of up to one dwelling unit per two acres. Residential construction in Rural Lands does not occur in a formal subdivision.
 - 2. Rural Density Residential – Low density residential uses of up to one dwelling unit per acre.
 - 3. High Suburban Density Residential - Single-family and/or attached housing of up to 8 dwelling units per acre. This classification is typified by townhouse, condominium, and zero-lot line development, and also pertains to existing mobile home parks.
- B. US 42 is a state maintained arterial street providing for two way traffic within five driving lanes. Childrens Way is a city maintained subcollector street providing for two way traffic within two driving lanes. Union Promenade is a city maintained subcollector street providing for two way traffic within two driving lanes and a row of parallel parking along the west side of the street. Old Union Road is a city maintained collector street providing

for two way traffic within two driving lanes.

- C. Our Boone County Plan 2040 contains the following Future Land Use Development Guideline as it pertains to Design, Signs, and Cultural Resource Preservation (page 97):

"Developments in Boone County should give consideration to the overall design of the area. Site, landscape, and building design should be a primary concern at the early stages of the development, with an emphasis on the aesthetic impact of the proposed use. The minimal use of signs is encouraged; signage should be adequate to identify a specific development, but should not be used as a means to compete for motorists attention. The objective is to avoid the confusion and/or distraction of motorists, and to avoid the potential negative impacts of signs on the visual appearance of a development corridor. Utility lines should be placed underground wherever possible, and junction boxes screened from public view."

STAFF COMMENTS

- A. The following are the current regulations for the Union Town Plan Special Sign District:

- A. The following sections are intended to create a harmonious sign package for the Union Commercial (UC), Union Town Center (UTC), Union Neighborhood Office (UNO) and the Union Town Overlay (UTO) districts while providing for the proper identification of all developments. Signage in these districts is subject only to the sign permit process.

1. All sections of this Article not otherwise replaced by the subsections below shall apply.
2. Permitted Sign Types
 - a. Residential Monument Entrance Signs - One (1) residential entrance sign shall be permitted in the Union Commercial (UC), Union Town Center (UTC), Union Neighborhood Office (UNO) and the Union Town Overlay (UTO) districts at the major entry points to any residential development that involves the development of ten (10) dwelling units or more.
 - i. Display - Seventy-five percent (75%) or more of the sign area shall display the name of the residential subdivision. No greater than twenty-five percent (25%) of the sign area can identify individual home builders or Realtors.
 - ii. Construction - Monument style with a brick and/or stone base.
 - iii. Size - Fifty (50) square feet or split into two (2) signs at a maximum size of twenty-five (25) square feet each. The sign is encouraged to have additional brick and/or stone surrounding the sign area.
 - iv. Height - Six (6) feet from the ground to top of the sign. Any additional brick or stone areas can be higher.
 - v. Location - Sign must be located outside of any vehicular sight triangle and at least five (5) feet from any property line. Signs must be located in a landscaped planting area.

- b. Business Monument Entrance Signs - One (1) business entrance sign shall be permitted in the UNO, UTC and UC zone districts at the major entry points to any commercial, office or related development. Individual offices or businesses are not permitted a business monument entrance sign.
 - i. Display - Fifty percent (50%) or more of the sign area shall display the name of the development. No greater than fifty (50%) of the sign area can identify individual tenants or out-lot tenants of the development.
 - ii. Construction - Monument style with a brick or stone base.
 - iii. Size - Sixty (60) square feet or split into two (2) signs at a maximum size of thirty (30) square feet each.
 - iv. Height - Six (6) feet high from ground to top of sign which includes the base and additional brick, stone or masonry areas.
 - v. Location - Sign must be located outside of any vehicular sight triangle and at least five (5) feet from any property line. Signs must be located in a landscaped planting area.
- c. Monument Identification Signs - Individual businesses, offices, places of worship, schools, civic associations, libraries, museums, social clubs, societies or related uses excluding residential uses shall be permitted in the UC, UTC, UNO, and UTO zone districts.
 - i. Display - No greater than thirty (30) percent of the sign area can be a manual, changeable, display area to identify seasonal events, specials, and sales. This type of signage is intended to take the place of Temporary Advertising Display permits.
 - ii. Construction - Monument style with a brick or stone base.
 - iii. Size - Forty-eight (48) square feet.
 - iv. Height - Six (6) feet from the ground to top of sign which includes the base and additional brick or stone areas.
 - v. Location - Sign must be located outside of any vehicular sight triangle and at least five (5) feet from any property line. Signs must be located in a landscaped planting area.
- d. Off-Premise Monument Community Signs - One (1) off-premise community sign shall be permitted in the UC, UTC, and UNO zone districts at each corner of a street intersection which includes at least one (1) arterial or collector street for a maximum of four (4) such signs per intersection. Off-premise monument community signs shall be used to identify residential subdivisions and not be used to identify commercial, office or related uses.
 - i. Display - The subdivision for which the sign identifies must be located within a distance of 1,000 feet from the sign. The sign area shall display the name of the subdivision only. Each sign can display the names of no more than four (4) subdivisions.
 - ii. Construction - Monument style with a brick or stone base.

- iii. Size - Twenty-four (24) square.
 - iv. Height - Four (4) feet from ground to top of sign which does not include the base and additional brick, stone or masonry areas.
 - v. Location - Sign must be located outside of any vehicular sight triangle and at least two (2) feet from any property line. Signs must be located in a landscaped planting area.
 - e. Building Mounted Signs - Building mounted signs shall be permitted for commercial, office and similar uses in the UTC, UNO and UC zone districts. One (1) building mounted sign is permitted for each building facade for a total of three (3) signs. Buildings that contain more than one tenant are permitted one (1) sign for each tenant. (1) Size - Twenty-four (24) square feet. (2) Height - Individual letters shall not exceed twenty-four (24) inches in height.
 - f. Projecting Signs - are permitted in place of any building mounted sign.
 - g. Canopy Signs shall conform to Section 3408.2.
 - h. Sandwich Board/A-frame Signs - one sign per establishment is permitted in the UTC and UC zoning districts to identify temporary events, such daily lunch specials, sales, gatherings, etc. This type of sign is intended to take the place of Temporary Advertising Display Permits.
 - i. Size - Twenty-four (24) inches wide by thirty-six (36) inches high.
 - ii. Location - on premises, within twenty (20) feet of the business for which it advertises, and not to impede pedestrian circulation.
 - iii. Configuration - placed on the ground, not mounted on a pole or raised off the ground.
3. Additional Standards
- a. Illumination - If a sign is to be illuminated, it shall be externally illuminated by a source that is concealed from public view. In the UNO and UC districts only, internally illuminated channel letters are also permitted for building mounted signs.
 - b. Color - All signs shall contain a maximum of three (3) colors.
- B. The submitted application provides for numerous deviations from these regulations (see attachments).

STAFF ISSUES

- A. Rather than outline all of the proposed deviations, the following represents issues that staff has identified:
- 1. Lot 1
 - a. The submitted proposal would allow several signs which would wrap around the bollards in the parking lot, each being 3.6 square feet in size.

The applicant should address how these signs would be compatible with an upscale development.

2. Lot 2

- a. The submitted proposal indicates a “Pick-Up” building mounted sign on the north building façade. However, the size of this sign is not defined. The applicant should address the maximum size of this sign.
- b. The submitted proposal provides for a monument sign. However, one drawing shows the height of this sign as 6’-4” and another drawing shows the height as 8’-10”. The applicant should address which height is actually being proposed.

3. Children’s Hospital Lot

- a. The submitted proposal provides for a 20’-0” tall, 125 square foot, off-site monument sign. The applicant should address the need for such a sign.
- b. The submitted proposal indicates that there will be three (3) monument signs, where one (1) is allowed.

(1) Two (2) of these signs are 5’-5” tall with a sign area of 27.25 square feet.

(2) One of these signs is 5’-9” tall with a sign area of 50.53 square feet.

The applicant should address the need for such signs.

4. Attached Single-Family lot

- a. The submitted proposal provides for a 7’-2” tall, 8 square foot, monument sign, having a stone veneer base.

The applicant should address the need for the height of the sign.

5. Multi-Family Lot

- a. The submitted proposal provides for:

(1) Two (2), 8’-0” tall, 22’-0” wide entrance signs having a sign area of 42 square feet.

(2) One (1), 7’-0” tall, 15’-0” wide entrance sign having a sign area of 30 square feet.

The applicant should address the need for such signs.

CONCLUSION

This request needs to be evaluated by the Boone County Planning Commission and

Union City Commission in terms of the criteria necessary for approving a Special Sign District, as outlined in Section 3410.C of the zoning regulations.

Respectfully submitted,



Michael D. Schwartz
Planner

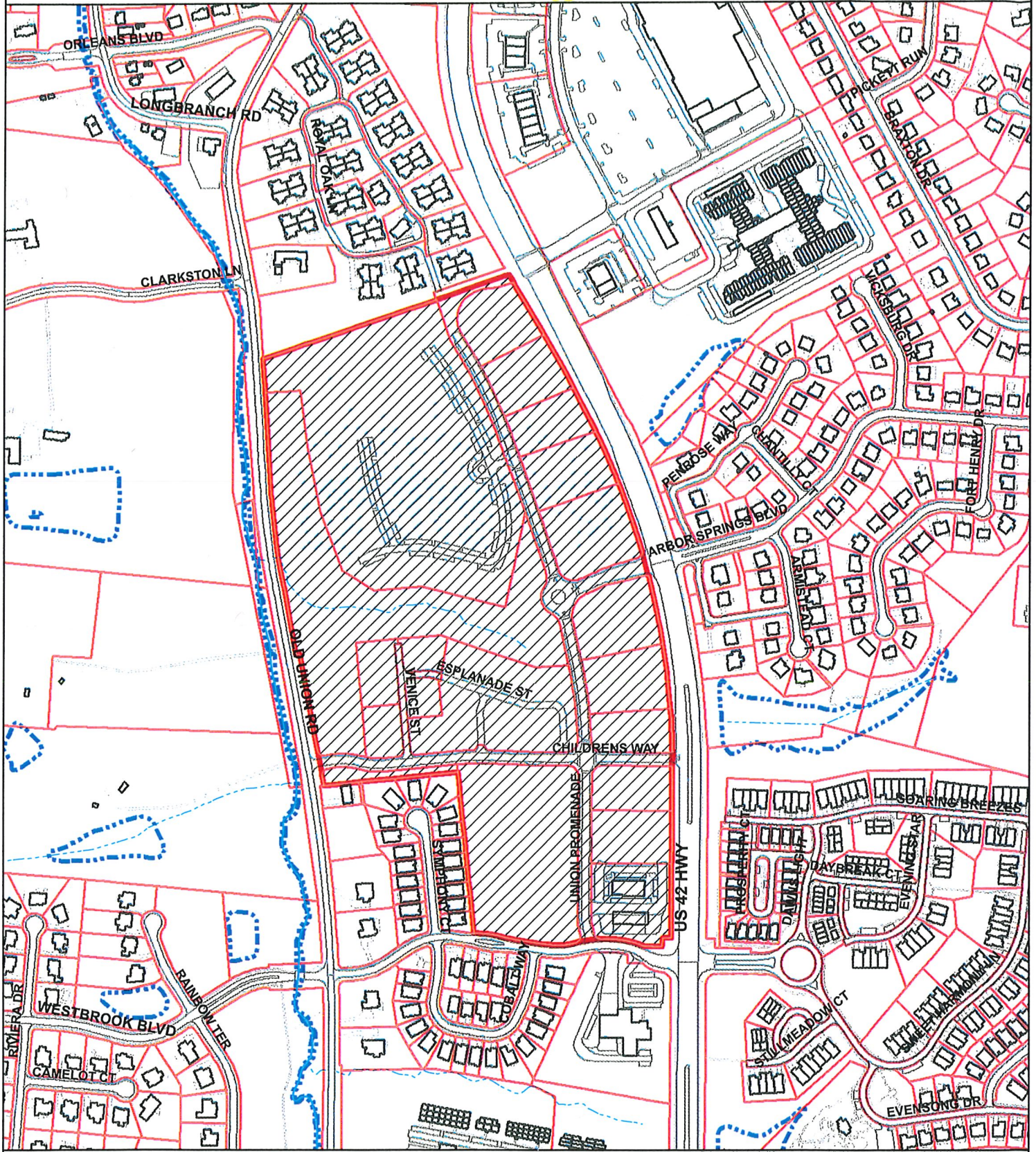
MDS/ss

Attachments:

- *Vicinity Map
- *Zoning Map
- *2040 Future Land Use Map
- *Application
- *Proposed Sign Details

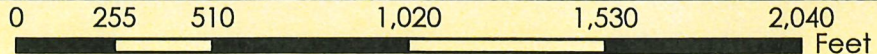
Vicinity Map

www.boonecountygis.com



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1 inch = 500 feet

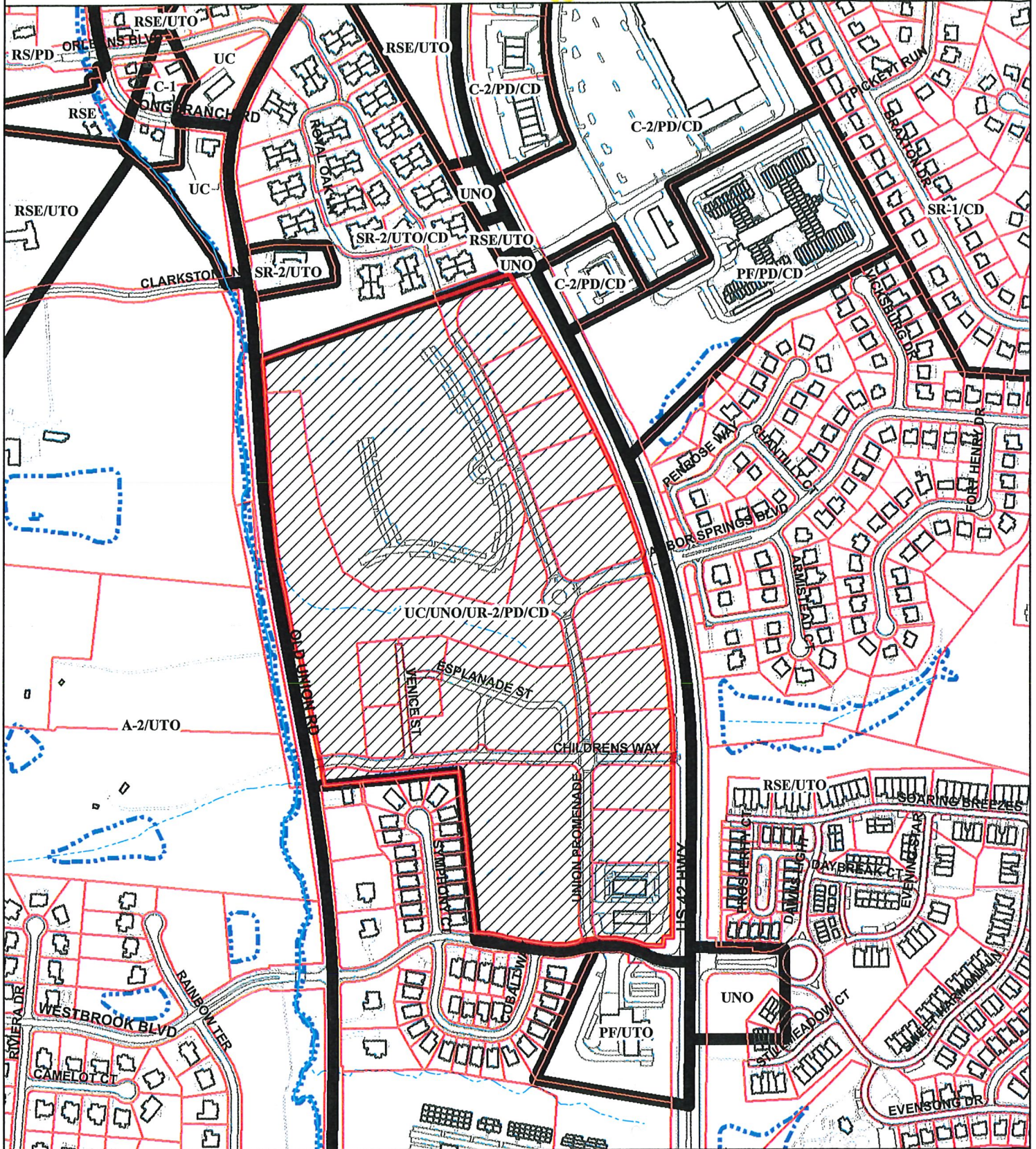


Boone County GIS - Putting Northern Kentucky on the Map



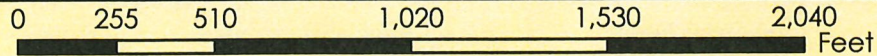
Zoning Map

www.boonecountygis.com



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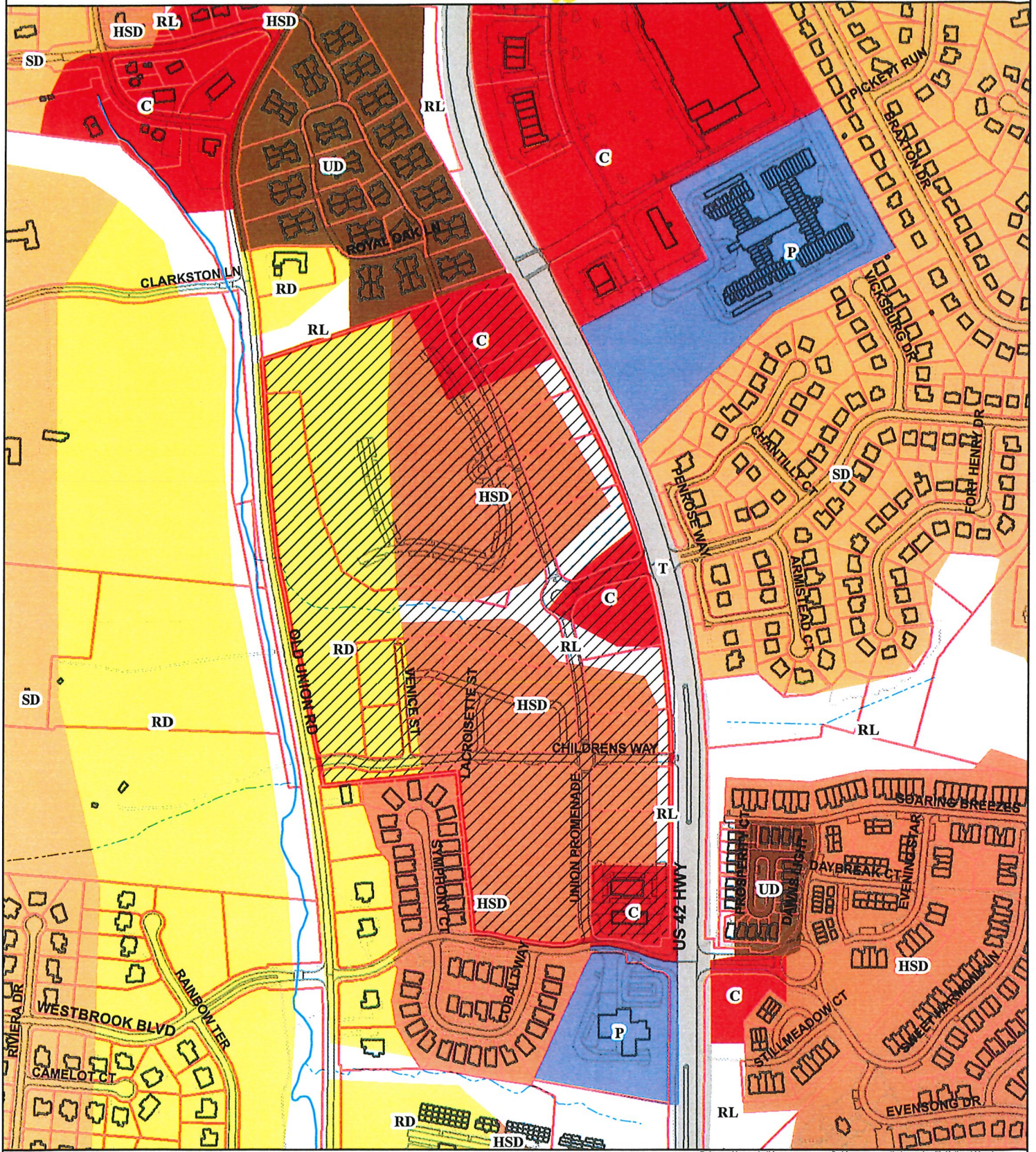
1 inch = 500 feet

Boone County GIS - Putting Northern Kentucky on the Map



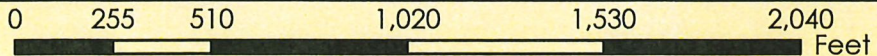
2040 Future Land Use Map

www.boonecountygis.com



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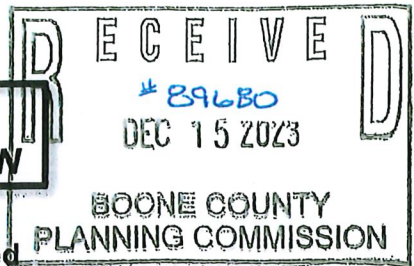
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Boone County GIS - Putting Northern Kentucky on the Map



**ZONING MAP AMENDMENT
BOONE COUNTY PLANNING COMMISSION**



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An application consists of all fees paid in full, submitted drawings, and a completed application form

SECTION A: (To be completed by applicant)

1. Name of Project: Union Promenade
2. Location of Project: US 42/Sweet Harmony/Fowlers Creek Lane
3. Total Acreage of Project: 68.42 ~~62~~ acres
4. Current Zoning of Property: UC/PD/CD
5. Proposed Zoning of Property (classification being requested): Special Signage District
6. Proposed Use(s) (specify each use):

7. Proposed Building Intensities (specify for each building):

8. Are you applying for any of the following (check all that apply):
 Conditional Use Permit Variance
9. Current Owner: City of Union
Address: 1843 Bristol
Union KY 41091
City State Zip Code
Phone Number: 859-384-1511 Fax Number: _____
Email: _____
10. Applicant: 9541 US 42 LLC
Address: 4010 North Bend Road, Suite 301
Cincinnati OH 45211
City State Zip Code
Phone Number: 513-662-3111 Fax Number: _____
Email: tja@meierjohanbuildinggroup.com
11. Are there any existing buildings on the site: Yes No
If yes, indicate how many: _____

1191/468

1202/549

1204/621

1191/453

2047

12.	Deed Book	Page Number	Group Number
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13. Have you had a pre-application meeting with the BCPC staff: Yes No

14. Have you submitted a Concept Development Plan: Yes No

15. Have you met or discussed your proposed development with any of the following organizations/agencies (check all that apply):

- | | |
|---|---|
| <input type="checkbox"/> Boone County Building Department | <input type="checkbox"/> Local Fire District |
| <input type="checkbox"/> Boone County Public Works Department | <input type="checkbox"/> Local School District |
| <input type="checkbox"/> Boone County Water District | <input type="checkbox"/> Northern Kentucky Health Department |
| <input type="checkbox"/> Cincinnati Bell | <input type="checkbox"/> Owen Cooperative Electric, Inc. |
| <input type="checkbox"/> Cincinnati/Northern Kentucky International Airport (Kentucky Airport Zoning Commission for height restrictions near the airport) | <input type="checkbox"/> Sanitation District No. 1 |
| <input type="checkbox"/> Duke Energy | <input type="checkbox"/> USDA NRCS/Boone County Conservation District |
| <input type="checkbox"/> Florence Public Services Department | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Kentucky Division of Water | |
| <input type="checkbox"/> Kentucky Transportation Cabinet | |

16. Concept Development Plan Jurisdiction/Location (check all that apply):
 Unincorporated Boone Florence Walton Union

17. Waiver of 60 Day Time Requirement by Originator for Final Planning Commission Action:

In accordance with the provisions of KRS 100.211, the applicant(s) and property owner(s) or originator(s) hereby waive the 60 day time limit for the Boone County Planning Commission to take final action on my (our) Zoning Map Amendment/Concept Development Plan application. This time limit waiver is considered effective immediately upon receipt by the Boone County Planning Commission and expires on MARCH 21st, 2024

Property Owner's Signature: *

[Handwritten Signature] MAYOR

Applicant's Signature:

[Handwritten Signature] MANAGING MEMBER, 9541 US 42 LLC

[Handwritten initials]

The city is signing this application pursuant to its contractual obligation, in no event should the city's action be construed as an endorsement of the applicant's request and the city reserves the right to appeal any determination of the planning commission.

**ZONING MAP AMENDMENT
BOONE COUNTY PLANNING COMMISSION**

RECEIVED
#89680
DEC 15 2023
BOONE COUNTY
PLANNING COMMISSION

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- 6. Proposed Use(s) (specify each use):

- 7. Proposed Building Intensities (specify for each building):

- 8. Are you applying for any of the following (check all that apply):
 Conditional Use Permit Variance
- 9. Current Owner: Children's Hospital Medical Center
Address: 3333 Burnet Ave, ML 8000, Attn: Real Estate
Cincinnati OH 45229
City State Zip Code
Phone Number: 513-803-2027 Fax Number: _____
Email: maura.moran@cchmc.org
- 10. Applicant: 9541 US 42 LLC
Address: 4010 North Bend Road, Suite 301
Cincinnati OH 45211
City State Zip Code
Phone Number: 513-662-3111 Fax Number: _____
Email: tja@meierjohanbuildinggroup.com
- 11. Are there any existing buildings on the site: Yes No
If yes, indicate how many: _____

SECTION B: (To be completed by Planning Commission staff)

1. Date Received: 12/15/23 Fee Received: 3684.40 Receipt #: 89680
2. Number of Copies Received: _____
3. Has the following been submitted (check all that apply):
 - Completed Application
 - Concept Development Plan
 - Legal Description
 - Names and Mailing Addresses of Adjacent Property Owners
4. Date the application is Administratively Complete (as defined in KRS 100.211): _____
5. Staff Reviewer: _____
6. Committee Chairperson: _____
7. Scheduled Public Hearing Date: _____
8. Boone County Planning Commission Action: _____ Date of Action: _____
 - _____ Approved
 - _____ Approved with Conditions
 - _____ Denial
 - _____ Other
9. Resolution Number: _____

Boone County Planning Commission
Boone County Administration Building
2950 Washington Street, Room 317
P.O. Box 958
Burlington, Kentucky 41005
Phone: 859-334-2196 Fax: 859-334-2264
plancom@boonecountyky.org
www.boonecountyky.org

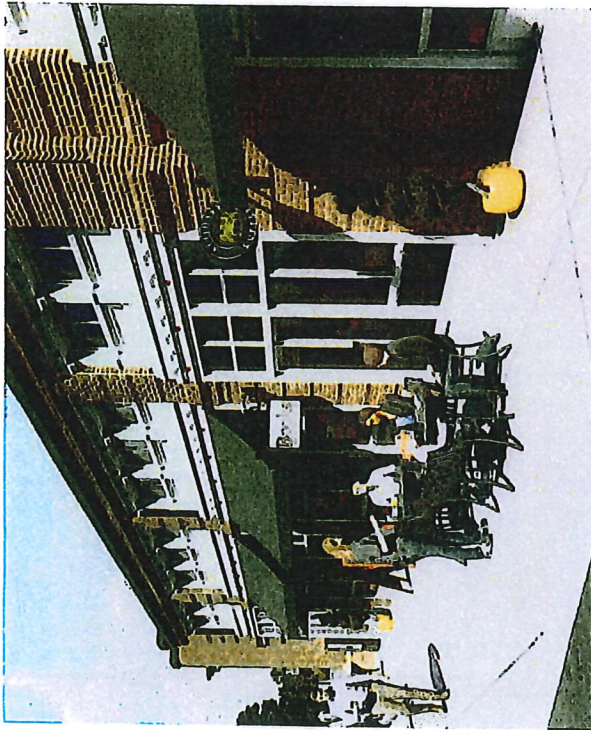
Union Promenade Special Sign District

- A. All sections of Article 34 not otherwise replaced by this document shall apply.
- B. The text of this document shall be met, unless the attached drawings specifically provide otherwise.
- C. Permitted Sign Types:
 - 1. Residential Entrance Signs
 - a. Construction – Monument with brick and/or stone base
 - b. Size – Fifty (50) square feet or split into two (2) signs at a maximum size of twenty-five (25) square feet each
 - c. Height – Eleven (11) feet
 - d. Number – One (1) sign at each entrance to the development
 - e. Illumination – If illuminated, shall only be from an internal light source
 - f. Limitations
 - (1) Box, panel, or cabinet signs shall be prohibited
 - 2. Business Entrance Signs
 - a. Construction – Monument with brick and/or stone base
 - b. Size – Fifty (50) square feet or split into two (2) signs at a maximum size of twenty-five (25) square feet each
 - c. Height – Eleven (11) feet
 - d. Number – One (1) sign at each entrance to the development
 - e. Illumination – If illuminated, shall only be from an internal light source
 - f. Limitations
 - (1) Shall only identify the name of the Union Promenade development and shall not contain any message that pertains to an individual business within the overall development
 - (1) Box, panel, or cabinet signs shall be prohibited
 - 3. Site Identification Signs
 - a. Construction – Monument with brick and/or stone base
 - b. Size – Seventy-five (75) square feet
 - c. Height – Eleven (11) feet
 - d. Number – One (1) sign for each retail/service/office development
 - e. Illumination – If illuminated, shall only be from an internal light source
 - 4. Building Mounted Signs
 - a. Size – Two (2) square feet of sign area per lineal foot of building width for the elevation upon which the sign is to be mounted, or in multi-tenant buildings, the width of the portion of the building frontage occupied by an individual business.
 - b. Number

- (1) On single-tenant buildings, signs shall be allowed on no more than three (3) facades of a building
- (2) On multi-tenant buildings, signs shall be allowed on no more than four (4) facades of a building

c. Illumination - If illuminated, shall only be from an internal light source
d. Limitations

- (1) Box, panel, or cabinet signs shall be prohibited

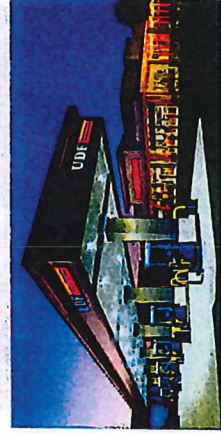


**HEARTH HOME**
COMMUNITIES

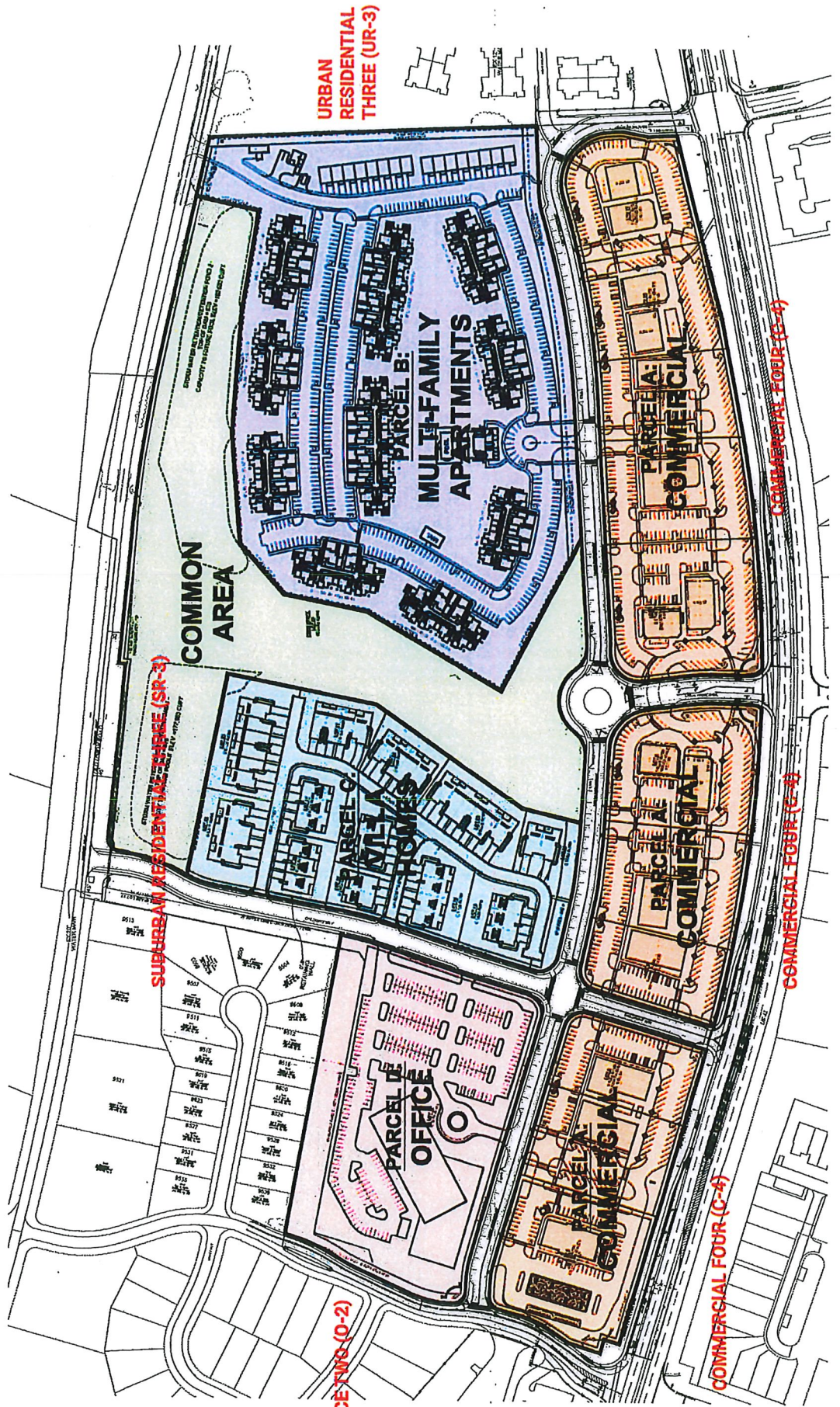
Union Promenade

Zoning Signage Submittal

December 5, 2023



Union Promenade | Overall District Plan



VICINITY MAP



PROJECT NARRATIVE:

The design is based on a site analysis of the project area. The design is based on a site analysis of the project area. The design is based on a site analysis of the project area.

SYMBOL KEY:

Table with 2 columns: Symbol and Description. Includes symbols for Survey Station, Elevation, Spot Elevation, etc.

DEBRIEFS SUBMITTALS: 1. ALL INFORMATION MUST BE SUBMITTED TO THE ARCHITECT IN WRITING. 2. ALL INFORMATION MUST BE SUBMITTED TO THE ARCHITECT IN WRITING.

UNION PROMENADE ENTRY SIGNAGE
UNION, BOONE COUNTY, KENTUCKY

Professional seals and logos for Union Promenade Club Apartments LLC, PK Architecture, SCA Consulting Engineers, J & C Consulting Engineers, and Vox & Vox.

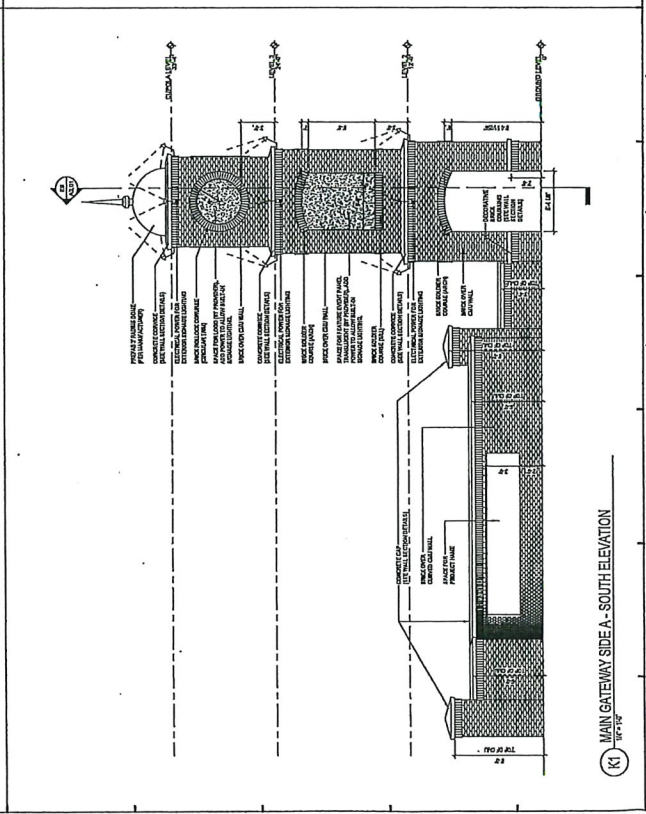
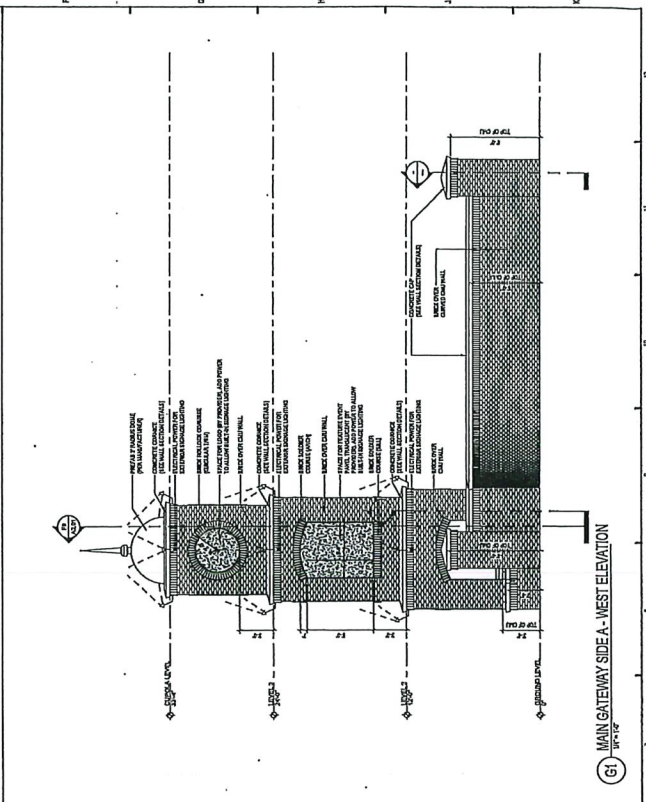
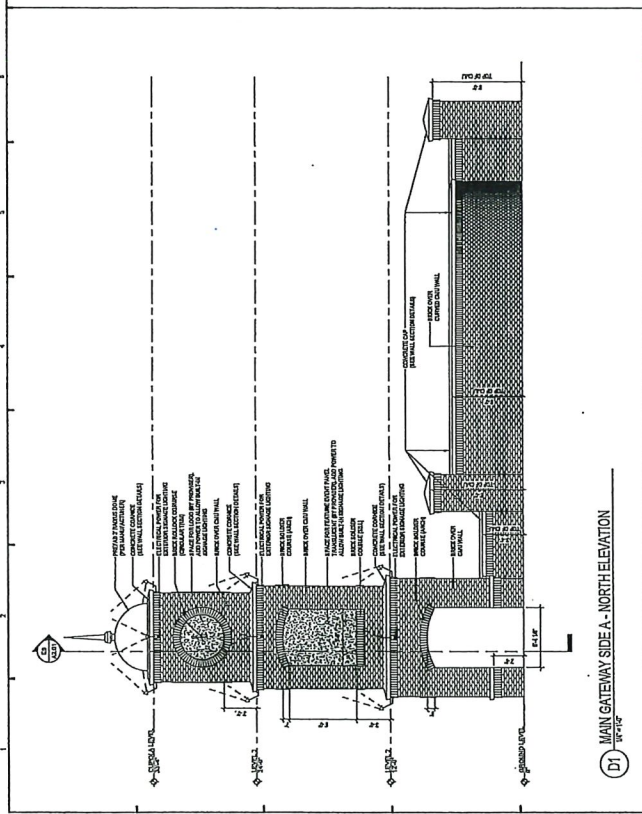
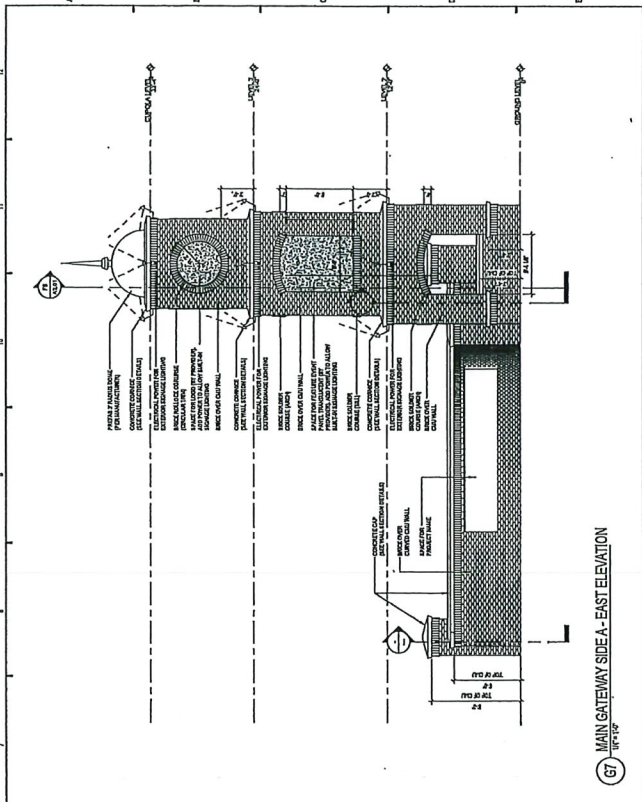
INDEX OF DRAWINGS table with columns: NO. OF SHEETS, SHEET NAME, REV. AND DATE.

REVISION HISTORY table with columns: NO., DESCRIPTION, DATE.

Project information including Union Promenade Entry Signage, Union, Boone County, Kentucky, and A0.01.

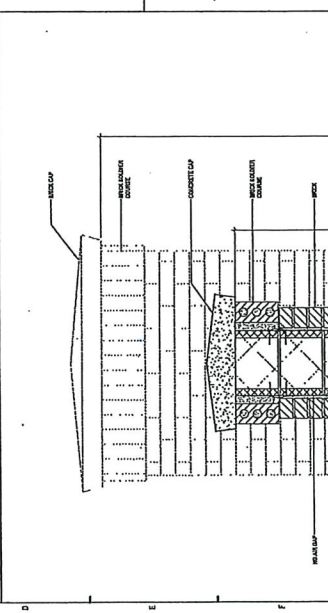
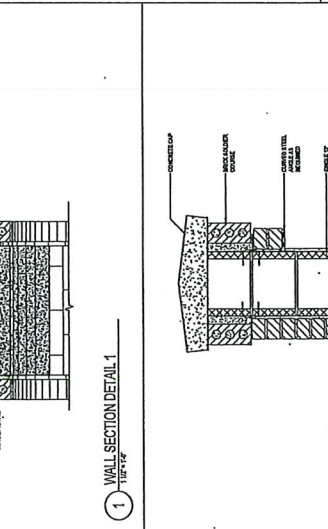
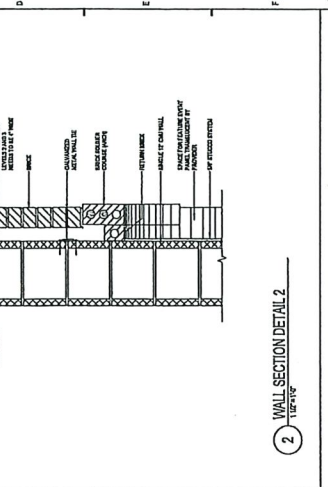
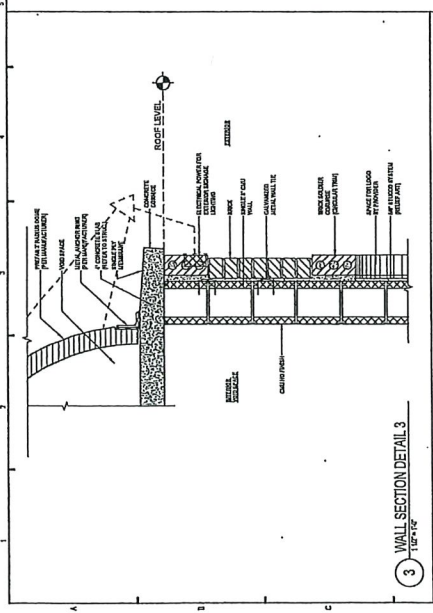
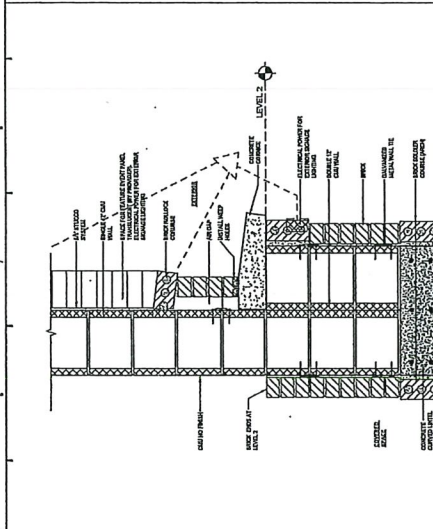
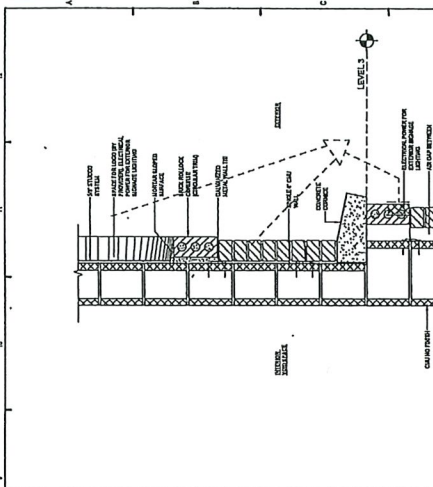
ELEVATION KEY NOTES:

1. FINISHES TO BE SHOWN IN SECTION.
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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48. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
49. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
50. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.



ISSUE HISTORY:

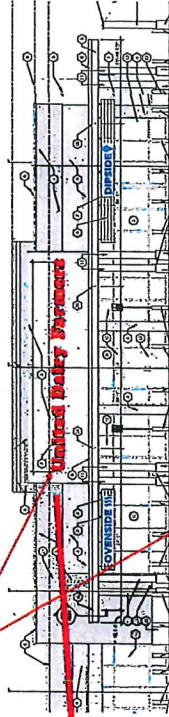
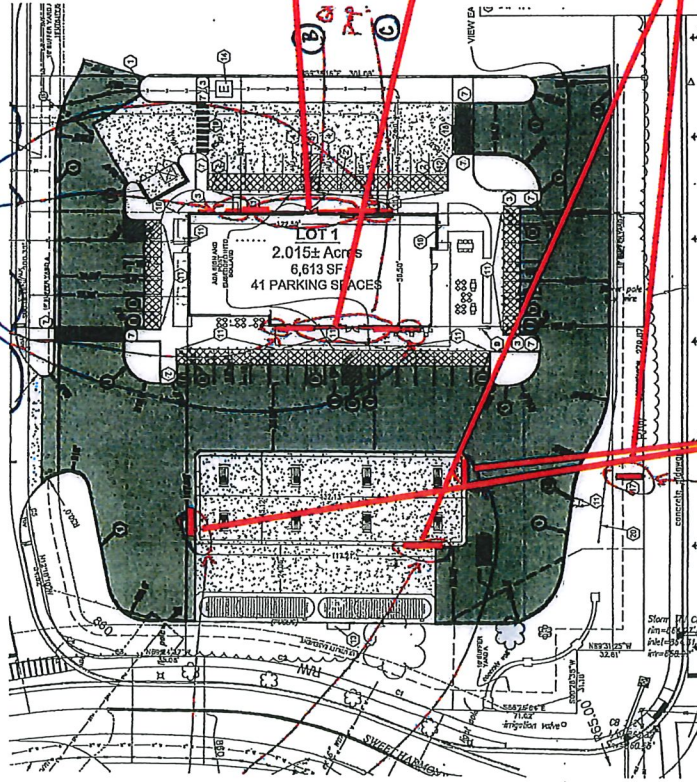
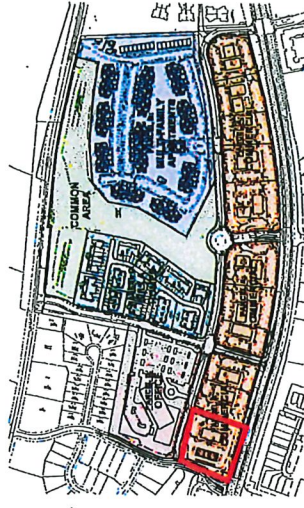
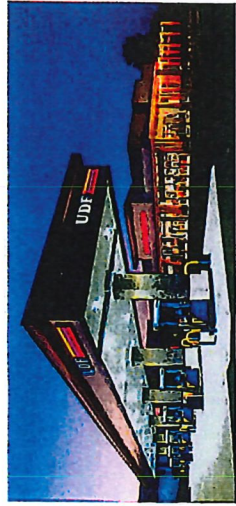
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5	02/10/11	ISSUED FOR PERMITTING
6	03/10/11	ISSUED FOR PERMITTING
7	04/10/11	ISSUED FOR PERMITTING
8	05/10/11	ISSUED FOR PERMITTING
9	06/10/11	ISSUED FOR PERMITTING
10	07/10/11	ISSUED FOR PERMITTING
11	08/10/11	ISSUED FOR PERMITTING
12	09/10/11	ISSUED FOR PERMITTING
13	10/10/11	ISSUED FOR PERMITTING
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18	03/10/12	ISSUED FOR PERMITTING
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20	05/10/12	ISSUED FOR PERMITTING
21	06/10/12	ISSUED FOR PERMITTING
22	07/10/12	ISSUED FOR PERMITTING
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100	01/10/19	ISSUED FOR PERMITTING



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3	01/15/2014	ISSUE FOR PERMIT
4	01/15/2014	ISSUE FOR PERMIT
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6	01/15/2014	ISSUE FOR PERMIT

Union Promenade | Commercial Four (C-4)

Lot 1 - UDF Store



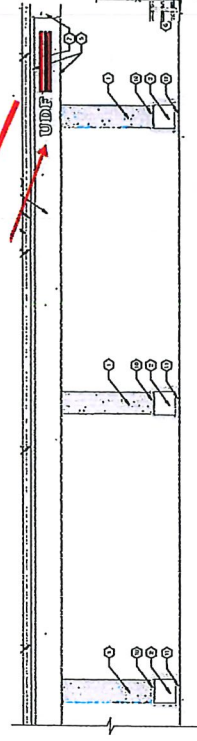
Section 3408.1 Building Mounted Signs

Section 3409 Temporary Advertising

Section 3408.1 Building Mounted Signs

Section 3409 Temporary Advertising

Section 3408.1 Building Mounted Signs



Section 3409 Temporary Advertising

Section 3408.2 Canopy Signs

Section 3408.6 Free Standing Signs

COLOR NOTE: THE LETTERS ARE TO HAVE BLACK RETURNS WITH BLACK TRIM CAP

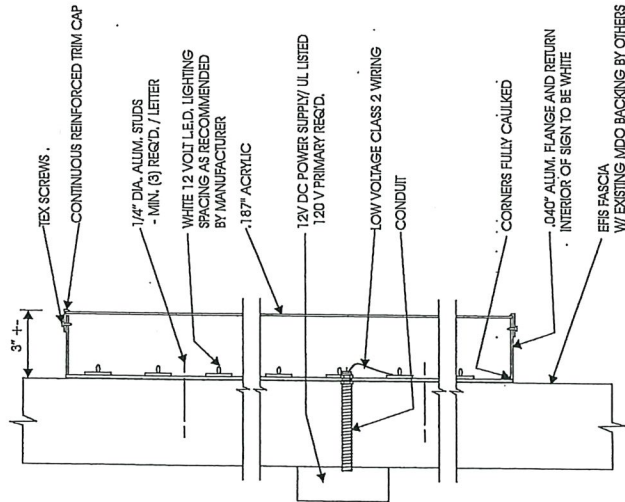
30'-0"

UDF STOREFRONT ENTRY WALL SIGN
INDIVIDUAL LETTERS
SIGN AREA = 55 SQ. FT.
(2) RECID.

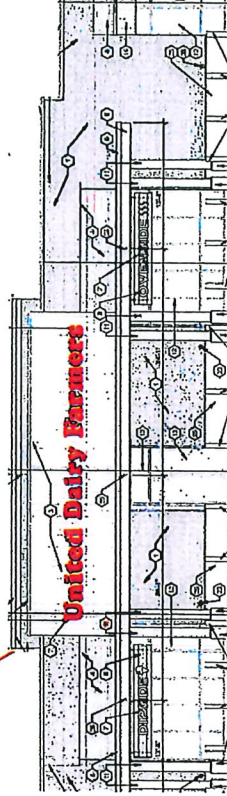
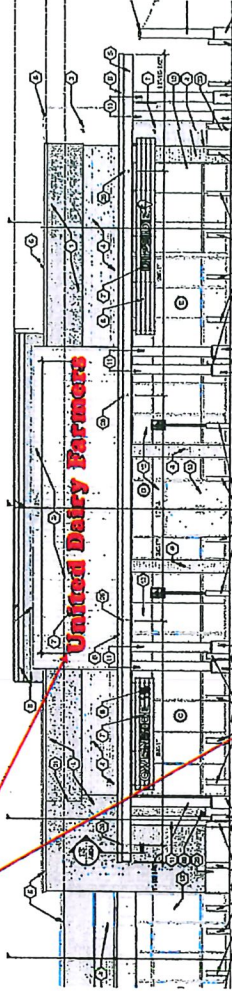
United Dairy Farmers

PROPOSED SIGN ELEVATION
SCALE: 3/16" = 1'-0"

PROPOSED SIGNS
(2) LTR



VERTICAL SECTION (THRU LETTERS)
SCALE: 1/4" = 1'-0"



SPECIFICATIONS

- 1) ALL ELECTRICAL WORK, DESIGN AND INSTALLATION MUST BE IN COMPLIANCE WITH THE 2017 NEC-NFPA 70 PER SECTION 2703.01 2018 KGC
- 2) SIGNS SHALL BE LISTED AND INSTALLED IN CONFORMANCE WITH 2017 NEC-NFPA 70 PER SECTION 6003.3
- 3) SIGN SHALL BEAR THE MANUFACTURER'S MARKINGS (HLS) AND SHALL BE MAINTAINED BY HLS
- 4) ACRYLIC FACES SHALL CONFORM TO ASTM D635 SPECIFICATIONS
- 5) PROPOSED SIGN LETTER WT < 5#
- 6) ALL EXPOSED METAL NON-PLATED SURFACES TO BE FINISHED W/ CATALYZED ACRYLIC POLYURETHANE ENAMEL PAINT.
- 7) GRAPHIC LAYOUT & COLORS PER CUSTOMER SPECS.
- 8) ALUMINUM SHEET SHALL BE 5052 ALLOY
- 9) ALL WELDS SHALL BE MADE WITH ALLOY 4043 FILLER

DESIGN LOADS

2018 KGC (SECTION 107.1)
BASIC WIND SPEED (3 SECOND GUST) = 115 MPH
WIND EXPOSURE C
DESIGN WIND PRESSURE = 25.3 PSF
WIND LOADS CONTROL DESIGN OVER SEISMIC LOADS



APPROVED BY:

SCALE: NOTED

DATE: 10-6-22

DRAWN BY: Rct

REVISED:

PROPOSED WALL SIGN
(ON STOREFRONT ELEVATION)

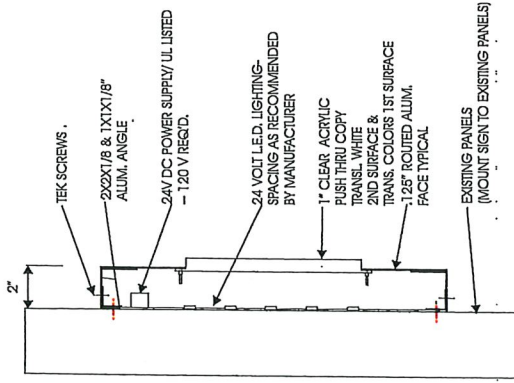
DRAWING NUMBER
0371-2

UNITED DAIRY FARMERS
RT 42 & SWEET HARMONY LANE UNION KY

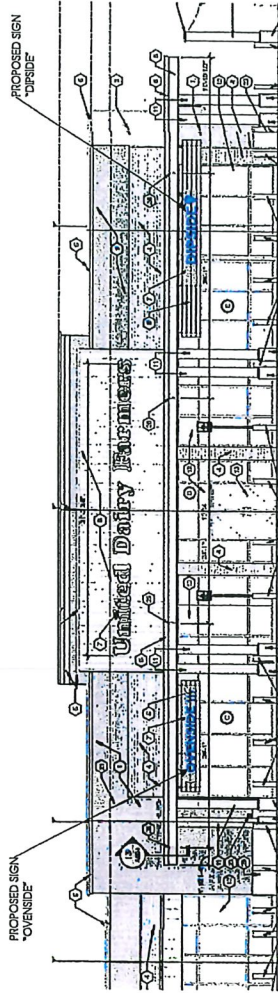


SIGN ELEVATION
SCALE: 3/8" = 1'-0"

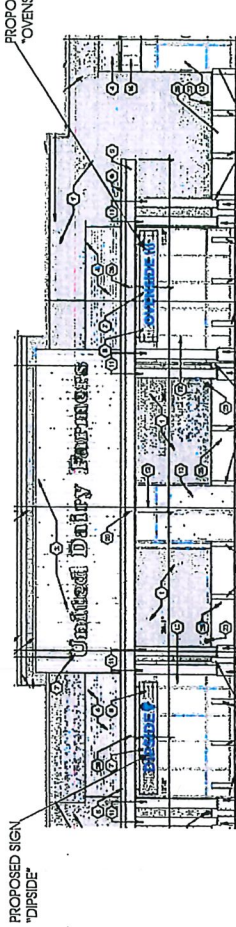
SIGN ELEVATION
SCALE: 3/8" = 1'-0"



SECTION THROUGH SIGN
SCALE: NTS



PROPOSED BUILDING ELEVATION SOUTH
SCALE: NTS



PROPOSED BUILDING ELEVATION NORTH
SCALE: NTS

SPECIFICATIONS

- 1) ALL ELECTRICAL WORK DESIGN AND INSTALLATION MUST BE IN COMPLIANCE WITH THE 2017 NEC-NFPA 70 PER SECTION 2703.01 2018 KBC
- 2) SIGNS SHALL BE LISTED AND INSTALLED IN CONFORMANCE WITH 2017 NEC-NFPA 70 (PER SECTION 6003.3)
- 3) SIGN SHALL BEAR THE MANUFACTURER'S MARKINGS (HLS) AND SHALL BE MAINTAINED BY HLS
- 4) ACRYLIC FACES SHALL CONFORM TO ASTM D685 SPECIFICATIONS
- 5) PROPOSED SIGN WT. = <150#
- 6) ALL EXPOSED METAL NON-PAINTED SURFACES TO BE FINISHED W/ CATALYZED ACRYLIC POLYURETHANE ENAMEL PAINT.
- 7) GRAPHIC LAYOUT & COLORS PER CUSTOMER SPEC'S.
- 8) ALUMINUM SHEET SHALL BE 5052 ALLOY
- 9) ALL WELDS SHALL BE MADE WITH ALLOY 4043 FILLER

DESIGN LOADS

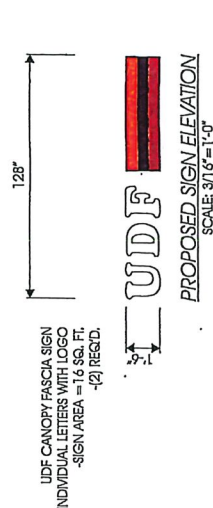
2017 ORC
BASIC WIND SPEED (3 SECOND GUST) = 115 MPH
WIND EXPOSURE C
DESIGN WIND PRESSURE = 25.3 PSF
WIND LOADS CONTROL DESIGN OVER SEISMIC LOADS



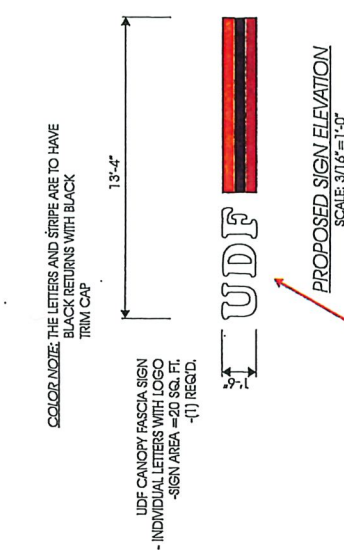
SCALE: NOTED
DATE: 7-27-23
APPROVED BY: [Signature]
DRAWN BY: RCT
REVISIONS: 9-25-23

PROPOSED WALL SIGNS
(ON EXISTING TRELLIS)

UNITED DAIRY FARMERS
RT 42 & SWEET HARMONY LANE UNION KY
DRAWING NUMBER
0371-4

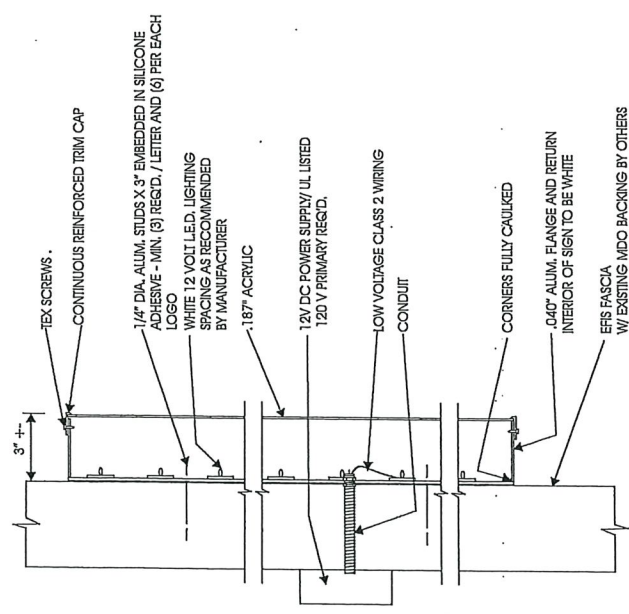


UDF CANOPY FASCIA SIGN
- INDIVIDUAL LETTERS WITH LOGO
- SIGN AREA = 16 SQ. FT.
- (2) REQ'D.

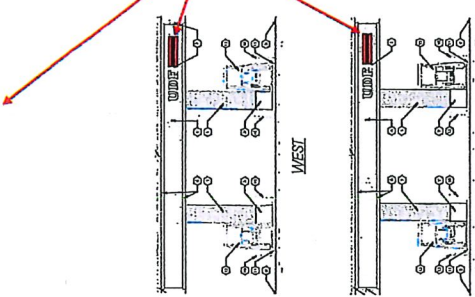


UDF CANOPY FASCIA SIGN
- INDIVIDUAL LETTERS WITH LOGO
- SIGN AREA = 20 SQ. FT.
- (1) REQ'D.

COLOR NOTES: THE LETTERS AND STRIPE ARE TO HAVE
BLACK RETURNS WITH BLACK
TRIM CAP



VERTICAL SECTION (THRU LETTERS)
SCALE: 1/8" = 1'-0"



PROPOSED SIGN ELEVATION
SCALE: 3/16" = 1'-0"

PROPOSED SIGN ELEVATION
SCALE: 3/16" = 1'-0"

PROPOSED SIGN
(1) REQ'D. TYPE
ON CANOPY

PROPOSED SIGN
(2) REQ'D. TYPE

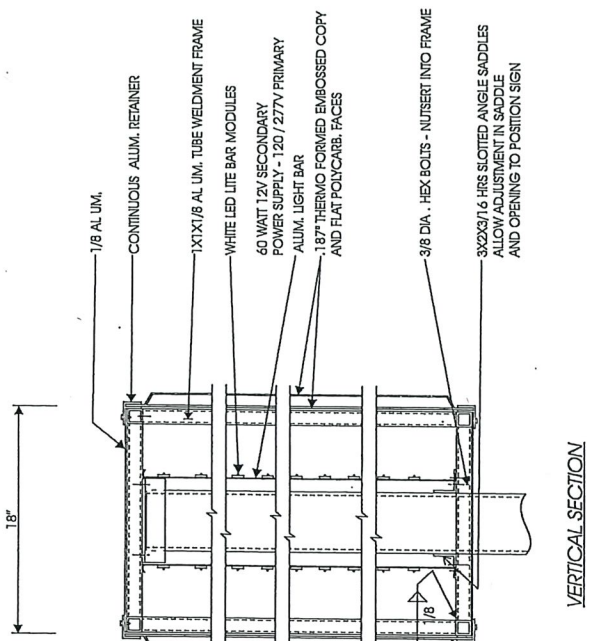
- SPECIFICATIONS**
- 1) ALL ELECTRICAL WORK, DESIGN AND INSTALLATION MUST BE IN COMPLIANCE WITH THE 2017 NEC-NFPA 70 PER SECTION 2703.01 2018 NEC
 - 2) SIGNS SHALL BE LISTED AND INSTALLED IN CONFORMANCE WITH 2017 NEC-NFPA 70 PER SECTION 6003.3
 - 3) SIGN SHALL BEAR THE MANUFACTURER'S MARKINGS (HLS) AND SHALL BE MAINTAINED BY HLS
 - 4) ACRYLIC FACES SHALL CONFORM TO ASTM D635 SPECIFICATIONS
 - 5) PROPOSED SIGN LETTER WT = < 5#
 - 6) ALL EXPOSED METAL UNPAINTED SURFACES TO BE FINISHED W/ CATALYZED ACRYLIC POLYURETHANE ENAMEL PAINT.
 - 7) GRAPHIC LAYOUT & COLORS PER CUSTOMER SPEC'S.
 - 8) ALUMINUM SHEET SHALL BE 5052 ALLOY
 - 9) ALL WELDS SHALL BE MADE WITH ALLOY 4043 FILLER

DESIGN LOADS

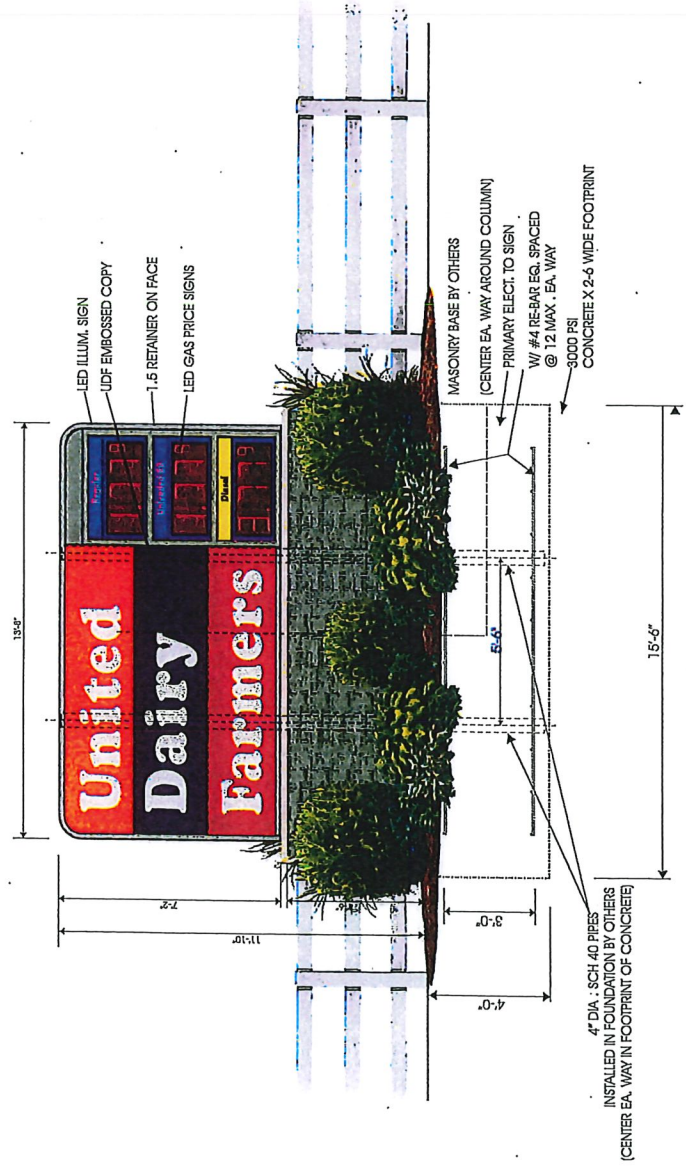
- 2018 IBC (SECTION 1.07.1)
BASIC WIND SPEED (3 SECOND GUST) = 115 MPH
WIND EXPOSURE C
DESIGN WIND PRESSURE = 25.3 PSF
WIND LOADS CONTROL DESIGN OVER SEISMIC LOADS



SCALE: NOTED	APPROVED BY:	DRAWN BY: RCT
DATE: 10-6-22		REVISED:
PROPOSED WALL SIGNS (ON CANOPY ELEVATIONS)		
UNITED DAIRY FARMERS RT 42 & SWEET HARMONY LANE UNION KY		DRAWING NUMBER 0371-3



VERTICAL SECTION



ELEVATION

SPECIFICATIONS

- 1) ALL ELECTRICAL WORK, DESIGN AND INSTALLATION MUST BE IN COMPLIANCE WITH THE 2017 NEC-NFPA 70 PER SECTION 2703.01 2018 NEC PER SECTION 2703.01 2018 NEC
- 2) SIGNS SHALL BE LISTED AND INSTALLED IN CONFORMANCE WITH 2017 NEC-NFPA 70 (PER SECTION 6003.3)
- 3) SIGN SHALL BEAR THE MANUFACTURER'S MARKINGS (HLS) AND SHALL BE MAINTAINED BY HLS
- 4) ACRYLIC FACES SHALL CONFORM TO ASTM D6655 SPECIFICATIONS
- 5) PROPOSED SIGN W/ - < 300#
- 6) ALL EXPOSED METAL NON-PLATED SURFACES TO BE FINISHED W/ CAPALYZED ACRYLIC POLYURETHANE ENAMEL PAINT.
- 7) GRAPHIC LAYOUT & COLORS PER CUSTOMER SPEC'S.
- 8) ALUMINUM SHEET SHALL BE 5052 ALLOY
- 9) ALL WELDS SHALL BE MADE WITH ALLOY 4043 FILLER
- 10) ALL BOLTS SHALL BE CONFORM TO ASTM A307, SAE J429 OR EQUAL.

DESIGN LOADS

- 2018 IBC (SECTION 107.1)
- WIND WIND SPEED (3 SECOND GUST) = 115 MPH
- WIND PRESSURE = 25.3 PSF
- DESIGN WIND PRESSURE = 25.3 PSF
- WIND LOADS CONTROL DESIGN OVER SEISMIC LOADS



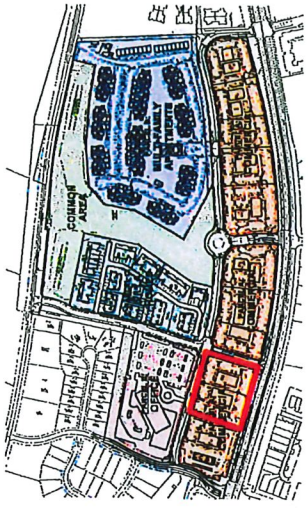
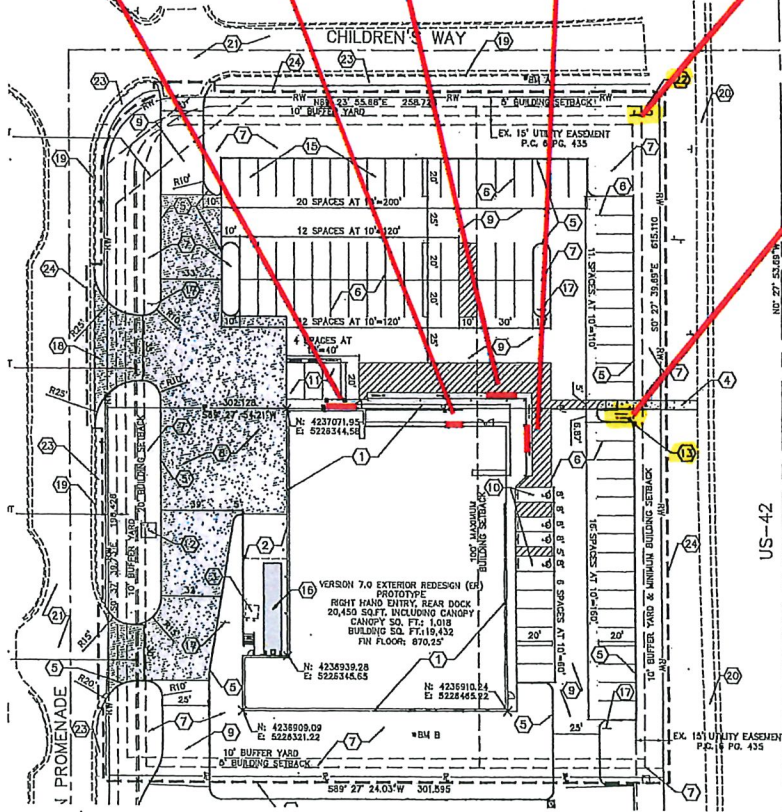
APPROVED BY: _____
DRAWN BY: Rct
REVISD

PROPOSED GROUND SIGN

UNITED DAIRY FARMERS
RT 42 & SWEET HARMONY LANE- UNION KY
DRAWING NUMBER
0371-1A

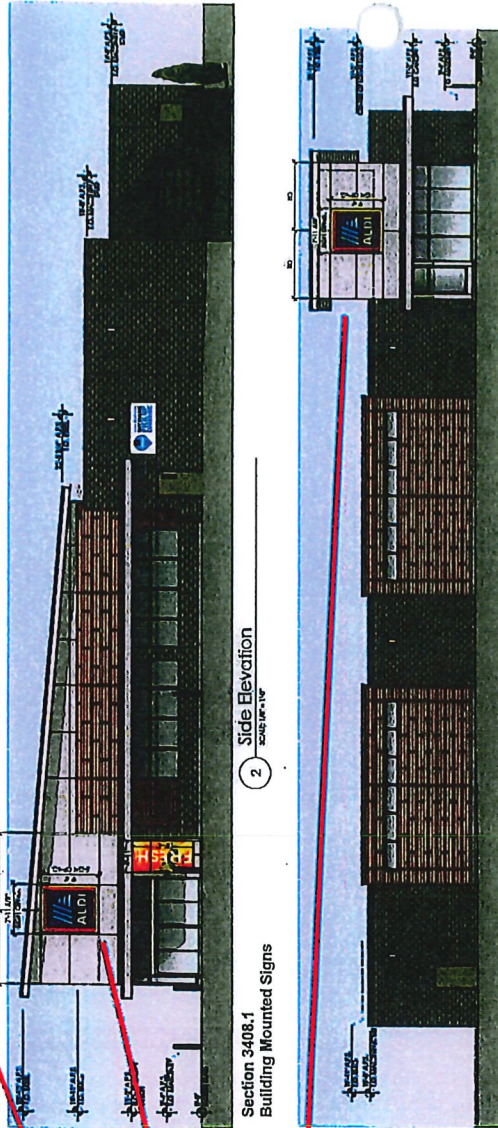
Union Promenade | Commercial Four (C-4)

Lot 2 & 3 - ALDI's Site



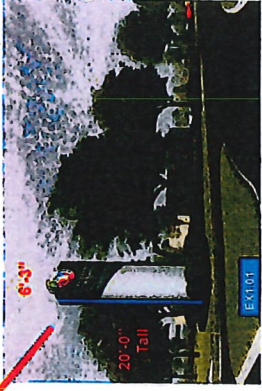
Section 3409
Temporary Advertising

Section 3409
Temporary Advertising



Section 3408.1
Building Mounted Signs

Section 3408.1
Building Mounted Signs



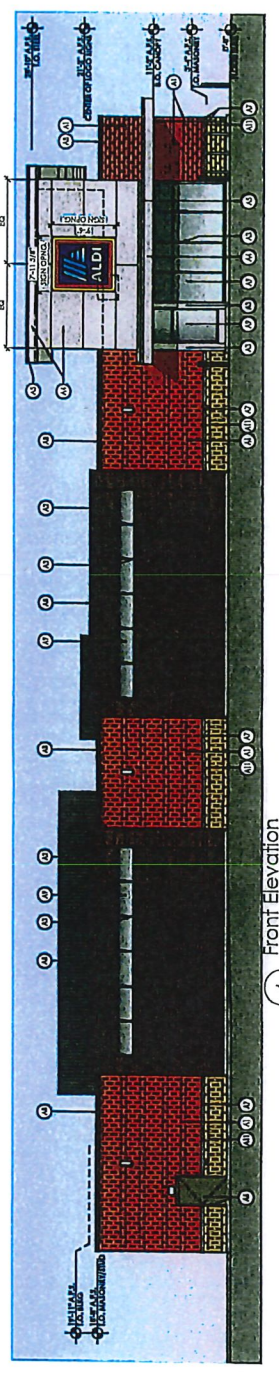
Section 3408.6 Free Standing Signs



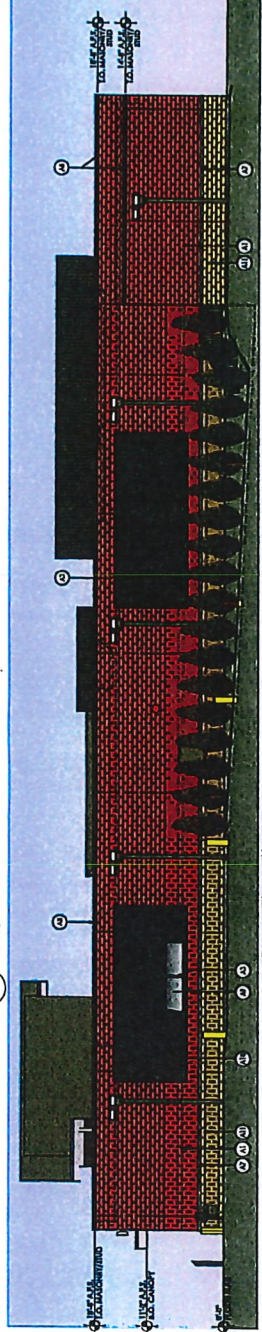
Section 3408.6 Free Standing Signs

The height of the base may increase due to the height of the fencing

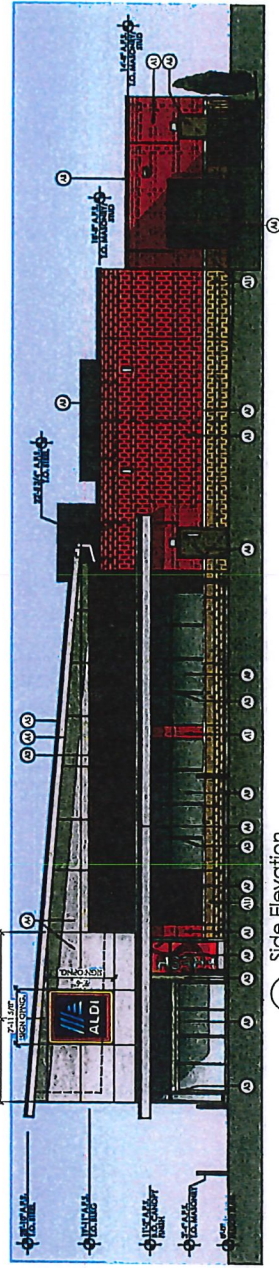
V7.0 ER PROTOTYPE - NOT FOR CONSTRUCTION



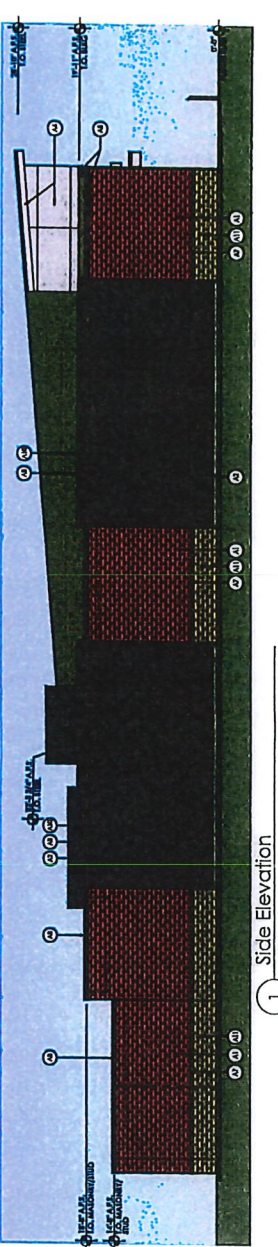
4 Front Elevation
SCALE: 1/8" = 1'-0"



3 Rear Elevation
SCALE: 1/8" = 1'-0"



2 Side Elevation
SCALE: 1/8" = 1'-0"



1 Side Elevation
SCALE: 1/8" = 1'-0"

ITEM	QUANTITY	LS. FT.	TOTAL
CONCRETE	2	74.0	148.0
BRICK	2	74.0	148.0
GLASS	2	74.0	148.0
METAL	2	74.0	148.0

MATERIAL LEGEND

- A1 CONCRETE - 4" THICK
- A2 BRICK - COMMON BRICK
- A3 ALUMINUM SIDING - CLEAR ANODIZED ALUMINUM
- A4 ALUMINUM SIDING - CLEAR ANODIZED ALUMINUM
- A5 BRICK - COMMON BRICK
- A6 BRICK - COMMON BRICK
- A7 CLEAR GLASS
- A8 CONCRETE - 4" THICK
- A9 BRICK - COMMON BRICK
- A10 BRICK - COMMON BRICK
- A11 WATER TABLE / LAND PAN SURFACE

Project: []

Revisions:

Client: []

Date: []

Scale: As Noted

Project No.: 40507-13

Type: R-RD-V-ER

ms consultants, inc.
engineers, architects, planners
2221 Sawback Road
Phone: 614.888.7100
Fax: 614.888.7570

Drawn By: NAW

Reviewed By: TJC

Scale:

ALDI Inc. Store #: XX
Union, KY
US 42 & Sweet Harmony LN
Union, KY 41091
Boone County
Project Name & Location:
Exterior Elevations
Drawing Name:
Project No.: 40507-13
Type: R-RD-V-ER

ALDI Union, KY

S/F WALL SIGNS



SIGNS ARE RECESSED

Scale: 3/4" = 1'-0"

Color Specifications

Blue	Pantone 298 C - RGB 66/165/240
White	RAL 9763 - CMYK 95/0/0/0
Black	Pantone 231 C - RGB 0/0/65
Red	RAL 3002 - CMYK 100/0/0/0
Yellow	Pantone 2685 C - RGB 216/0/0
Green	RAL 3000 - CMYK 0/100/0/0
Light Gray	Pantone 384 C - RGB 255/120/0
Dark Gray	RAL 2018 - CMYK 0/63/100/0
Light Gray	Pantone 7545 - RGB 255/200/0
Dark Gray	RAL 1023 - CMYK 0/25/100/0
Light Gray	Pantone 423 C Signa Gray
Dark Gray	ALDI Gray

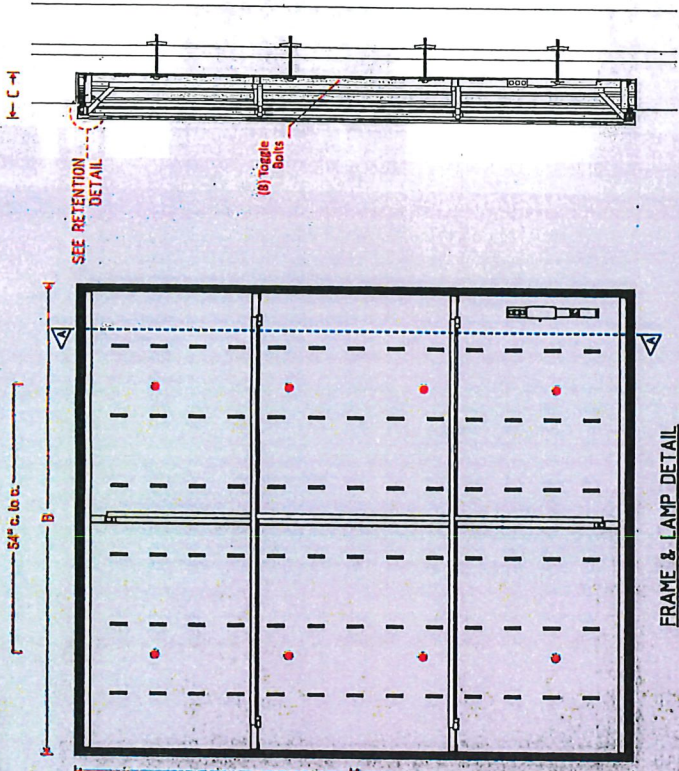


ALDI Union, KY
 O: 740.964.9550
 F: 740.964.9558
www.branham.com

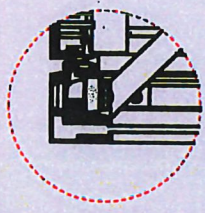
Approval:

Approved/Customer _____ Date _____

Manufactured by
 Branham Sign
 E71326



CROSS SECTION A-A
 NOT TO SCALE



RETENTION DETAIL
 NOT TO SCALE

ELECTRICAL DATA	VOLTAGE	120
	AMPERAGE	0.00

Color Reference Color System PERFORMA

Color Name	Color Code	Color Value	Color Value	Color Value	Color Value	Color Value	Color Value
White	ALDI 0001	100	100	100	100	100	100
Black	ALDI 0002	0	0	0	0	0	0
Yellow	ALDI 0003	100	100	0	0	0	0
Blue	ALDI 0004	0	0	100	100	0	0
Green	ALDI 0005	0	100	100	0	0	0
Red	ALDI 0006	100	0	0	100	0	0
Gray	ALDI 0007	100	100	100	100	100	100

Branham Sign

COMPANY INCORPORATED

SPECIFICATIONS

- SIGN COMP 9 1/4" DEEP EXTRUDED ALUMINUM CONSTRUCTION
- SIGN COMP #2025 SINGLE FACE BODY ALUMINUM EXTRUSION
- SIGN COMP #3035 DUAL FRAME COVER ALUMINUM EXTRUSION
- SIGN COMP #2265 DUAL FRAME ALUMINUM EXTRUSION
- FACE HINGED FOR SERVICE ACCESS
- 04-0" ALUMINUM BACK
- EXTERIOR FINISH: ALDI SLATE GRAY
- INTERIOR FINISH: REFLECTIVE WHITE
- DISCONNECT SWITCH LOCATED INSIDE CABINET
- GE 4100K WHITE LED'S AS REQUIRED
- ULL LISTED
- MOUNTING: FLUSH WALL MOUNT
- 3M ENVISSION FS-1 FLEXIBLE FACE
- DIGITALLY PRINTED DECORATION (1ST SURFACE)

ALDI SINGLE FACE WALL SIGN STANDARD SIZES

CABINET HEIGHT	CABINET LENGTH	CABINET DEPTH	ELECTRICAL REQUIREMENTS	SQUARE FOOTAGE
6'-0" 1/2"	5'-0"	9 1/4"	(1) 20A/120V CIRCUIT	30.21
7'-5" 1/2"	6'-3"	9 1/4"	(1) 20A/120V CIRCUIT	44.61
9'-5" 1/2"	7'-11 7/8"	9 1/4"	(1) 20A/120V CIRCUIT	74.98
12'-3"	10'-5 11/16"	9 1/4"	(1) 20A/120V CIRCUIT	120.59

NOTE

STRUCTURE HAS BEEN DESIGNED TO WITHSTAND 115 MPH AS THE ULTIMATE WIND SPEED, AND 90 MPH AS THE DESIGNED WIND SPEED, ACCORDING TO 2017 IBC TABLE 1609.6.2.1(2) WITH 3' MAX OVERALL HEIGHT. SIGN HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2017 IBC.

Underwriters Laboratories Inc.
 ELEC TR. LISTED
 COMPLETE TO UL-48
 THIS SIGN HAS BEEN TESTED AND APPROVED BY AN UNDERWRITERS LABORATORIES LISTED TESTING AGENCY FOR THE PURPOSES OF THE FOLLOWING LISTED PRODUCT:

ELECTRICAL REQUIREMENTS:
 ONE 20 Amp CIRCUIT @ 120V



Job Path G:\JOBS\ALDI\Springfield Division\Kentucky\Union\Wall Sign Print1, Pg1

Order #	000000	Print Location	US 42 & Sweet Harmony Ln, Union, KY 41091
Date	04.11.23	Designer	jgreenlee@branhamsign.com
Page No.	001	Scale	As Shown



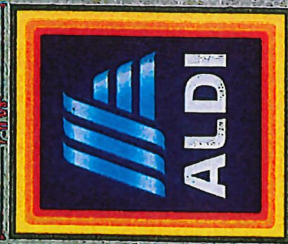
Union, KY

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ALDI Union, KY

ELEVATIONS

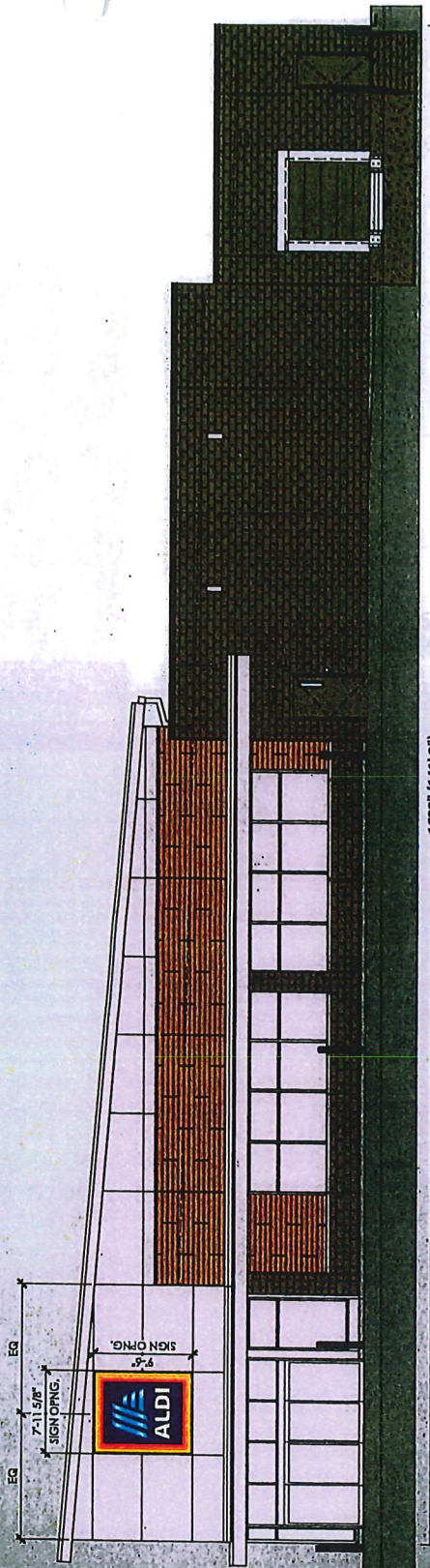
Qty: 2



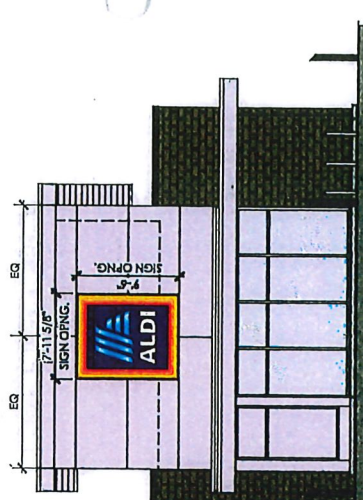
Job # E71326

NOTE
 STRUCTURE HAS BEEN DESIGNED TO WITHSTAND 115 MPH AS THE ULTIMATE WIND SPEED, AND 30 MPH AS THE DESIGNED WIND SPEED, ACCORDING TO 2017 IBC TABLE TAB16.2.1(2) WITH 30' MAX OVERALL HEIGHT. SIGN HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2017 IBC.

Branham Sign
 COMPANY - INCORPORATED



Side Elevation



Front Elevation



Approval:

Approved/Customer	Date

Job Path G:\JOBS\ALDI\Springfield Division\Kentucky\Union\Wall Sign Print1, Pg2

Order #	000000	Proj Description	US 42 & Sweet Harmony Ln, Union, KY 41091
Date	04-11-23	Drawn by	jgreenlee@branhamsign.com
Drawn by	001	Scale	ymiller@branhamsign.com



Union, KY

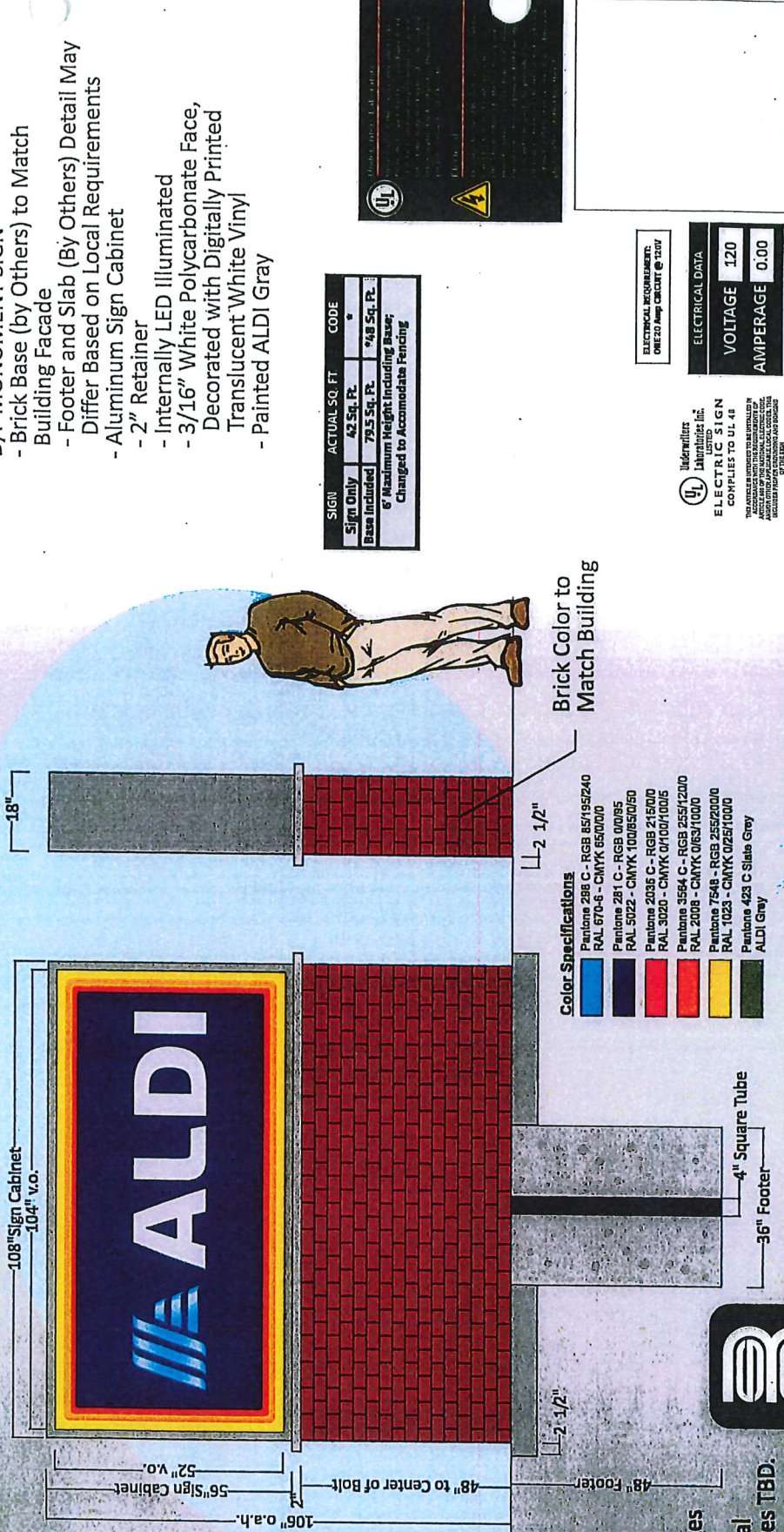
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ALDI Union, KY

Underwriters
Laminates Inc. E71326

D/F MONUMENT SIGN - Preliminary

Qty: 1 (2 Faces)



Scale: 1/4" = 1' 0"

Foundation Sizes Shown are for Example. Actual Foundation Sizes TBD.

NOTE
STRUCTURE HAS BEEN DESIGNED TO WITHSTAND 115 MPH AS THE ULTIMATE WIND SPEED, AND 98 MPH AS THE DESIGNED WIND SPEED, ACCORDING TO 2017 IBC TABLE 609.6.2.2(2) WITH 30' MAX OVERALL HEIGHT. SIGN HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2017 IBC.

Branham Sign

COMPANY INCORPORATED

- D/F MONUMENT SIGN
- Brick Base (by Others) to Match Building Facade
 - Footer and Slab (By Others) Detail May Differ Based on Local Requirements
 - Aluminum Sign Cabinet
 - 2" Retainer
 - Internally LED Illuminated
 - 3/16" White Polycarbonate Face, Decorated with Digitally Printed Translucent White Vinyl
 - Painted ALDI Gray

SIGN	ACTUAL SQ. FT.	CODE
Sign Only	42 Sq. Ft.	*
Base Included	79.5 Sq. Ft.	948 Sq. Ft.

* Maximum Height Including Base; Changed to Accommodate Fencing



ELECTRICAL REQUIREMENT
ONE 20 Amp CIRCUIT @ 120V

ELECTRICAL DATA	
VOLTAGE	120
AMPERAGE	0.00

Underwriters
Laminates Inc.
ELECTRICAL SIGN
COMPLIES TO UL 46
FOR INFORMATION THE SIGN IS MADE OF
ALUMINUM WITH THE FACING OF
POLYCARBONATE. ALL DIMENSIONS ARE
UNLESS OTHERWISE SPECIFIED.
DATE: 08/20/2017

Brick Color to Match Building

Color Specifications

- Pantone 286 C - RGB 65/195/240
RAL 670-6 - CMYK 65/0/0/0
- Pantone 281 C - RGB 0/0/95
RAL 5022 - CMYK 100/85/0/50
- Pantone 2035 C - RGB 215/0/0
RAL 3020 - CMYK 0/100/100/0
- Pantone 3564 C - RGB 255/120/0
RAL 2008 - CMYK 0/65/100/0
- Pantone 7548 - RGB 255/20/0
RAL 1023 - CMYK 0/25/100/0
- Pantone 423 C Slate Grey
ALDI Grey

4" Square Tube
36" Footer

Approval: _____ Date: _____

Approved/Customer: _____

Job Path: G:\JOBS\ALDI\Springfield Division\Kentucky\Union\Monument Sign Print3

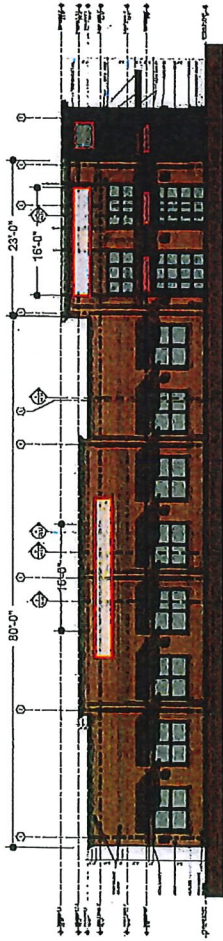
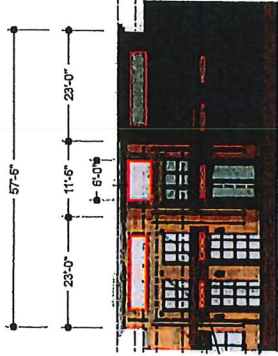
Order #	000000	Proj. Location	US 42 & Sweet Harmony Ln, Union, KY 41091
Date	12.05.23	Designer	jgreenlee@branhamsign.com
Page No.	003	Scale	1/4" = 1' 0"

Project: ALDI

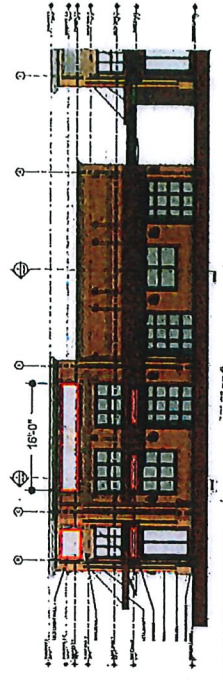
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Union Promenade | Commercial Four (C-4)

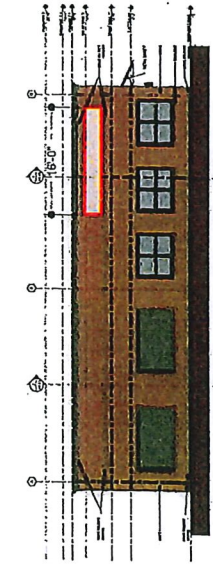
~~Lot 6~~ Building-1
Lots 4, 5, & 6



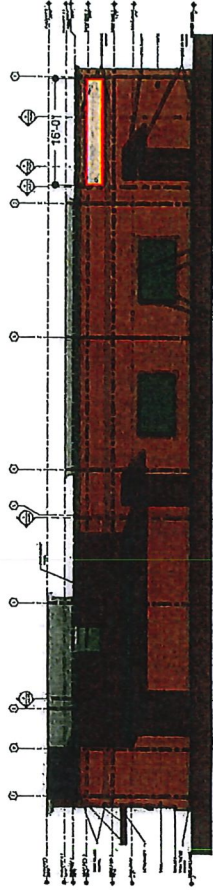
③ FRONT ELEVATION



① FRONT ELEVATION



② FRONT ELEVATION

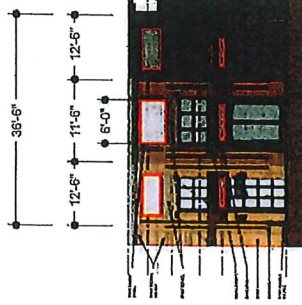
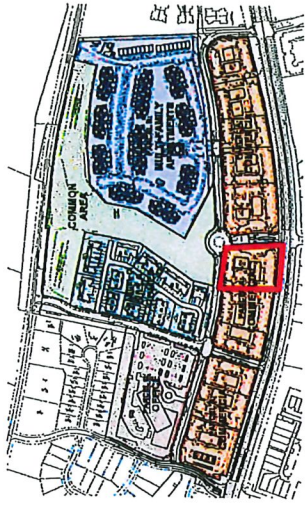


④ FRONT ELEVATION

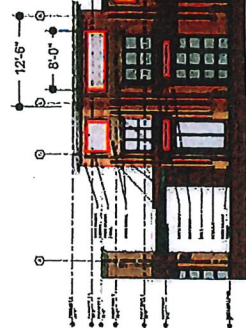
Union Promenade | Commercial Four (C-4)

~~Lot 6~~ Building 2

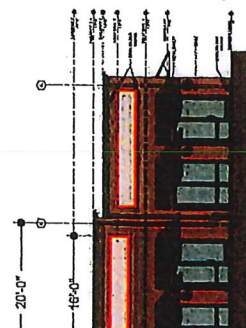
Lots 4, 5, & 6



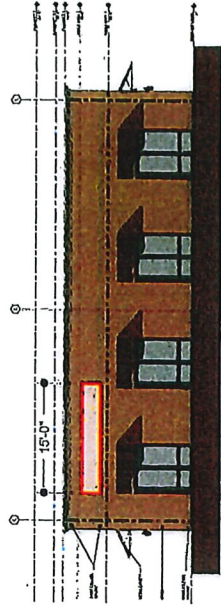
① TRIMITE-COLORED SOUTHERN ELEVATION



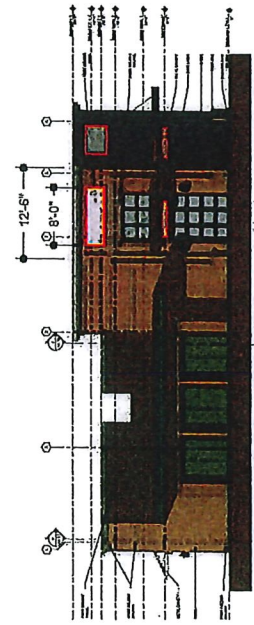
② TRIMITE-COLORED NORTHERN ELEVATION



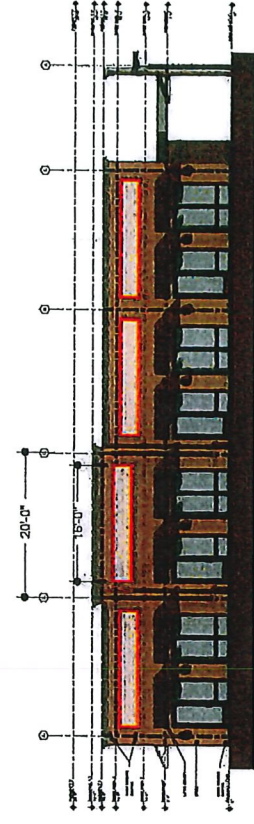
③ TRIMITE-COLORED WEST ELEVATION



④ TRIMITE-COLORED EAST ELEVATION



⑤ TRIMITE-COLORED WEST ELEVATION

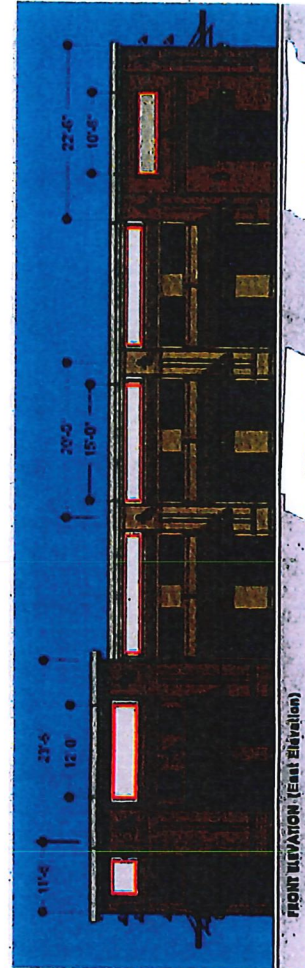
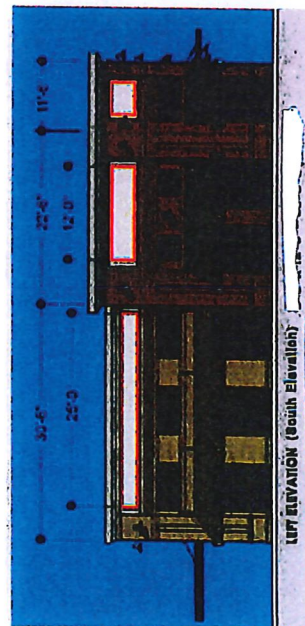
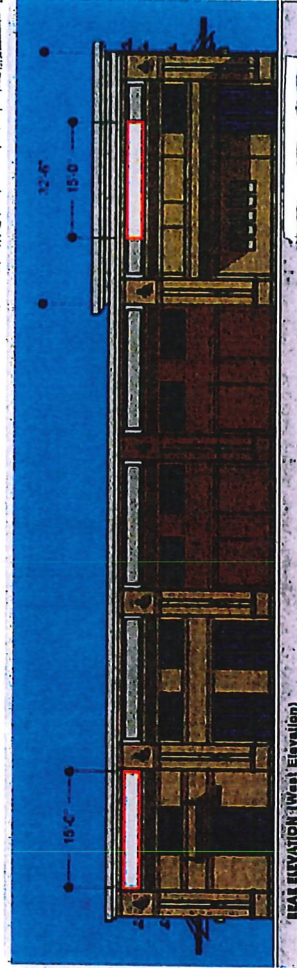
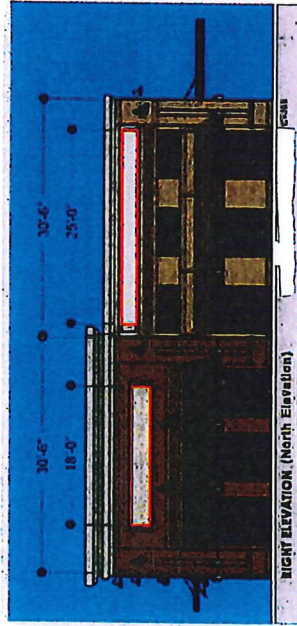
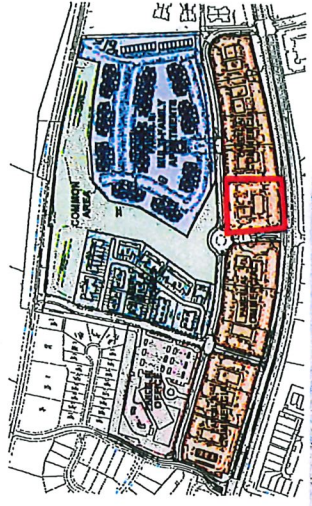


⑥ TRIMITE-COLORED EAST ELEVATION

Union Promenade | Commercial Four (C-4)

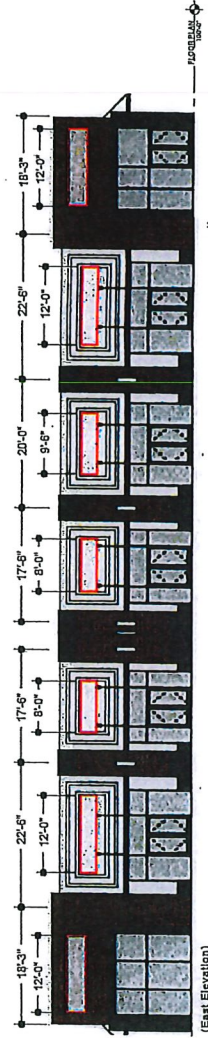
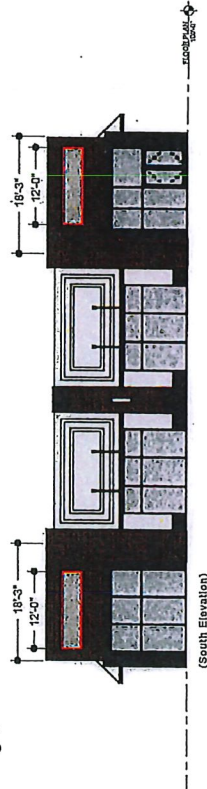
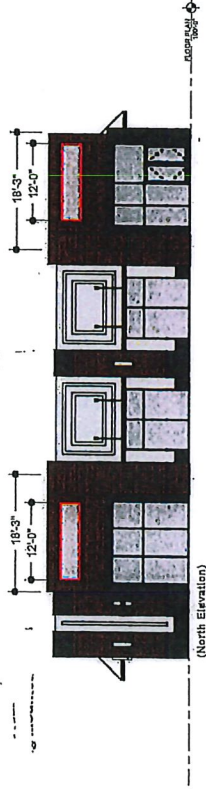
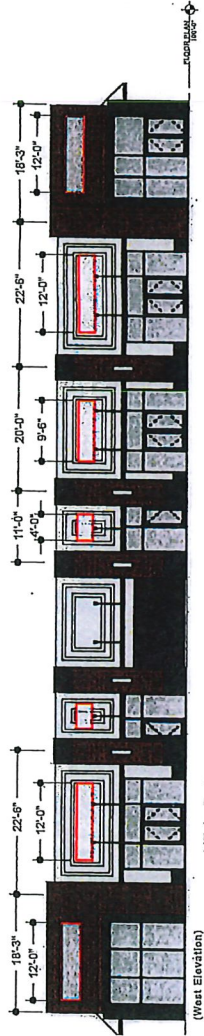
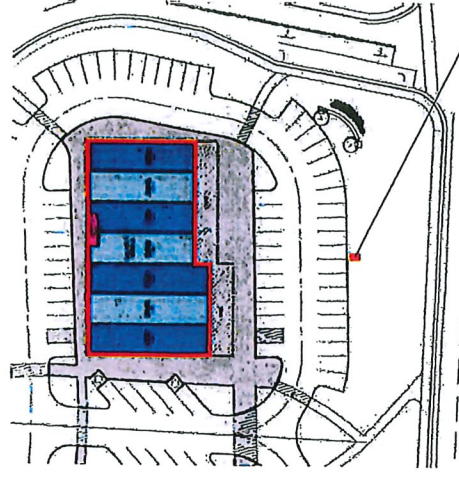
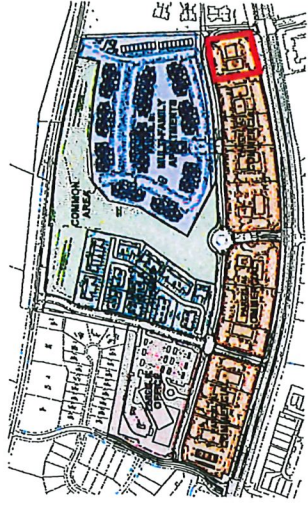
Lot 7 - Building 1

Lots 7, 8, 9, & 10

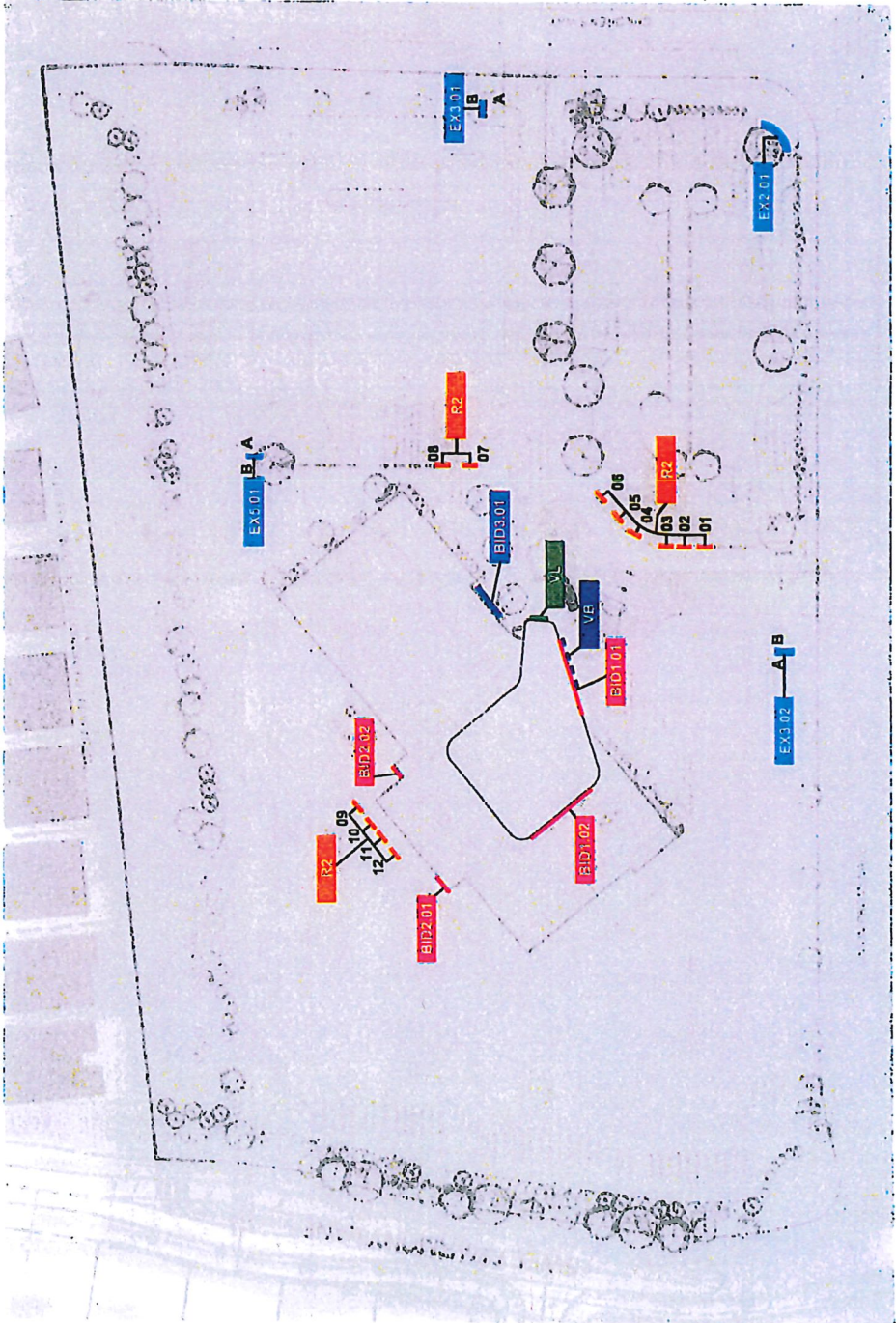


Union Promenade | Commercial Four (C-4)

Lot 11 - Building 4



Union Promenade | Office Two (O-2)
Cincinnati Children's Medical Office Building





CCHMC: Union Medical Office Building

Exterior Signage Package

100% Design Intent Documentation – NOT INTENDED FOR CONSTRUCTION

Issued: December 6, 2023





WAYFINDING SHORTCUTS

EX-1	Pylon Sign- Lot 2
EX-2	Corner Monument
EX-3	Entry Monument (Qty: 2)
EX-4	Directional: Small
EX-5	Building ID: Hero Sign (Qty: 2)
EX-6	Building ID: Entry ID (Qty: 2)
EX-7	Building ID: Donor Name (Qty: 1)
EX-8	Building ID: Vinyl Logo
EX-9	Building ID: Vinyl Bands
EX-10	Regulatory: Pole Mount (Qty: 12)

kolar

NORTH AMERICA
 807 Broadway, 5th Flg
 Cincinnati, Ohio USA, 452
 US 513 241 4684
 US Toll Free 866 264 7738
 www.kolardesign.net

Children's Hospital
 Medical Center

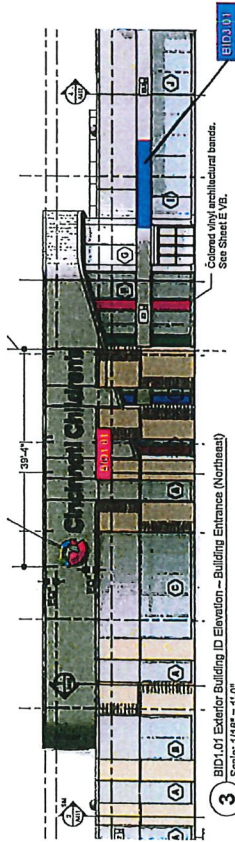
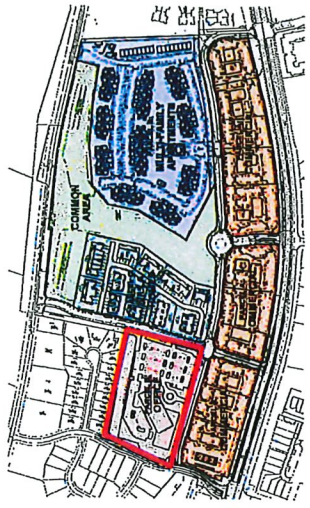
Union MOB
 Exterior Sign Package
 100% Design Intent

Issued: 06-30-23
 Drawn By: SH
 Checked By: HA

Exterior Sign
 Location Plan

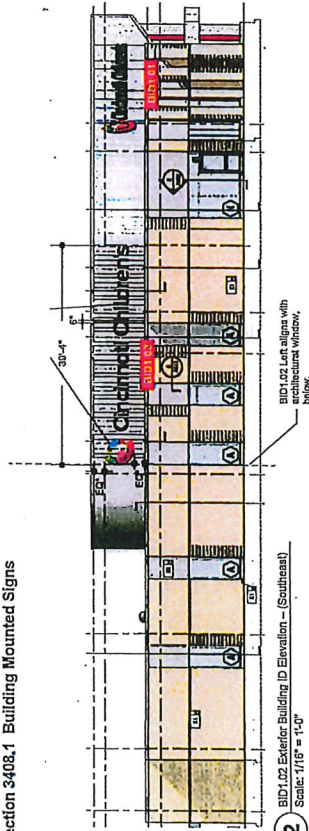
Union Promenade | Office Two (O-2)

Cincinnati Children's Medical Office Building



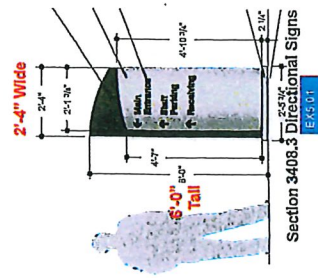
3 BID1.01 Exterior Building ID Elevation - Building Entrance (Northeast)
Scale: 1/16" = 1'-0"

Section 3408.1 Building Mounted Signs



2 BID1.02 Exterior Building ID Elevation - (Southeast)
Scale: 1/16" = 1'-0"

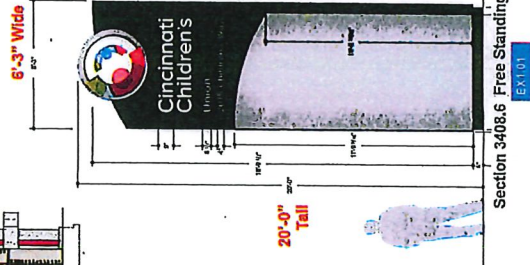
Section 3408.1 Building Mounted Signs



Section 3408.3 Directional Signs
E-3.01



Section 3408.7 Entrance Signs
E-3.02



Section 3408.6 Free Standing Signs
E-3.03

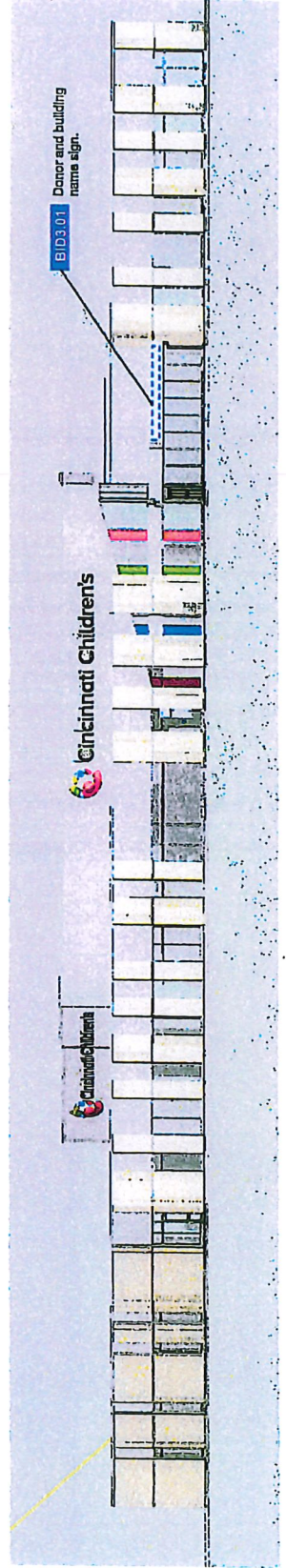
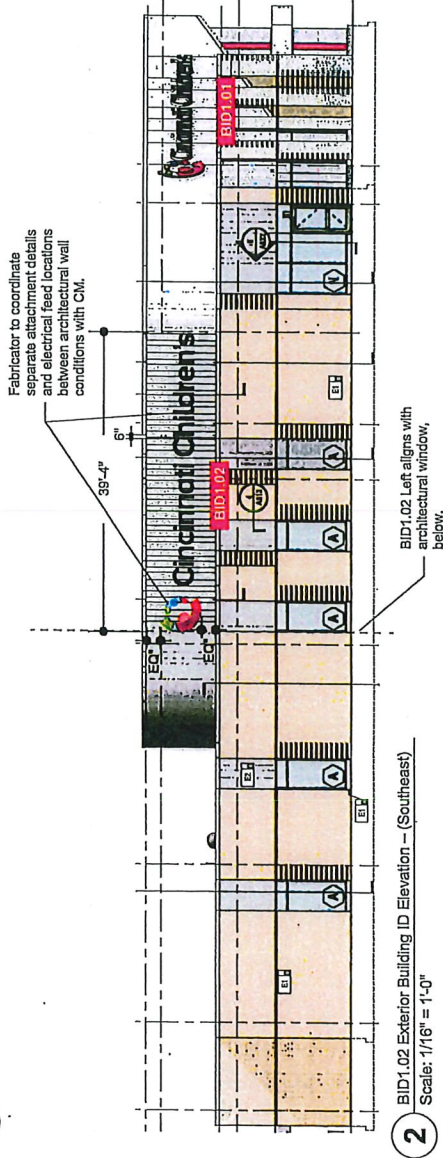
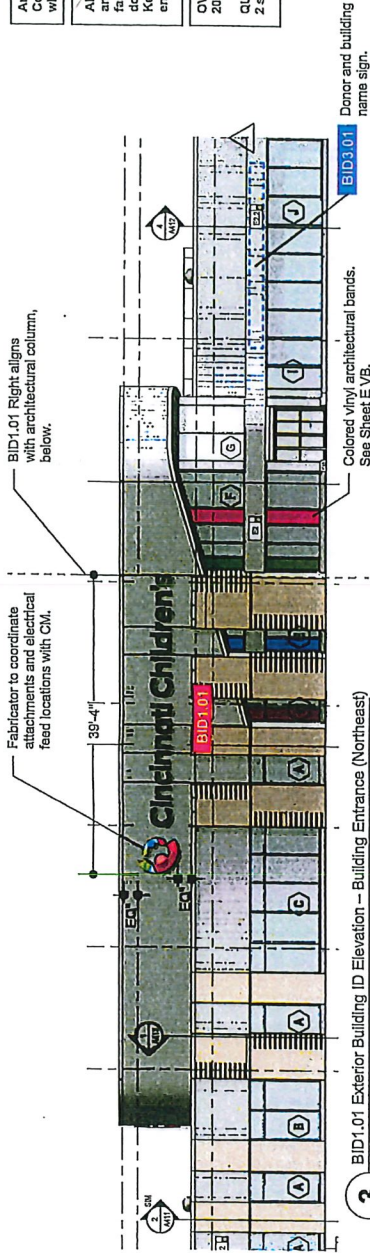


Section 3408.6 Free Standing Signs
E-3.01

Artwork will be provided. Coordinates all field surveys with CM.

All structural components, anchors, connections and materials shall be engineered, documented and approved by a Kentucky registered structural engineer.

OVERALL SIZE: 20378 Square Feet, Per Sign
 QUANTITY: 2 signs, unique locations



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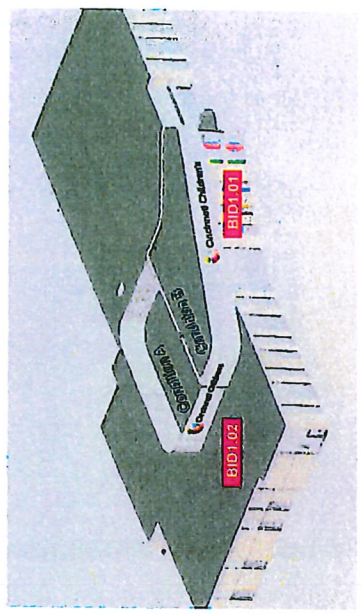
Issued: 06-30-23
 Drawn By: HA
 Checked By: JFK

Sign Type BID1
 Building ID
 Elevations

As noted, all field surveys will be provided with CM.

All structural components, anchors, connections and documents shall be engineered and stamped by a Kentucky registered structural engineer.

COORDINATION NOTE:
Sign fabricator to coordinate CM all locations for tie-ins connections to the electric infrastructure. Electrical (120 V) shall be provided to the site by Others.

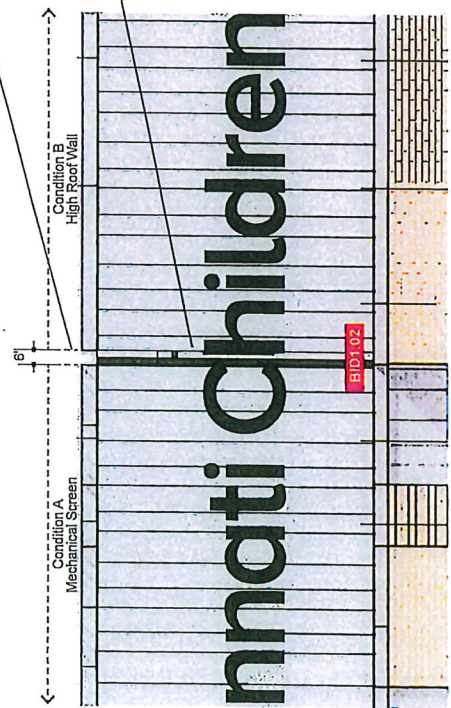


2 Roof top Aerial Rendered View -- For Reference Only
NTS

Structural conditions behind metal panels vary and are split on elevation by a 6" opening (gap).
See Sheet E BID1-5 and Architectural Package for details.

"C" and "H" lettering splits the 6" gap as shown. Sign lettering to the left of the gap shall be one set of attachment details and electrical connections (Condition A) and sign lettering to the right of the gap shall be another (Condition B).

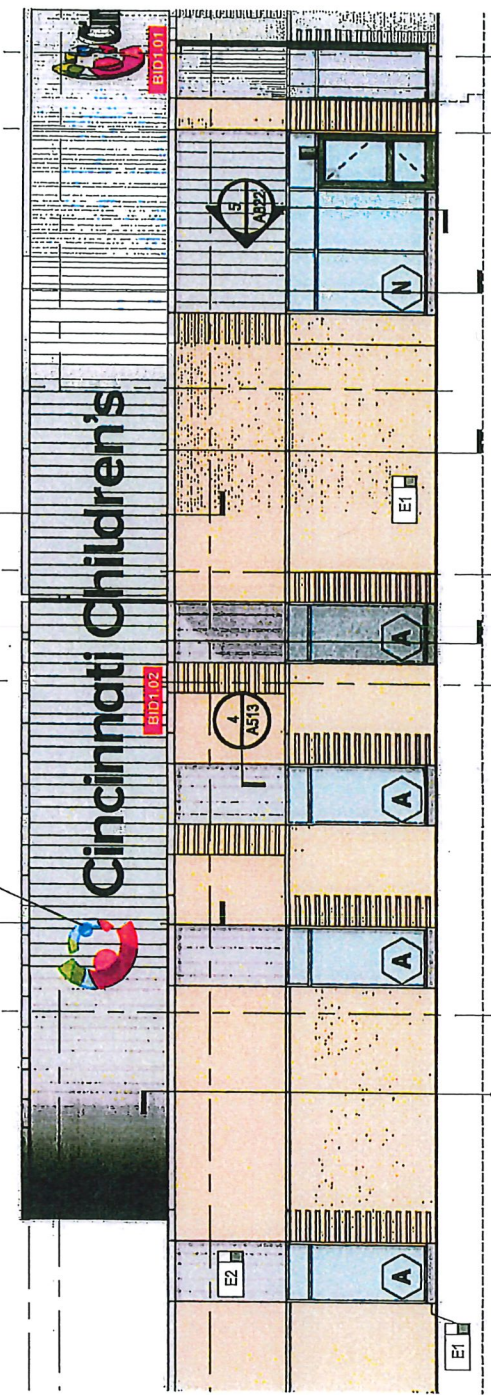
Field verify conditions and supply detailed shop drawings for all attachments, hardware, and connections to electrical supplied to site (not pictured).
Provide waterproof seal to all penetrations.



3 Building Detail at Sign BID1.02 -- Architectural Panel Split Conditions
1/4" = 1'-0"

1 See Sheet E BID1-5 in this package.
12 A413
See Sheet E BID1-1 and Drawing 3 on this sheet for alignments to building and spacing details for signage.

1 E BID1-5
3 A413
See Sheet E BID1-5 in this package.
See Architectural Package for details.



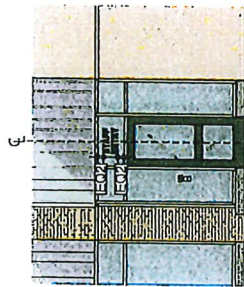
1 Building Sign View at Sign BID1.02 -- Architectural Detail 4, Sheet A302 (For Reference Only)
1/8" = 1'-0"

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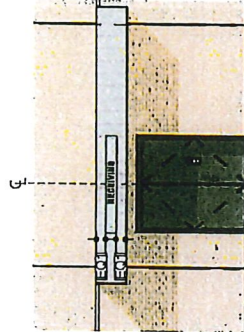
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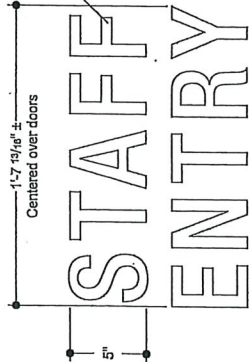
Sign Type BID1
Building ID
Wall Details



5 BID2.02
Scale: 1/8" = 1'-0"

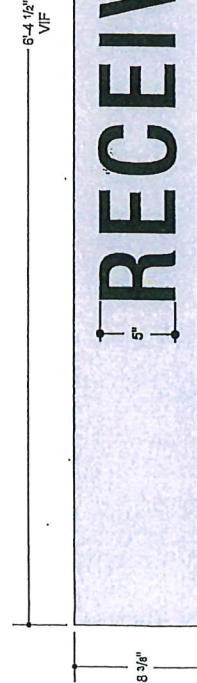


4 BID2.01
Scale: 1/8" = 1'-0"

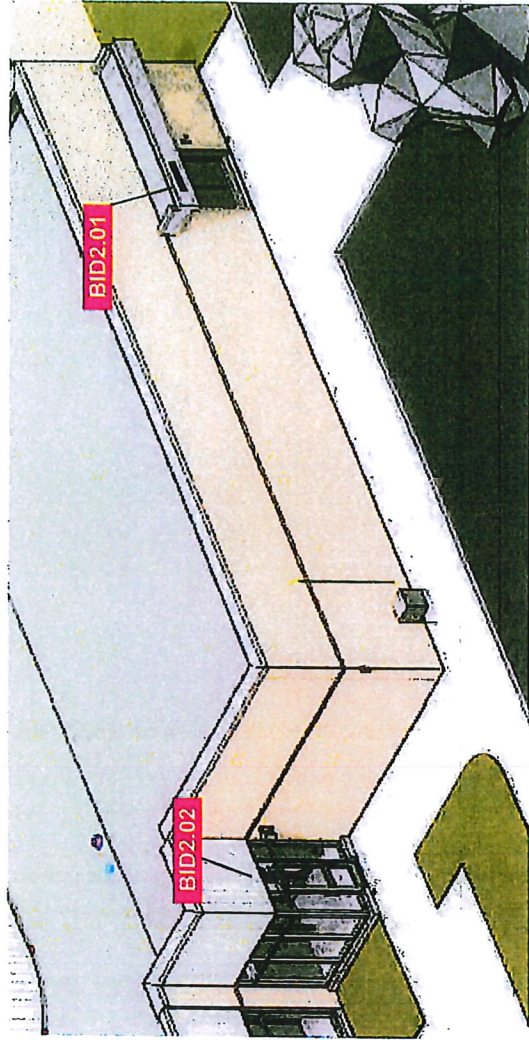


Sign BID2.02

2 BID2.02 - Building ID Staff Entrance - Front Elevation
Scale: 1/12" = 1'-0"



1 BID2.01 - Building ID At Receiving Canopy - Front Elevation
Scale: 1/12" = 1'-0"



3 BID2 - Building ID At Entrances - Staff & Receiving Entry Locations
Scale: NTS

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Drawn By: LM
Checked By: HA

Sign Type BID2
Building IDs at
Entrances

Sheet
E BID2

1 1/4" PVC cut-out letters painted Dark Grey on all sides, mounted to metal backer panel.

Metal backer panel painted to match architectural canopy. Field verify colors and submit sample for approval. Panel to match width of double door frame below and center vertically on canopy fascia.

Backer panel to pin mount through metal fascia into plywood behind. Provide waterproof seal to all penetrations. Allow backer panel to hold off slightly from fascia to allow for water to escape / run off. See Architectural Package for details.

Note: Fabricator to provide field measurements of canopy and metal panels. Signage consultant to provide final layout based on field verifications.

Artwork files to be provided.

1 1/4" PVC cut-out letters painted white on all sides, mounted first surface to glass using exterior grade full coverage adhesives.

On interior second surface of glass, cut reverse shapes of each letterform out of Dark Grey vinyl and mount in alignment with PVC letters on the front (to hide adhesive visible through glass).

Note: Fabricator to provide field measurements of doors and mullions. Signage consultant to provide final layout based on field verifications.

Artwork files to be provided.

Artwork will be provided. Coordinate all field surveys with CM.

All structural components, anchors, connections and fasteners shall be engineered, documented and stamped by a Kentucky registered structural engineer.

OVERALL SIZE:
125 Square Feet, Double Sided

Dimensional Disc is 3" deep, internally illuminated 1/8" aluminum sign cabinet (1 per sign face) with push thru acrylic, 1st and 2nd surface translucent and 3rd surface. See Sheets E EX1-2 and E EX1-3 for more details and specifications.

1/8" Rolled aluminum sign cabinet, painted Dark Grey. Provide aluminum internal structure as required. See Sheet E EX1-2 for top view.

White translucent acrylic push-thru letters, flush to face. Letters are backlit with white LEDs.

Note: All internal illumination and connections to electric to be provided by Fabricator. Coordinate access to electric on site with CM.

1" thick, raised aluminum panel, painted Silver on face and returns. See Sheet E EX1-2 for top view.

Note: Sign should receive exterior / up illumination to wash face of sign on a timer. For sites with lot or other building lighting, tie into or coordinate with existing timer so lights come on at the same time. Coordinate external lighting and access to electric on site with CM.

6" minimal skirting at bottom of sign to "lift" the sign off the ground, painted Dark Grey. Skirting should follow the slope of the ground and height will vary accordingly. Field verify conditions. Provide Foundation as required (not shown).



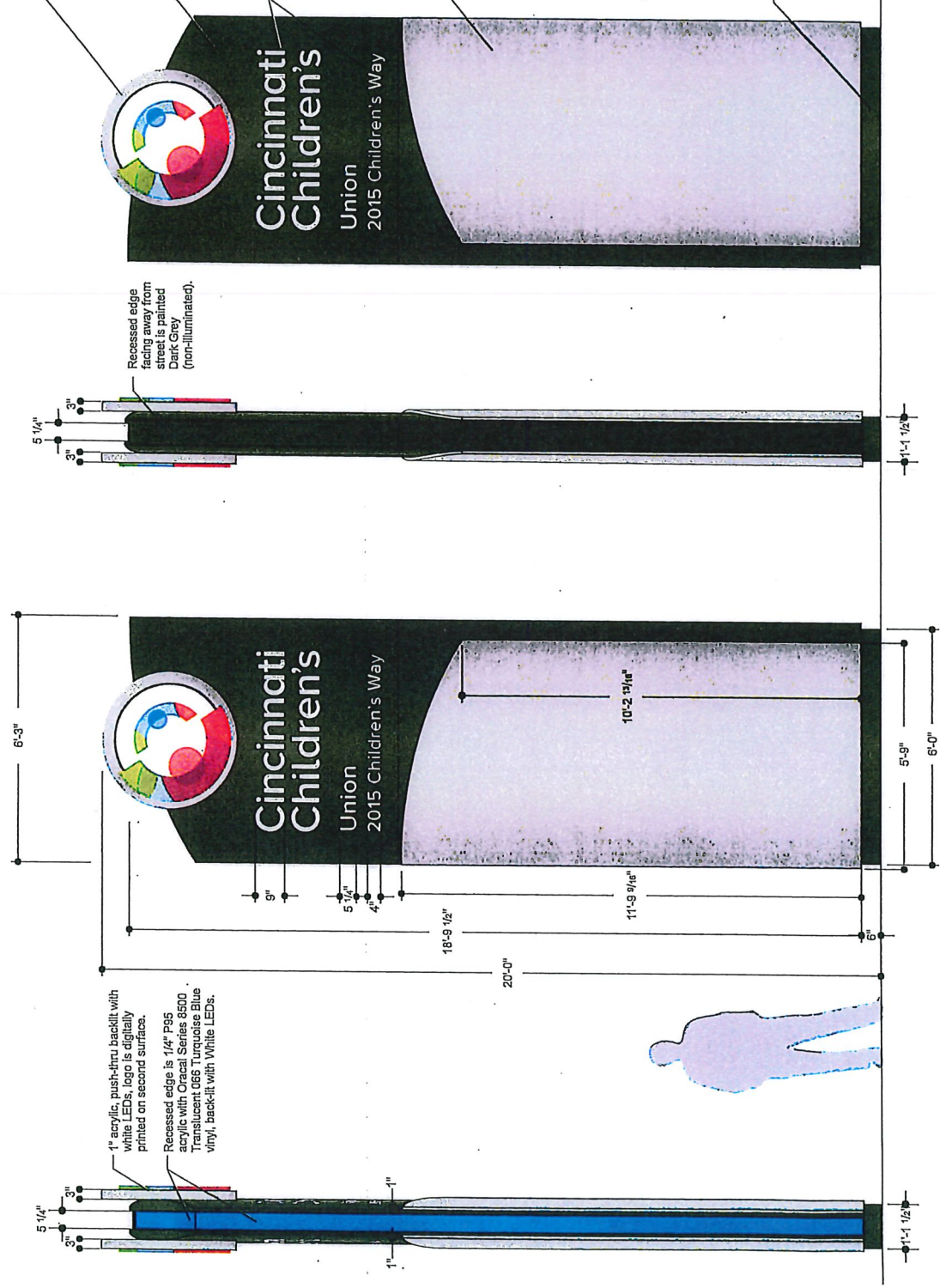
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Checked By:

Sign Type EX1
Pylon Sign
Front Elevations

Sheet
E EX1-1



1 EX1 Front Elevation, Side B
Scale: 3/8" = 1'-0"

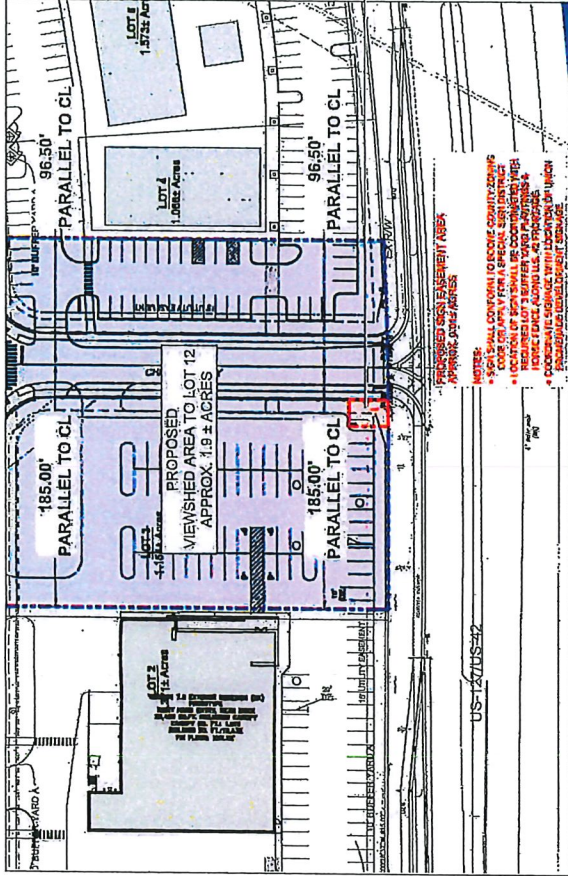
2 Side View - Interior Side
Scale: 3/8" = 1'-0"

3 EX1 Front Elevation, Side A
Scale: 3/8" = 1'-0"

4 Side View - Street Side
Scale: 3/8" = 1'-0"



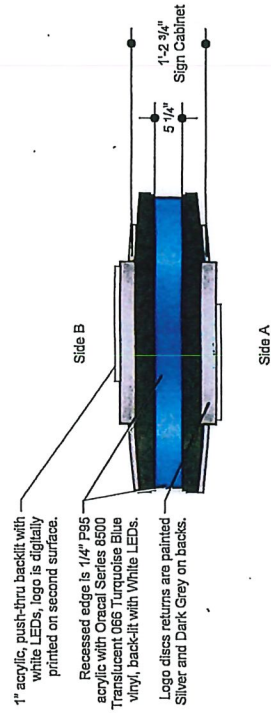
3 EX1 Location Rendering – For Representation Only
NTS



Additional Placement studies will be required / provided.



2 Sign EX1 – Location Plan View Reference
NTS



1 EX1 Pylon Sign – Plan View
Scale: 1/2"=1'-0"

Asiwork will be provided. Coordinate all field surveys with CIL.

All structural components, anchors, connections and fasteners shall be engineered, documented and stamped by a Kentucky registered structural engineer.

COORDINATION NOTE: Sign fabricator to coordinate with GC all locations for tie-ins connections to the rebar, electrical infrastructure. Electrical shall be provided to the site by Others.

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Sign Type EX1
 Pylon Sign
 Top Elevation and
 Details

Sheet

E EX1-2



3 EX2 Location Rendering - For Representation Only
NTS

Colored logomark is acrylic, push-thru 1" from aluminum face with clear returns returns rotary polished with an emery disc. Multiple unique Brand Colors digitally printed on second surface White Translucent vinyl. Backlit with White LEDs.

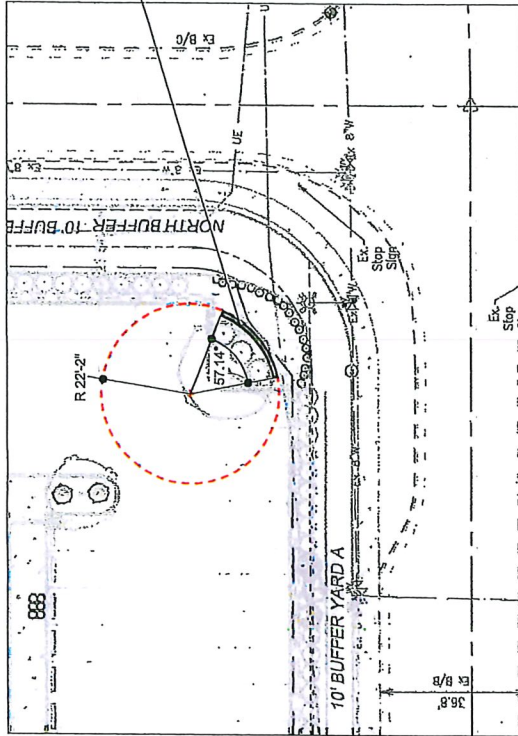
Ensure that from any angle, interior sign cabinet and mechanics are not visible through the clear acrylic push-thru logo mark.
See Sheets E-EX1-3 and E-EX2-2 for more details and specifications.

7" deep, 1/8" aluminum sign cabinet is painted Silver on face, trim, sides and back. Provide removable access to electric on back for future maintenance.

Precast Wall provides inset for Logo Sign Cabinet.

Depth of Logo Sign Cabinet designed to sit 2" proud of wall.

Proposed height of landscaping (pushes) in front of sign



2 Location Plan View
Scale: 1" = 30'-0"

(1) Set of internally illuminated, 4" deep channel letters on custom curved raceways. Faces are translucent White acrylic, backlit with White LEDs.

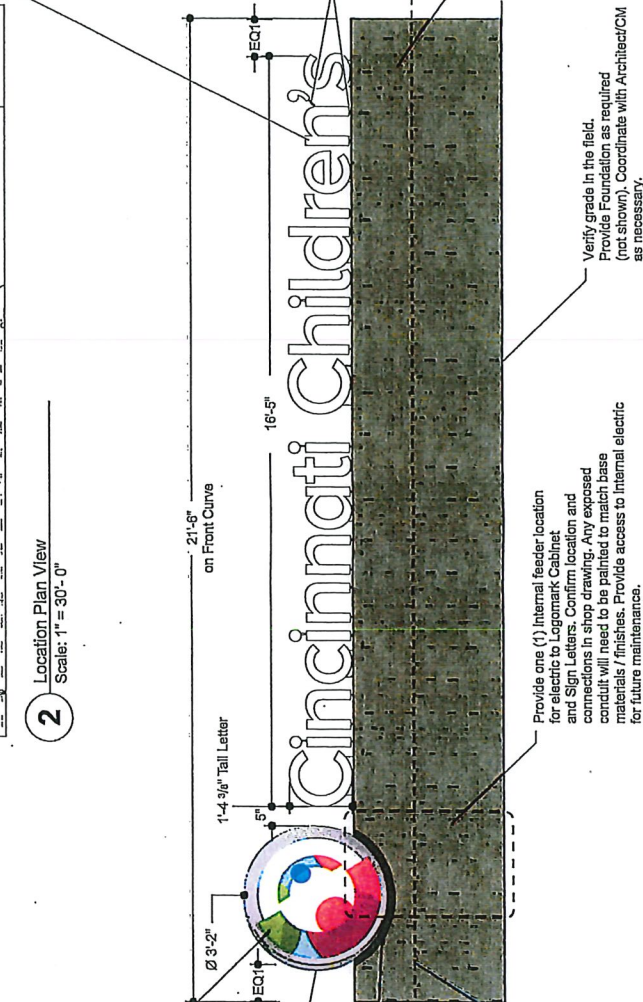
A curved baseplate for leveling of Channel Letters is recessed into a "rough" that will be precast into the top of the concrete base.

Round letters will appear flush to top of the wall. Ensure the bottoms of the round letters are visible above curved baseplate and top of wall.

Returns and backs painted MP-8214 grey Palma Metallic with White trim caps.

1" Square spacers/standoffs painted brushed aluminum tie into raceway. See Sheet E-EX2-2 for more details and specifications.

Fabricator provides precast curved concrete base with simulated or stamped stone textured exterior. Exact texture of simulated stone to be coordinated with Kolar and Architect. Color to match SlimTek Ecosone Gray Granite simulated stone product.



1 EX2 Front Elevation, Curved
Scale: 3/8" = 1'-0"

Provide one (1) internal feeder location for electric to Logomark Cabinet and Sign Letters. Confirm location and connections in shop drawing. Any exposed conduit will need to be painted to match base materials / finishes. Provide access to internal electric for future maintenance.

Verify grade in the field. Provide Foundation as required (not shown). Coordinate with Architect/CM as necessary.

<p>Artwork will be provided. Coordinate all field surveys with CM.</p>
<p>All structural components, anchors, connections and fasteners shall be engineered, documented and stamped by a Kentucky registered structural engineer.</p>
<p>OVERALL SIZE: 118 Square Feet</p>
<p>COORDINATION NOTE: Sign fabricator to coordinate with CM all locations for tie-ins and connections to the required electrical infrastructure. Electrical shall be provided to the site by Others.</p>

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Drawn By: HA
Checked By:

Sign Type EX2
Corner Monument
Front Elevations

Sheet

E EX2-1

Artwork will be provided. Coordinate all field surveys with CM.

All structural components, anchors, connections and fasteners shall be engineered, documented and stamped by a Kentucky registered structural engineer.

OVERALL SIZE:
47 Square Feet (ea.)

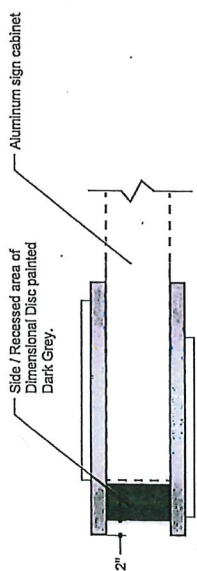
QUANTITY:
2 signs, unique locations

COORDINATION NOTE:
Sign fabricator to coordinate with GC all locations for tie-ins and connections to the required electrical infrastructure. Electrical shall be provided to the site by Others.



See Sheet E EX3-2 for more location information.

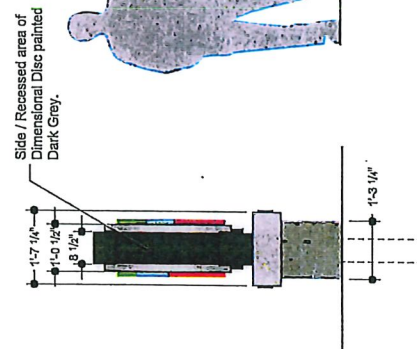
5 Location EX3.01 Rendering – For Representation Only
NTS



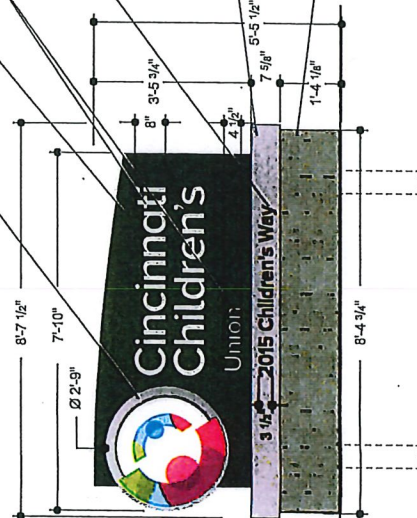
4 Dimensional Disc Detail
Scale: 3/4" = 1'-0"



3 Plan View
Scale: 3/8" = 1'-0"



2 Side View at Logo Disc
Scale: 3/8" = 1'-0"



1 SignEX3 - Building ID, Ground Sign - Side B Elevation
Scale: 3/8" = 1'-0"

Dimensional Disc is 1'-0" deep, internally illuminated 1/8" aluminum sign cabinet with push thru acrylic logomark and 2nd surface translucent colors (both sides). Logo cabinet assembly is fixed to side of internal sign cabinet.

Aluminum sign cabinet, painted Dark Grey. Provide internal structure and anchor to sign base as required.

Internally illuminated letters, with White LEDs. Project a maximum of 1" from face of sign. Letter faces are translucent White acrylic and letter returns are painted Dark Grey (opaque).

1/2" thick acrylic letters painted Black (subject to change). Fabricator to study and advise on final color of address letters so that there is sufficient contrast between color of colored concrete in both dry and wet conditions.

Colored concrete cap with Masonry base to match brick on building. Coordinate brick color / type with Architect and GC.

Note: Signs should receive exterior / up illumination to wash face of sign on a timer. For sites with lot or other building lighting, tie into or coordinate with existing timer so lights come on at the same time. Coordinate external lighting and access to electric on site with CM.



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Checked By: MD

Sign Type EX3
Entry Monument

3 SignEX3 - Building ID, Ground Sign - Side A Elevation
Scale: 3/8" = 1'-0"

Sheet

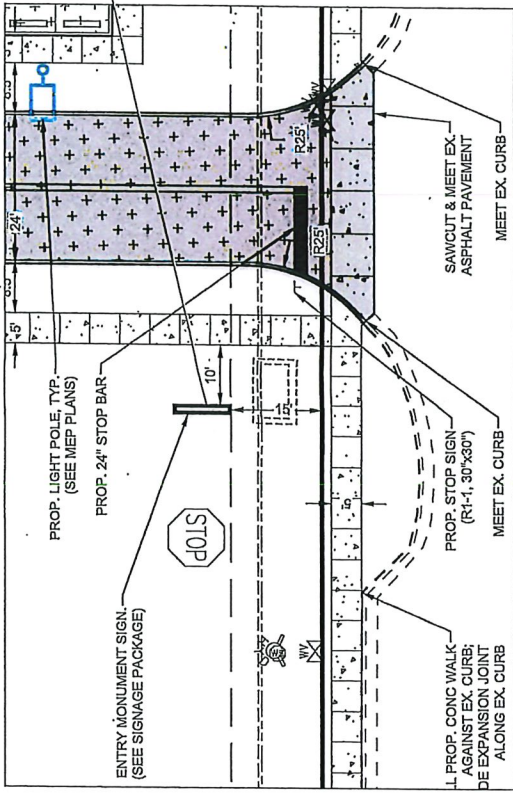
E EX3-1

Artwork will be provided. Coordinate all field surveys with CMI.

All structural components, anchors, connections and fasteners shall be engineered, designed and installed by a Kentucky registered structural engineer.

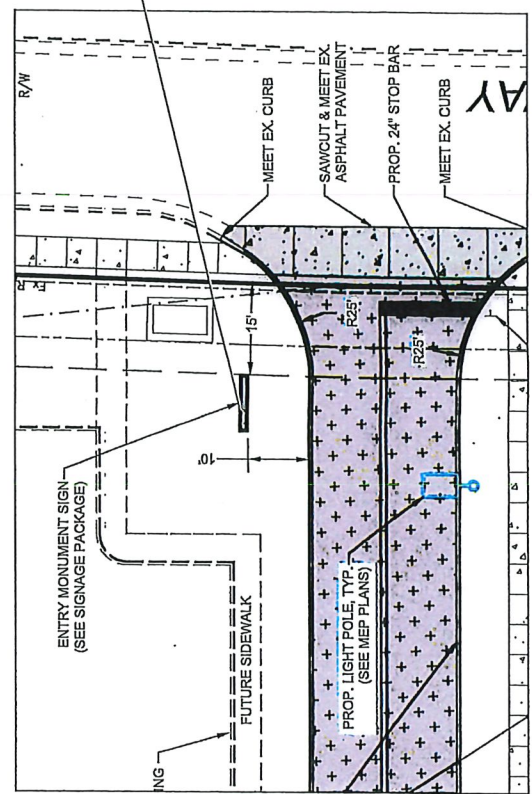
COORDINATION NOTE:
Sign fabricator to coordinate with all locations for tie-ins to existing electrical conduits. Electrical conduits shall be provided to the site by Others.

Landscaping / utility plan to coordinate with position and height of entry monument sign.



2 Sign EX3.02 - Location Plan View Reference - Civil Sheet C 300
Scale: 1" = 30'-0"

Landscaping / utility plan to coordinate with position and height of entry monument sign.



1 Sign EX3.01 - Location Plan View Reference - Civil Sheet C 300
Scale: 1" = 30'-0"



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Drawn By: HA
Checked By:

Sign Type EX3
Entry Monument
Location Plan Views

Artwork will be provided. Coordinate all field surveys with CM.

All structural components, anchors, connections and fasteners shall be engineered, documented and stamped by a Kentucky registered structural engineer.

OVERALL SIZE:
14 Square Feet.



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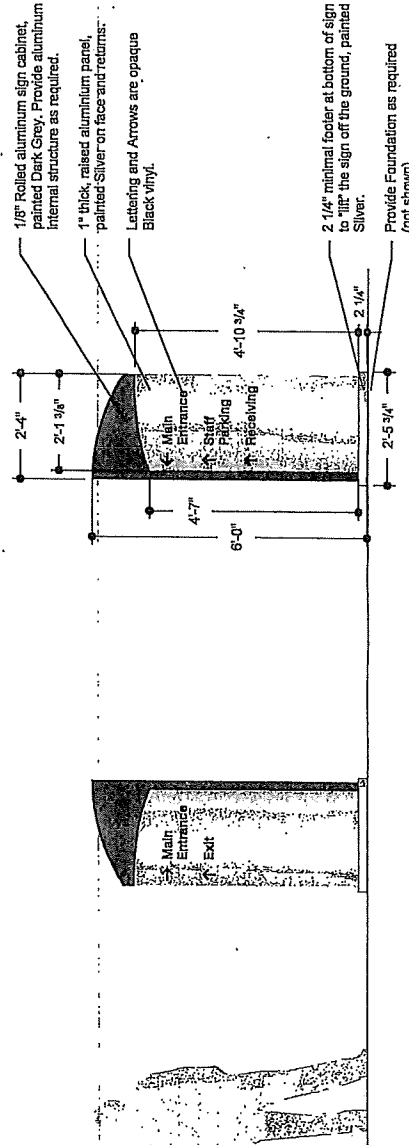
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Issue: 06-30-23
Drawn By: HA
Checked By:

Sign Type EX5
Directional: Small

Sheet

E EX5



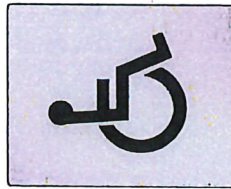
1 EX5 Front Elevation, Side A
Scale: 3/8" = 1'-0"

1 EX5 Front Elevation, Side B
Scale: 3/8" = 1'-0"



Van Accessible Parking

Locations
RZ.06, RZ.07, RZ.12



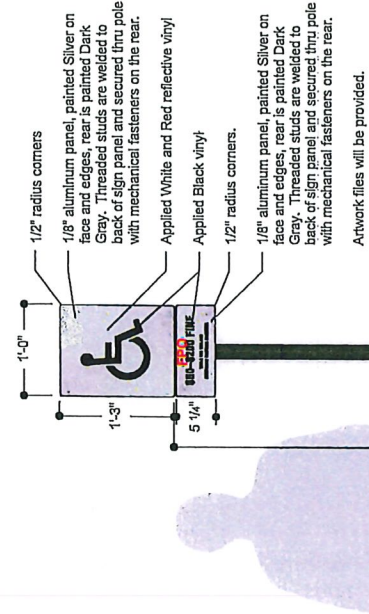
Accessible Parking

Locations
RZ.01, RZ.02, RZ.03, RZ.04
RZ.05, RZ.06, RZ.09, RZ.10
RZ.11

4 Message Variations
Scale: 1 1/2" = 1'-0"



3 Sign Type R2 - Plan View
Scale: 3/4" = 1'-0"



1 Sign Type R2 - Pole Mid Signs - Front Elevation
Scale: 3/4" = 1'-0"

2 Sign Type R2 - Side Elev.
Scale: 3/4" = 1'-0"



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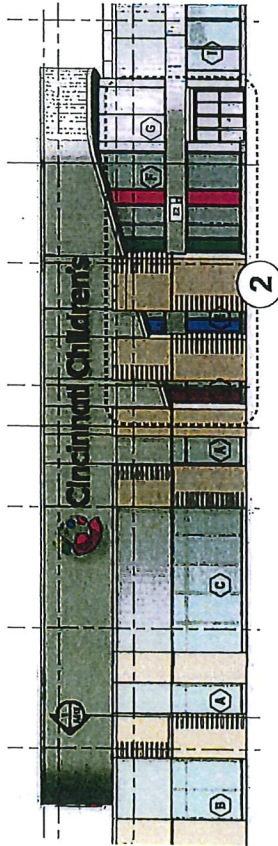
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Issued: 06-30-23
Drawn By: SH
Checked By: HA

Sign Type R2
Regulatory Signs -
Pole Mounted Signs

Sheet

ER2



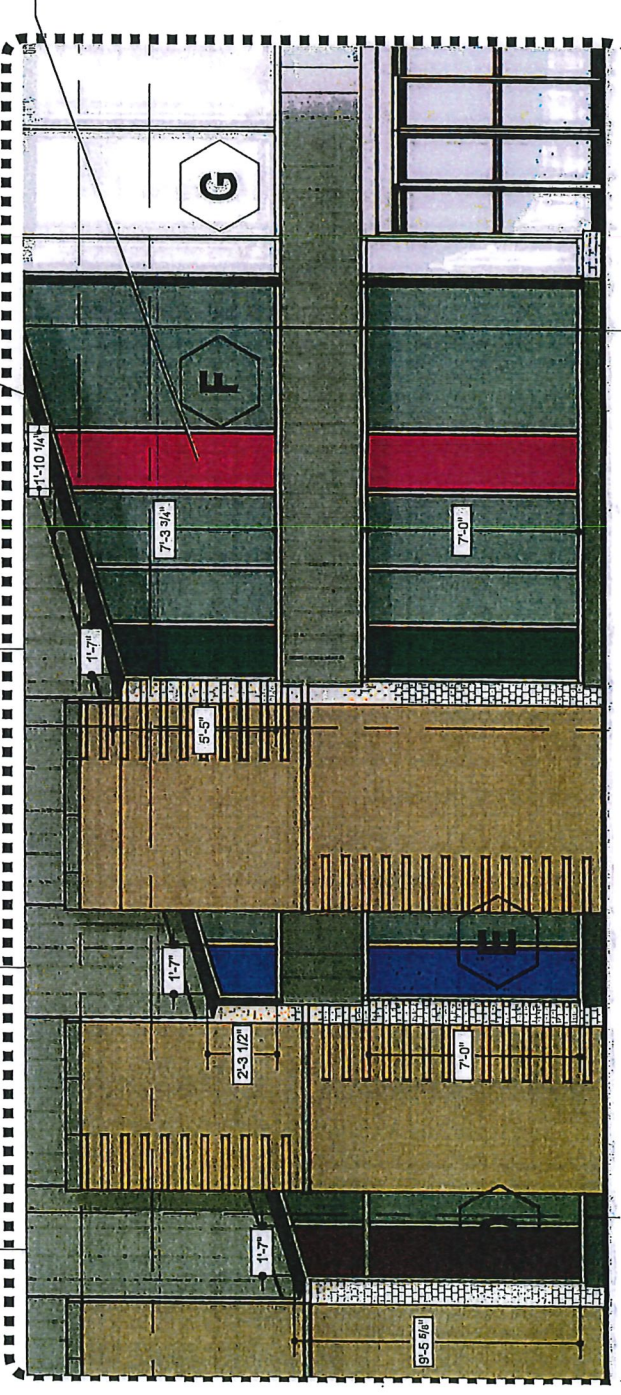
1 VB Exterior Vinyl Bands Elevation - Building Entrance (Northeast)
 Scale: 1/16" = 1'-0"

Brand Light Plum Translucent Vinyl,
 Applied in between window mullions.

Brand Marine Blue Opaque Vinyl,
 Applied in between window mullions

Brand Apple Green Opaque Vinyl,
 Applied in between window mullions

Brand Hot Pink Translucent Vinyl,
 Applied in between window mullions



2 VB Exterior Vinyl Bands Elevation - Building Entrance (Northeast)
 Scale: 1/4" = 1'-0"

Exterior Grade Translucent Vinyl / Film applied to first surface (exterior face) of architectural glass.

There are a total of 4 columns of windows to be covered on the Northeast elevation of the building. Vinyl colors will alternate.

Thoroughly clean the glass. Install the vinyl so it is free of dust, dirt, fingerprints, rips, bubbles, and wrinkles.

Refer to sheet E 003 for standard color specifications.

Color samples shall be tested in the field with Designer and Architect present. Vinyl stock colors, subject to change.

Field verify all dimensions.



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 Drawn By: LM
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Sign Type VB
 Vinyl Bands



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Issued: 06-30-23
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Checked By: HA

Sign Type VL
Vinyl Logo

Sheet
EVL

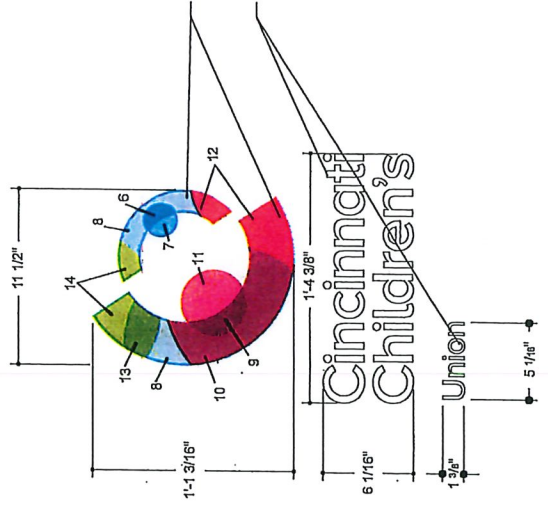
Colors are direct digitally printed on opaque White vinyl, which is applied to glass first surface. Sheet E 003 for Color Standards Specifications.

Opaque White vinyl letters, applied to glass first surface.

Thoroughly clean the glass. Install the vinyl so it is level and free of bubbles, wrinkles, and tears.

Field verify glass dimensions prior to fabrication and installation.

Artwork files to be provided.



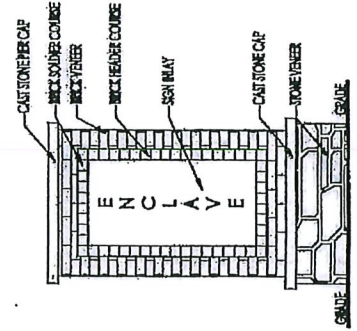
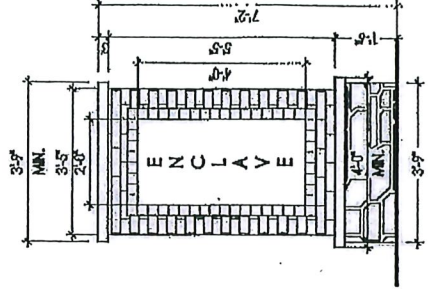
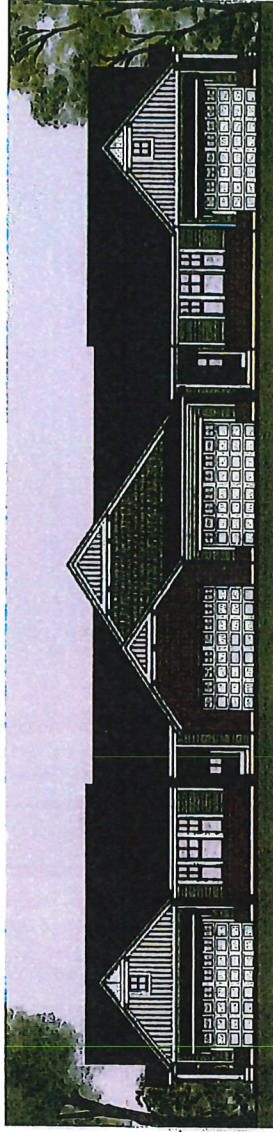
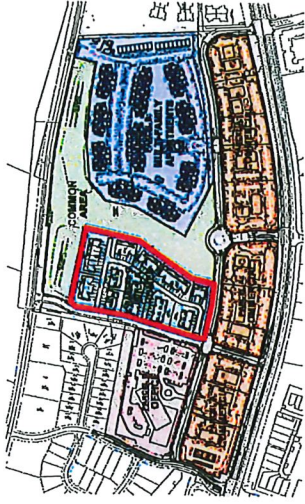
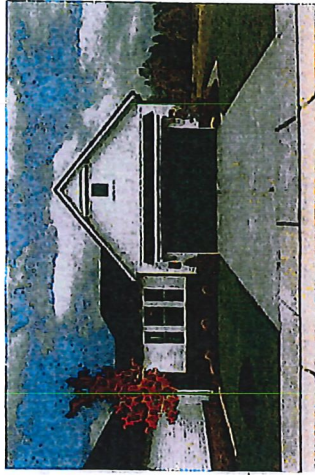
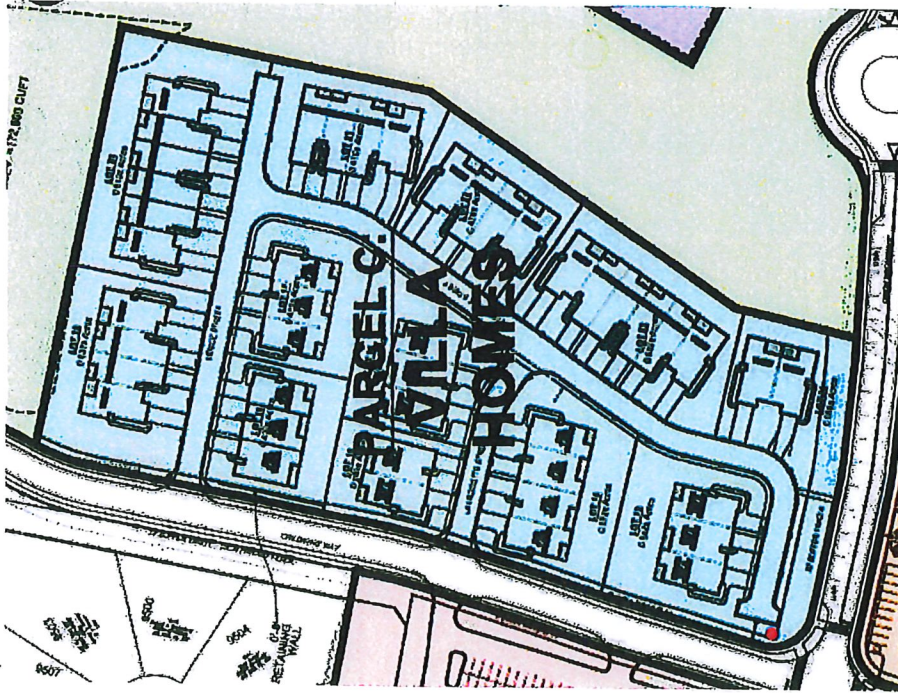
1 Sign Type VL - Vinyl Logo Graphics - Vertical Large
Scale: 1/2" = 1'-0"

Entry-Rules Signage
See Interior Weyinding Package.



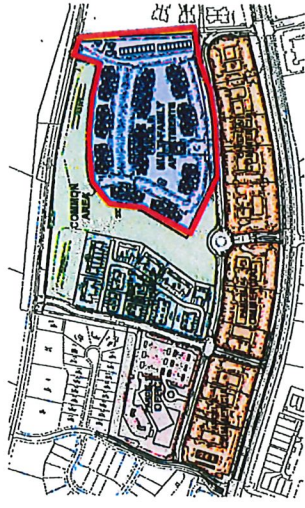
2 Sign Type VL - Vinyl Logo Graphics - Location Elevation
Scale: 1/2" = 1'-0"

Union Promenade | Suburban Residential Three (SR-3)



Section 3408.7 Entrance Signs

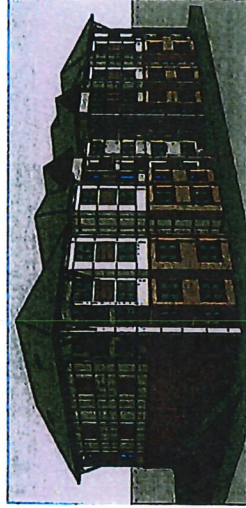
Union Promenade | Urban Residential Three (UR-3)



Overall 15'-0"



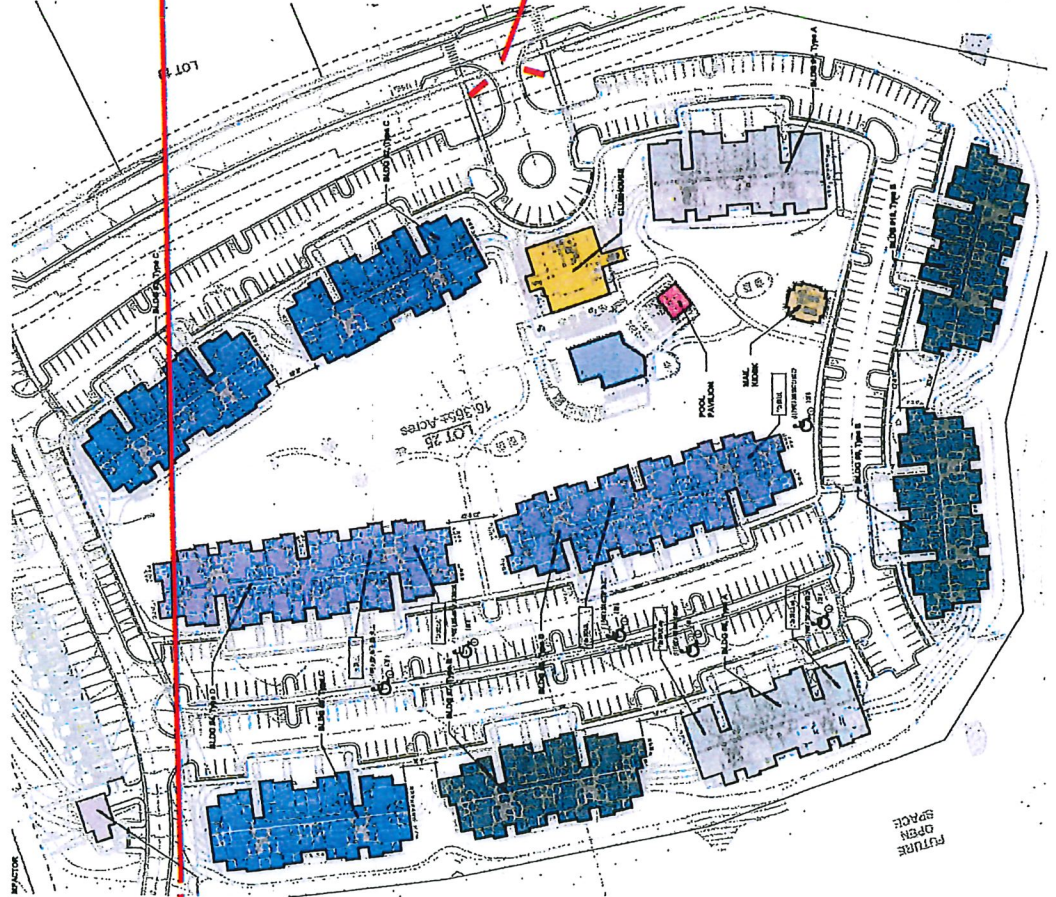
Section 3408.7 Entrance Signs



Section 3408.7 Entrance Signs



Section 3408.7 Entrance Signs



EXHIBIT

“B”

ZONE CHANGE/CONCEPT PLAN COMMITTEE REPORT

TO: Boone County Planning Commission

FROM: Steve Harper, Chair

DATE: March 6, 2024

RE: Request of 9541 US 42 LLC, per Thomas J. Ackerman (applicant) for City of Union, per Mayor Larry Solomon and Children's Hospital Medical center, per Maura Moran-Berry (owners) for a Zoning Map Amendment for a Special Sign District for an approximate 68 acre site located between US 42 and Old Union Road and north of Sweet Harmony Lane, Union, Kentucky, being known as the Union Promenade development. The request is for a Special Sign District in a Union Commercial/Union Neighborhood Office/Urban Residential Two/Planned Development (UC/UNO/UR-2/PD) district to allow alternative signage.

REMARKS:

1. We, the Committee Members were present at the Committee Meeting and voted on the above request or else were absent from voting. Further, based upon the vote, the Committee directs the Staff to draft the finding of fact and conditions, if deemed necessary, to complete the Committee Report.
2. We, the Committee, recommend approval of the above referenced Zoning Map Amendment for a Special Sign District based on the following findings of fact:

FINDINGS OF FACT:

1. The Committee concluded that the proposed Special Sign District meets the requirements of Section 3410.C of the zoning regulations. In making this finding, the Committee notes that:
 - a. The proposed signage, except as noted under conditions, is in general conformance with the standard sign regulations.
 - b. The proposed building mounted signage is proportional to the building wall or tenant space.
 - c. The proposed free standing signage, except as noted under conditions, is consistent with a previous action taken by the Union Board of Adjustment.
 - d. The proposed signage provides for a common design scheme.
2. The Committee concluded that the proposed Special Sign District is reasonable and appropriate and that the existing Union Town Plan Special Sign District is inappropriate for the site in question.

In making this finding, the Committee notes that the Union Promenade development has unique features and constraints and that the existing Union Town Plan Special Sign District is overly restrictive for the proposed development area.

3. The Committee concluded that the proposed Special Sign District generally conforms to the standard sign regulations. The Committee notes that the Union Promenade development, being a mixed use complex, requires modifications to the standard sign regulations.
4. The Committee concluded that since Union City Commission has denied the Change of Concept Development Plan application that would have allowed the development of an Aldi grocery store on Lots 2 and 3, a Condition relative to these lots is necessary.
5. The Committee concluded that the attached conditions are necessary to achieve consistency with the Our Boone County Plan 2040. The Committee also concluded that the attached conditions are necessary to mitigate any foreseeable community impacts that may be created by the development. The developer has signed a letter demonstrating agreement with the conditions:

CONDITIONS:

1. There shall be no more than four (4), single bollard signs on Lot 1, with a maximum of two (2) on the front of the building and a maximum of two (2) on the rear of the building, which shall flank the building entrance.
2. The proposed "Pick-Up" building mounted sign on Lot 2 shall not exceed thirty-six (36) square feet in area.
3. The proposed off-premise sign for Children's Hospital, located on Lot 3, shall be designed with a four (4) foot high brick base and shall not exceed fifteen (15) feet in height, unless the proposed twenty (20) foot height can be justified by a view study.
4. In the event that an Aldi grocery is not developed on Lots 2 and 3, signage on Lots 2 and 3 shall be the same as is being proposed on Lots 4 – 11.
5. The proposed signage for the attached single-family lot shall not exceed six (6) feet in height, and any additional brick or stone areas can be higher.
6. The proposed signage for the multi-family lot shall not exceed six (6) feet in height, and any additional brick or stone areas can be higher.

A copy of the Public Hearing minutes accompanies the findings and recommendation serving as a summary of the evidence and testimony presented by the proponents and opponents of this request. Attached is the signature page for the Zone Change/Concept Development Plan Committee Vote.

ZONE CHANGE/CONCEPT PLAN COMMITTEE VOTE

TO: Boone County Planning Commission

FROM: Steve Harper, Chairman

DATE: February 21, 2024

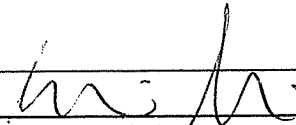
REMARKS:

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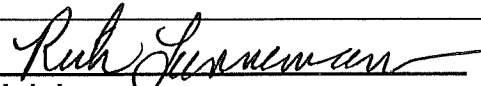
ZONING MAP AMENDMENT FOR A SPECIAL SIGN DISTRICT, Steve Harper, Chairman, Michael Schwartz, Staff

1. Request of **9541 US 42 LLC, per Thomas J. Ackerman (applicant) for City of Union, per Mayor Larry Solomon and Children's Hospital Medical center, per Maura Moran-Berry (owners)** for a Zoning Map Amendment for a Special Sign District for an approximate 68 acre site located between US 42 and Old Union Road and north of Sweet Harmony Lane, Union, Kentucky, being known as the Union Promenade development. The request is for a Special Sign District in a Union Commercial/Union Neighborhood Office/Urban Residential Two/Planned Development (UC/UNO/UR-2/PD) district to allow alternative signage.

Janet Kegley
For Project ____ Absent
Against Project ____
Abstain ____ Deferred ____

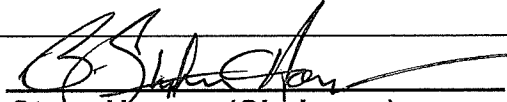


Corrin Gulick
For Project Absent ____
Against Project ____
Abstain ____ Deferred ____



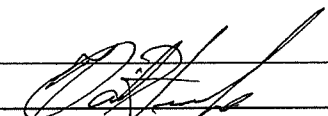
Rick Lunnemann
For Project Absent ____
Against Project ____
Abstain ____ Deferred ____

Kathy Clark (Alternate)
For Project ____ Absent ____
Against Project ____
Abstain ____ Deferred ____



Steve Harper (Chairman)
For Project Absent ____
Against Project ____
Abstain ____ Deferred ____

Steve Turner (Alternate)
For Project ____ Absent ____
Against Project ____
Abstain ____ Deferred ____



David Hincks
For Project Absent ____
Against Project ____
Abstain ____ Deferred ____

Jackie Steele (Alternate)
For Project ____ Absent ____
Against Project ____
Abstain ____

TOTAL: DEFERRED 4 FOR PROJECT 1 ABSENT
 AGAINST PROJECT ABSTAIN

**BOONE COUNTY PLANNING COMMISSION
BOONE COUNTY ADMINISTRATION BUILDING
BOONE COUNTY FISCAL COURTROOM
PUBLIC HEARINGS
FEBRUARY 7, 2024
7:30 P.M.**

Chairman Rolfsen opened the Public Hearing at 7:44 p.m. and welcomed the audience to the Planning Commission's February 7, 2024 Public Hearings.

COMMISSION MEMBERS PRESENT:

Mr. Randy Bessler
Mrs. Kathy Clark
Ms. Corrin Gulick, Vice Chairwoman
Mr. David Hincks
Mr. Steve Harper, Temporary Presiding Officer
Mrs. Janet Kegley
Mr. Rick Lunnemann
Mr. Eric Richardson
Mr. Charlie Rolfsen, Chairman
Mr. Bob Schwenke
Mrs. Jackie Steele, Secretary/Treasurer
Mr. Tom Szurlinski
Mr. Kenny Vaught

COMMISSION MEMBERS NOT PRESENT:

Mrs. Pamela Goetting
Mr. Steve Turner

LEGAL COUNSEL PRESENT:

Mr. Dale Wilson

STAFF MEMBERS PRESENT:

Mr. Kevin P. Costello, AICP, Executive Director
Mr. Michael D. Schwartz, Director, Zoning Services
Mr. Todd K. Morgan, AICP, Senior Planner

Chairman Rolfsen introduced the first item on the Agenda:

ZONING MAP AMENDMENT FOR A SPECIAL SIGN DISTRICT, Michael Schwartz, Staff

1. Request of **9541 US 42 LLC, per Thomas J. Ackerman (applicant) for City of Union, per Mayor Larry Solomon and Children's Hospital Medical center, per Maura Moran-Berry (owners)** for a Zoning Map Amendment for a Special Sign District for an approximate 68 acre site located between US 42 and Old Union Road and north of Sweet Harmony Lane, Union, Kentucky, being known as the Union Promenade development. The request is for a Special Sign District in a Union Commercial/Union Neighborhood Office/Urban Residential Two/Planned Development (UC/UNO/UR-2/PD) district to allow alternative signage.

Staff member, Michael Schwartz, referred to his PowerPoint presentation (see Staff Report). He gave a brief overview of the history of the Union Promenade project. The Zone Change and Concept Development Plan were approved by the City of Union in November, 2021. Various subdivision plans/plats and several site plans for the development have been approved by the Planning Commission staff. In addition, several sign permits have been issued. The proposed Aldi store and Change in Concept Development Plan application have been denied by the City of Union recently. Also, the Union Board of Adjustment approved Variances to increase the height and square footage of a monument sign as well as an increase in building mounted signs for UDF. Pages 2-4 of the Staff Report outline the regulations that are applicable to the request. As part of the Union Town Plan that was adopted in 2000, there is a Union Town Plan Special Sign District that covers the Union Promenade property. Those regulations are on Pages 5-7 of the Staff Report. It is important to note there are some strict sign regulations in the Union Town Plan area. Most notably, for building mounted signs, the maximum size is 24 square feet and individual letters can only be a maximum of 24" high. Finally, all signs can only contain 3 colors. The Future Land Use Map designates the site for residential and commercial uses. Currently, the development signs have to be installed on the site. Lot 1 (UDF site) would allow several signs that would wrap around the bollards. Each one would be 3.6 square feet in size. The applicant should address how these signs are compatible with the upscale theme of the development. The other proposed signage is generally consistent with base signage of the zoning regulations. Lots 2 and 3 of the subdivision are the former Aldi site. There is some missing and inconsistent information about what the developer is proposing on these two lots. Lots 4-11 are all retail lots. The proposed signs for these lots are generally consistent with the base sign regulations. In regard to the Children's Medical Center lot, the proposal calls for a 20 foot high and 125 square foot off site monument sign. It would be located on one of the commercial lots fronting on U.S. 42. The applicant should address why there is a need for such a sign when the building itself has multi-color signage. Also, the building is a destination that is known by appointment. The proposal also has 3 monument signs whereas only one is allowed. Two of the signs are 5.5 feet tall and a sign area of 27 square feet. The other sign is 5'9" tall with an area just over 50 square feet. Mr. Schwartz showed drawings of the proposed Children's signage. An identification sign is proposed on the Drees lot. They will be 7'2" tall and 8 square feet. Why is this height necessary? The multi-family component includes two 8 foot high, 22 foot wide entrance signs.

Each will have a sign area of 42 square feet. They will be located in the front of the section. In addition, one monument sign (7 feet tall and 30 square feet) will be located near Old Union Road.

Chairman Rolfsen inquired about the viewshed easement. Mr. Schwartz replied that the City of Union questioned the legality of such an easement because the property owner did not agree with it. He stated that the Planning Commission can deal with both scenarios if they wish to recommend approval of the Special Sign District (1 versus 2 lots). The rules for Lots 4-11 could apply to Lots 2 & 3.

Chairman Rolfsen asked if the applicant was present and wanted to proceed with their presentation?

Mr. T.J. Ackermann, applicant, stated that he wanted to come up with a package for signs for the entire development in order to simplify the process. The project has several districts – commercial, office and single-family home sites and the multi-family apartment site. Mr. Ackermann referred to his PowerPoint presentation. He showed the original design of the proposed buildings. He asked that Lot 2 and 3 be included in the request for Lots 4-11. He also wants to have unlimited sign colors to match logos and branding requirements. He mentioned that each lot would have one sign on each lot (Lots 2-11) to identify tenants. A common design theme will be offered in each usage type. He is agreeable to reduce the proposed Drees sign to 6 feet tall as well as the apartment signs.

Chairman Rolfsen asked if anyone in the audience would like to speak in favor or against the request or had any questions?

Ms. Noreen Morgan, Villas of Fowlers Creek HOA, stated that the development needs consistent signage especially with Children's Hospital Medical Center. If you have a sick kid, you need to know where to go.

Ms. Carol Oliver, 9700 Cobalt Way, stated that she is against all of the signage. The toppers flash through the night and talk when there is no one at UDF. The store is busy in the morning and into the night. She doesn't like flashy lights. When they close at 11:00 p.m., all the lights remain on. UDF doesn't need more signage. It has plenty.

Ms. Maura Moran Berry, Children's Hospital Medical Center, stated that the Children's lot sits back from the road. Several free-standing buildings will be located in front of their lot. The average height of those buildings will be 21 feet. They have serious concerns on whether the public can find them. The use is meant to serve families in the Union area but it is also a regional center. They expect patient visitors from all over the Cincinnati region. It is very important that they find us. For 5 months in a year it is dark at 5:30 p.m. It will be difficult to find the building. They will see patients until 8:00 p.m. Originally, their design included a curb cut and driveway off U.S. 42. It was denied. They have concerns particularly with northbound traffic on U.S. 42. Folks need to know to make the turn at Sweet Harmony Lane. The proposed sign on U.S. 42 is tall but it is consistent

with their design of signs at other facilities. The height of the sign has been measured to be identifiable for northbound traffic at Sweet Harmony Lane . If they miss it, then people will have to turn left at the main entrance of the subdivision. The viewshed to see the building is very narrow. All the monument signs are directional. They have two curb cuts – along Union Promenade and Children's Way.

Chairman Rolfsen asked if there was an emergency room at the medical building? Ms. Moran replied no. Most are scheduled appointments. It is a primary care facility and they take unscheduled appointments. The other half of the building is specialty care. Chairman Rolfsen questioned the need for all the signage when people use their phones for directions. Ms. Moran stated that the viewshed easement is a brief break to see their building. No tall trees or buildings can be placed there.

Mr. Costello asked if the sign was allowed, why does Children's need a viewshed easement? Ms. Moran replied that they want people to also see the building. They are not preventing a building to be built on the property. Just move it.

Mr. Lunnemann asked for a picture of the proposed building? He asked what was the height of the building? Ms. Moran responded 27 feet high. There will be illuminated building mounted signage. Mr. Lunnemann stated that he thought the building mounted sign on the 27 foot high building was enough to see the building. There is no need for a tall monument sign on U.S. 42. Ms. Moran replied that she still was concerned about seeing the building with trees in the area and the posted speed limit on U.S. 42. There is a 5 – 10 second interval to see the sign and building. Mr. Harper commented that knowing where to turn has some value to getting where you need to be. He appreciated what the applicant was trying to do to avoid confusion. Ms. Moran stated that their patient surveys indicate that the number one complaint is "hard to find" versus a service problem. They are trying to do more signage along the main roads.

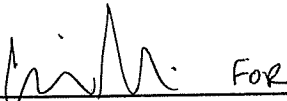
Ms. Gulick expressed a concern about the design of the sign, where it is going to go and how different it looks. It should match it better. Ms. Moran responded that it is their brand all over. Ms. Gulick stated that it isn't the logo but rather what it sets on and how different it looks.

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Seeing no further questions or comments, Chairman Rolfsen announced that the Committee Meeting for this item will be on February 21, 2024 at 5:00 P.M. This item will be on the Agenda for the Business Meeting on March 6, 2024 at 7:00 p.m. in the Fiscal Courtroom. Chairman Rolfsen closed the Public Hearing at 8:37 p.m.

APPROVED:

 For

Charlie Rolfsen
Chairman

Attest:



Kevin P. Costello, AICP
Executive Director

**BOONE COUNTY PLANNING COMMISSION
BOONE COUNTY ADMINISTRATION BUILDING
BOONE COUNTY FISCAL COURTROOM
PUBLIC HEARINGS
FEBRUARY 7, 2024
7:30 P.M.**

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Mrs. Kathy Clark
Ms. Corrin Gulick, Vice Chairwoman
Mr. David Hincks
Mr. Steve Harper, Temporary Presiding Officer
Mrs. Janet Kegley
Mr. Rick Lunnemann
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Mr. Bob Schwenke
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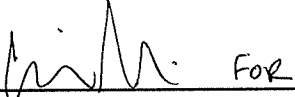
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APPROVED:

 For

Charlie Rolfsen
Chairman

Attest:



Kevin P. Costello, AICP
Executive Director

**BOONE COUNTY PLANNING COMMISSION
BOONE COUNTY FISCAL COURTROOM
BURLINGTON, KENTUCKY
BUSINESS MEETING
MARCH 6, 2024
7:00 P.M.**

Chairman Rolfsen opened the Business Meeting at 7:00 p.m. and welcomed the audience to the Planning Commission's March 6, 2024 Business Meeting. Mr. Rolfsen then invited everyone to join him in reciting the Pledge of Allegiance.

COMMISSION MEMBERS PRESENT:

Mr. Randy Bessler
Mrs. Kathy Clark
Mrs. Pamela Goetting
Ms. Corrin Gulick, Vice Chairwoman
Mr. Steve Harper, Temporary Presiding Officer
Mrs. Janet Kegley
Mr. Rick Lunnemann
Mr. Eric Richardson
Mr. Charlie Rolfsen, Chairman
Mr. Bob Schwenke
Mrs. Jackie Steele, Secretary/Treasurer
Mr. Tom Szurlinski

COMMISSION MEMBERS NOT PRESENT:

Mr. David Hincks
Mr. Steve Turner
Mr. Kenny Vaught

LEGAL COUNSEL PRESENT:

Mr. Dale Wilson

STAFF MEMBERS PRESENT:

Mr. Kevin P. Costello, AICP, Executive Director
Mr. Michael Schwartz, Director, Zoning Services
Todd K. Morgan, AICP, Senior Planner
Mr. Steve Lilly, GISP, Planner

APPROVAL OF THE MINUTES:

Chairman Rolfsen stated that the Commissioners received copies of the Minutes from the February 21, 2024 Business Meeting. He asked if there were any comments or corrections?

Mrs. Goetting moved to approve the Minutes as presented. Dr. Clark seconded the motion and it carried unanimously.

BILLS:

Mr. Kevin P. Costello, AICP, Executive Director, advised the Commissioners of the **Bills to be Paid**, which included a list of **Expenses** and **Salaries and Benefits** for a time period between February 8, 2023 and March 6, 2024.

EXPENSES:

Attorney Fees	4,600.00
Auto Expense	113.33
Consultant/Professional Svcs Fees	297.50
Filing Fees (CLURS)	1,100.00
Legal Ads/Recruitment	464.69
Miscellaneous Expense	155.00
Office & Board Meeting Supplies	1,304.75
Office Equipment / Maintenance	692.40
Office Equipment / Expense	324.99
Postage Expense	500.00
Printing/Pub/Dues/Subscriptions	<u>607.62</u>

TOTAL: \$ 10,160.28

SALARIES AND BENEFITS:

FICA-BCPC Portion	\$ 6,865.60
Health/Dental/Life/LTD	18,903.05
Retirement – BCPC Portion	21,839.71
Salaries – Staff Expenses	94,497.44
Salaries – BCPC & BOA	<u>1,480.00</u>

TOTAL: \$ 143,585.80

GRAND TOTAL: \$ 153,746.08

Ms. Gulick moved that the bills (expenses and salaries and benefits) be approved and paid as presented and indicated approval of those items, which have been previously paid. Mr. Szurlinski seconded the motion and it carried unanimously.

ACTION ON PLAN REVIEWS:

**ZONING MAP AMENDMENT FOR A SPECIAL SIGN DISTRICT, Steve Harper, Chairman,
Michael Schwartz, Staff**

1. Request of **9541 US 42 LLC, per Thomas J. Ackerman (applicant) for City of Union, per Mayor Larry Solomon and Children's Hospital Medical center, per Maura Moran-Berry (owners)** for a Zoning Map Amendment for a Special Sign District for an approximate 68 acre site located between US 42 and Old Union Road and north of Sweet Harmony Lane, Union, Kentucky, being known as the Union Promenade development. The request is for a Special Sign District in a Union Commercial/Union Neighborhood Office/Urban Residential Two/Planned Development (UC/UNO/UR-2/PD) district to allow alternative signage.

Staff Member, Michael Schwartz, read the Committee Report, which recommended approval based upon Findings of Facts and Conditions for the Zoning Map Amendment. It was recommended unanimously for approval with Mr. Lunnemann, Mr. Harper, Mr. Hincks and Ms. Gulick voting in favor of the request. The applicant has submitted a signed condition letter.

Chairman Rolfsen asked if there was anyone in the audience who wanted to speak in favor or against the request?

Mr. T.J. Ackerman, applicant, thanked the Committee and asked for the Board's support.

Seeing no further comment, **Mr. Harper moved, by Resolution to the City of Union, to recommend approval of the Zoning Map Amendment with 6 Conditions. Ms. Gulick seconded the motion.**

Chairman Rolfsen inquired about a View Study? Mr. Schwartz responded that during the Committee Meeting a representative from Children's Medical Center stated that they needed the furthest distance someone could see the Children's sign along U.S. 42 considering the speed limit. It would involve an analysis of a sign height of 20 feet versus 15 feet. The Zoning Administrator would then review the Study to determine the accuracy of the study's recommendations.

Ms. Gulick noted that she thought the applicant had already performed a Study. The requirement would involve redoing the Study or adding additional information about its results. Mr. Lunnemann stated that he hoped Mr. Schwartz would look at the View Study in a diligent manner and detail.

Chairman Rolfsen asked for a vote on the original motion made by Mr. Harper and seconded by Ms. Gulick. The motion passed unanimously.

CHANGE OF CONCEPT DEVELOPMENT PLAN/CONDITIONAL USE PERMIT, Corrin Gulick, Chairwoman, Todd Morgan, Staff

2. Request of **Hrezo Engineering Inc, per Jim Bertram (applicant) for Alex Othman (owner)** for: (1) a Change of Concept Development Plan for an approximate 2.62 acre area of the site; (2) a Conditional Use Permit for an approximate 7.52 acre area of the site; and (3) expansion of an existing commercial parking facility for an approximate 2.02 acre area of the site. The

site is an approximate 9.54 acre area located at 527-535 Hunter Road and 571-591 Hunter Road, Boone County, Kentucky, which is currently zoned Commercial Services (C-3). The submitted request is to allow the conversion of an approximate 7.52 acre area of the site from commercial parking to a truck stop and to allow the expansion of the existing commercial parking facility on an approximate 2.02 acre area of the site.

Mr. Richardson moved to defer the request until the April 3, 2024 Business Meeting. The Committee Meeting will be held on March 20, 2024 at 5:00 p.m. Mr. Szurlinski seconded the motion and it passed unanimously.

NEW BUSINESS

CHANGE OF CONCEPT DEVELOPMENT PLAN, Michael Schwartz, Staff

3. Request of **Kentucky 42, LLC, per Phillip Drees (applicant/owner)** for a Change of Concept Development Plan for an approximate 2.88 acre area located along the southeast side of US 42, between Braxton Drive and Old Union Road, approximately four hundred (400) feet southwest of Braxton Drive, and having a Parcel Identification Number (PIDN) of 063.00-29-003.04, Union, Kentucky, which is currently zoned Commercial Two/Planned Development (C-2/PD). The submitted request is to allow the construction of a 2,200 square foot building for a retail, service, or office use.

ZONING MAP AMENDMENT, Steve Lilly, Staff

4. Request of **Bodies By Mike, per Chris Deitrichs (applicant/owner)** for a Zoning Map Amendment from Suburban Residential One (SR-1) to Industrial One (I-1) for an approximate 1.47 acre area located at 10709 Dixie Highway, including the lot having a Parcel Identification Number (PIDN) of 075.00-00-035.00, Boone County, Kentucky. The request is for a zone change to allow auto repair and a towing and impound lot.

ZONING MAP AMENDMENT, Michael Schwartz, Staff

5. Request of **Bayer Becker Engineers, per Jay Bayer (applicant) for Toebben Limited (developer) and Russell W. Markesbery (owner)** for a Zoning Map Amendment from Rural Suburban Estates (RSE) to Suburban Residential Three/Commercial One/Office One/Planned Development (SR-3/C-1/O-1/PD) for an approximate 1.4 acre area located at 1685 Stahl Road, Boone County, Kentucky. The request is for a zone change to allow the site in question to be incorporated into the Rivers Pointe Estates development.

Mrs. Goetting moved to schedule the Public Hearings for Items #3, #4 and #5 on April 3, 2024 at 7:30 p.m. in the Fiscal Courtroom Mr. Schwenke seconded the motion and it passed unanimously.

BOONE COUNTY COMPREHENSIVE PLAN, Jenna LeCount, Staff

6. Request of the **Long Range Planning/Comp Plan Committee** to hold a Public Hearing to present and hear comments regarding the statement of Goals and Objectives of the Boone County Comprehensive Plan, Our Boone County – Plan 2045. The statement of Goals and Objectives act as a guide for the preparation of the remaining Elements/Chapters of the comprehensive plan, Our Boone County – Plan 2045 in accordance with KRS Chapter 100.

Mrs. Steele moved to schedule the Public Hearing for Item #6 on April 17, 2024 at 7:00 p.m. Mr. Harper seconded the motion and is passed unanimously. Mr. Costello explained that the Public Hearing will immediately follow the Business Meeting.

H. EXECUTIVE DIRECTOR'S REPORT:

Mr. Kevin P. Costello, AICP, stated that Staff continues to search for additional Board and Staff training opportunities, whether in person or on-line. There will be many options to attend.

I. COMMITTEE REPORTS:

- Airport (Randy Bessler)
No Report
- Administrative/Personnel (Tom Szurlinski)
No Report
- Enforcement (Tom Szurlinski)
No Report
- Long-Range Planning/Comprehensive Plan (Bob Schwenke)
No Report
- Technical/Design Review (Rick Lunnemann)
No Report
- Executive (Charlie Rolfsen)
No Report

J. CHAIRMAN'S REPORT: (Charlie Rolfsen)

**K. OKI REPORT: (Randy Bessler)
No Report**

L. OTHER:

M. ADJOURNMENT:

There being no further business to come before the Planning Commission, **Mr. Bessler** moved to adjourn the meeting. **Mrs. Kegley** seconded the motion and it passed unanimously. The meeting was adjourned at 7:18 P.M.

APPROVED



Charlie Rolfsen
Charlie Rolfsen
Chairman

Attest:



Kevin P. Costello, AICP
Kevin P. Costello, AICP
Executive Director

SUPPORTING INFORMATION



BOONE COUNTY PLANNING COMMISSION

www.boonecountkyky.org/pc
www.boonecountygis.com

Boone County Administration Building
2950 Washington Street, Room 317
P.O. Box 958
Burlington, KY 41005

Phone (859) 334-2196; Fax (859) 334-2264
plancom@boonecountkyky.org

February 26, 2024

Thomas J. Ackerman
9541 US 42 LLV
4010 North Bend Road, Suite 301
Cincinnati, Ohio 45211

RE: Request of 9541 US 42 LLC, per Thomas J. Ackerman (applicant) for City of Union, per Mayor Larry Solomon and Children's Hospital Medical center, per Maura Moran-Berry (owners) for a Zoning Map Amendment for a Special Sign District for an approximate 68 acre site located between US 42 and Old Union Road and north of Sweet Harmony Lane, Union, Kentucky, being known as the Union Promenade development. The request is for a Special Sign District in a Union Commercial/Union Neighborhood Office/Urban Residential Two/Planned Development (UC/UNO/UR-2/PD) district to allow alternative signage.

Dear Mr. Ackerman:

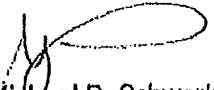
The following represents the recommended conditions of approval for the above referenced application as discussed by the Planning Commission at their February 21, 2024 meeting. As you verbally agreed to these conditions at that meeting, please so indicate by signing in the space provided at the end of this letter and return it to the Planning Commission's office no later than March 1, 2024.

CONDITIONS

1. There shall be no more than four (4), single bollard signs on Lot 1, with a maximum of two (2) on the front of the building and a maximum of two (2) on the rear of the building, which shall flank the building entrance.
2. The proposed "Pick-Up" building mounted sign on Lot 2 shall not exceed thirty-six (36) square feet in area.
3. The proposed off-premise sign for Children's Hospital, located on Lot 3, shall be designed with a four (4) foot high brick base and shall not exceed fifteen (15) feet in height, unless the proposed twenty (20) foot height can be justified by a view study.
4. In the event that an Aldi grocery is not developed on Lots 2 and 3, signage on Lots 2 and 3 shall be the same as is being proposed on Lots 4 - 11.
5. The proposed signage for the attached single-family lot shall not exceed six (6) feet in height, and any additional brick or stone areas can be higher.

6. The proposed signage for the multi-family lot shall not exceed six (6) feet in height, and any additional brick or stone areas can be higher.

Sincerely,


Michael D. Schwartz
Director, Zoning Services

MDS/ss

AGREEMENT

The developer of the approximate 68 acre site located between US 42 and Old Union Road and north of Sweet Harmony Lane, Union, Kentucky, and the property owner of the 6.367 acre lot having a PIDN of 063.00-31-012.00 agrees to the conditions listed herein for the above referenced Zoning Map Amendment for a Special Sign District.

By: Naura Moran-Berry, AWP 2/28/2024
Children's Hospital Medical Center (owner) Date

Thomas J. DeLoe, MANAGING MEMBER 2/28/2024
9541 US 42 LLC (developer) Date

**CITY OF UNION, KENTUCKY
ORDINANCE NO. 2024-06**

AN ORDINANCE OF THE CITY OF UNION, KENTUCKY APPROVING, WITH CONDITIONS, A REQUEST OF 9541 US 42 LLC PER THOMAS J. ACKERMANN (APPLICANT) FOR CITY OF UNION, PER MAYOR LARRY SOLOMON AND CHILDREN'S HOSPITAL MEDICAL CENTER PER MAURA MORAN-BERRY (OWNERS) FOR A ZONING MAP AMENDMENT FOR A SPECIAL SIGN DISTRICT FOR AN APPROXIMATE 68 ACRE SITE LOCATED BETWEEN US 42 AND OLD UNION ROAD AND NORTH OF SWEET HARMONY LANE, UNION, KENTUCKY, BEING KNOWN AS THE UNION PROMENADE DEVELOPMENT. THE REQUEST IS FOR A SPECIAL SIGN DISTRICT IN A UNION COMMERCIAL/UNION NEIGHBORHOOD OFFICE/URBAN RESIDENTIAL TWO/PLANNED DEVELOPMENT (UC/UNO/UR-2/PD) DISTRICT TO ALLOW ALTERNATIVE SIGNAGE.

WHEREAS, the City of Union, Kentucky is a member of the county-wide planning unit, having a county-wide planning commission known as the Boone County Planning Commission; and

WHEREAS, the Boone County Planning Commission received a request for a Zoning Map Amendment to the Boone County Zoning Map and such Zoning Map Amendment being a Request Of 9541 Us 42 LLC Per Thomas J. Ackermann (APPLICANT) For City of Union, Per Mayor Larry Solomon And Children's Hospital Medical Center Per Maura Moran-Berry (OWNERS) For A Zoning Map Amendment For A Special Sign District For An Approximate 68 Acre Site Located Between US 42 And Old Union Road And North Of Sweet Harmony Lane, Union, Kentucky, Being Known As The Union Promenade Development. The Request Is For A Special Sign District In A Union Commercial/Union Neighborhood Office/Urban Residential Two/Planned Development (UC/UNO/UR-2/PD) District To Allow Alternative Signage.

WHEREAS, the Boone County Planning Commission as the planning unit for the City of Union, Kentucky was requested to and has conducted a Public Hearing serving as a due process trial-type hearing and made findings recommending approval, with conditions, for the Zoning

Map Amendment; and

WHEREAS, the Boone County Planning Commission by Resolution No. R-24-005-A recommended approval of the rezoning described above, with conditions; and

WHEREAS, the recommendation of the Boone County Planning Commission is based upon certain findings and conditions attached to its Resolution, all of which have been reviewed by the City Commission for the City of Union, Kentucky; and

WHEREAS, the Union City Commission desires to affirm and approve the recommendation of the Boone County Planning Commission pursuant to K.R.S. 100.211 within ninety (90) days of the Planning Commission's final action and grant the application of the Zoning Map Amendment, with additional conditions; and

WHEREAS, it has been agreed by the Applicant and the City that the following additional conditions shall be applied and in force; Children's Hospital Medical Center shall be granted a 20 foot tall (including a 4 foot masonry base) 8' 2" wide above the masonry base ,163 Square Foot sign; and

WHEREAS, all temporary advertising shall have unlimited colors (photographic style imagery); and

WHEREAS, as to United Dairy Farmer's location (a) there shall be no time limit for display of each of its advertising campaign, (b) there will not be a limit on the quantity of advertising campaigns able to be displayed within a calendar year; (c) permits for temporary window advertising shall not be required; and

WHEREAS, Children's Hospital has provided a sufficient and comprehensive study documentation to justify the need for the higher proposed off-premises sign; and

WHEREAS, the recommendation of the Boone County Planning Commission was based

upon certain findings and conditions attached to its Resolution that were not supported by Children's Hospital sign study data; and

WHEREAS, a majority of the Union City Commission desires to adopt the recommendations of the Boone County Planning Commission for the Sign District “D” recommendation, with exception of the proposed off-premises sign for Children's Hospital, located on Lot 3; Children's Hospital Medical Center shall have a 20 foot tall (including a 4 foot masonry base) 8' 2” wide above the masonry base, 163 Square Foot signage. (2) All temporary advertising shall have unlimited colors (photographic style imagery); (3a) as to the United Dairy Farmer's location there shall be no time limit on its advertising campaigns; (3b) there will not be a limit on the quantity of advertising campaigns able to be displayed within a calendar year; and (3c) Permits for temporary window advertising shall not be required.

WHEREAS, the City Commission rejects the recommendation of the four (4) foot high brick base and shall not exceed fifteen (15) feet in height sign limitation and instead replaces it by adopting a four (4) foot high brick base, 8' 2” in width above the masonry base, which shall not exceed twenty (20) feet in height sign variance, as part of the Sign District “D” located on Lot 3.

NOW THEREFORE, BE IT ORDAINED BY THE CITY OF UNION, KENTUCKY as follows:

SECTION I

That the request for a change in the Zoning Map Amendment being a Zone Change from A Request Of 9541 Us 42 LLC Per Thomas J. Ackermann (APPLICANT) For City Of Union, Per Mayor Larry Solomon And Children's Hospital Medical Center Per Maura Moran-Berry (OWNERS) For A Zoning Map Amendment For A Special Sign District For An Approximate 68

Acre Site Located Between US 42 And Old Union Road And North Of Sweet Harmony Lane, Union, Kentucky, Being Known As The Union Promenade Development. The Request Is For A Special Sign District In A Union Commercial/Union Neighborhood Office/Urban Residential Two/Planned Development (UC/UNO/UR-2/PD) District To Allow Alternative Signage. The Request For A Zone Change shall be and is hereby approved, with conditions, as set forth in the Boone County Planning Commission's Resolution R-24-005-A, which includes, but is not limited to, their Findings of Fact and Description of the real estate which is the subject of this Ordinance and is attached hereto and marked *Exhibit "A"* and incorporated herein by reference as well as the Children's Hospital Comprehensive Study.

In addition, the following conditions shall apply to the subject Union Promenade Development: (1) Children's Hospital Medical Center shall have a 20 foot tall (including a 4 foot masonry base), 8' 2" wide above the masonry base, 163 Square Foot signage. (2) All temporary advertising shall have unlimited colors (photographic style imagery); (3a) as to the United Dairy Farmer's location there shall be no time limit on its advertising campaigns; (3b) there will not be a limit on the quantity of advertising campaigns able to be displayed within a calendar year; and (3c) Permits for temporary window advertising shall not be required.

SECTION II

If approval for Zoning Map Amendment shall be held invalid, in whole or in part, by any court of proper jurisdiction, such invalidity shall not affect the validity of any of the other zoning regulations, zoning map, or comprehensive plan provisions as they are severable from this Ordinance and they are intended to have effect regardless of any invalidity relating to this particular Ordinance.

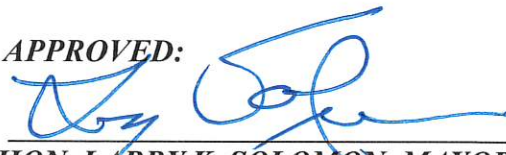
SECTION III

Publication of this Ordinance is hereby authorized to be by summary publication in accordance with Kentucky Law.

FIRST READING this the 6th day of May, 2024.

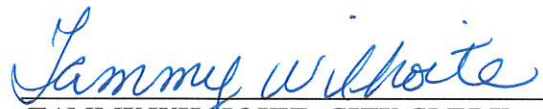
SECOND READING this the 20th day of May, 2024

APPROVED:



HON. LARRY K. SOLOMON, MAYOR

ATTEST:



TAMMY WILHOITE, CITY CLERK

Union Promenade Special Sign District

- A. All sections of Article 34 not otherwise replaced by this document shall apply.
- B. The text of this document shall be met, unless the attached drawings specifically provide otherwise.
- C. Permitted Sign Types:

- 1. Residential Entrance Signs

- a. Construction – Monument with brick and/or stone base
- b. Size – Fifty (50) square feet or split into two (2) signs at a maximum size of twenty-five (25) square feet each
- c. Height – Eleven (11) feet
- d. Number – One (1) sign at each entrance to the development
- e. Illumination – If illuminated, shall only be from an internal light source
- f. Limitations

- (1) Box, panel, or cabinet signs shall be prohibited

- 2. Business Entrance Signs

- a. Construction – Monument with brick and/or stone base
- b. Size – Fifty (50) square feet or split into two (2) signs at a maximum size of twenty-five (25) square feet each
- c. Height – Eleven (11) feet
- d. Number – One (1) sign at each entrance to the development
- e. Illumination – If illuminated, shall only be from an internal light source
- f. Limitations

- (1) Shall only identify the name of the Union Promenade development and shall not contain any message that pertains to an individual business within the overall development

- (1) Box, panel, or cabinet signs shall be prohibited

- 3. Site Identification Signs

- a. Construction – Monument with brick and/or stone base
- b. Size – Seventy-five (75) square feet
- c. Height – Eleven (11) feet
- d. Number – One (1) sign for each retail/service/office development
- e. Illumination – If illuminated, shall only be from an internal light source

- 4. Building Mounted Signs

- a. Size – Two (2) square feet of sign area per lineal foot of building width for the elevation upon which the sign is to be mounted, or in multi-tenant buildings, the width of the portion of the building frontage occupied by an individual business.
- b. Number

ZONING MAP AMENDMENT
SPECIAL SIGN DISTRICT

APPROVED

Staff M. Schwartz

Date 3/6/2024

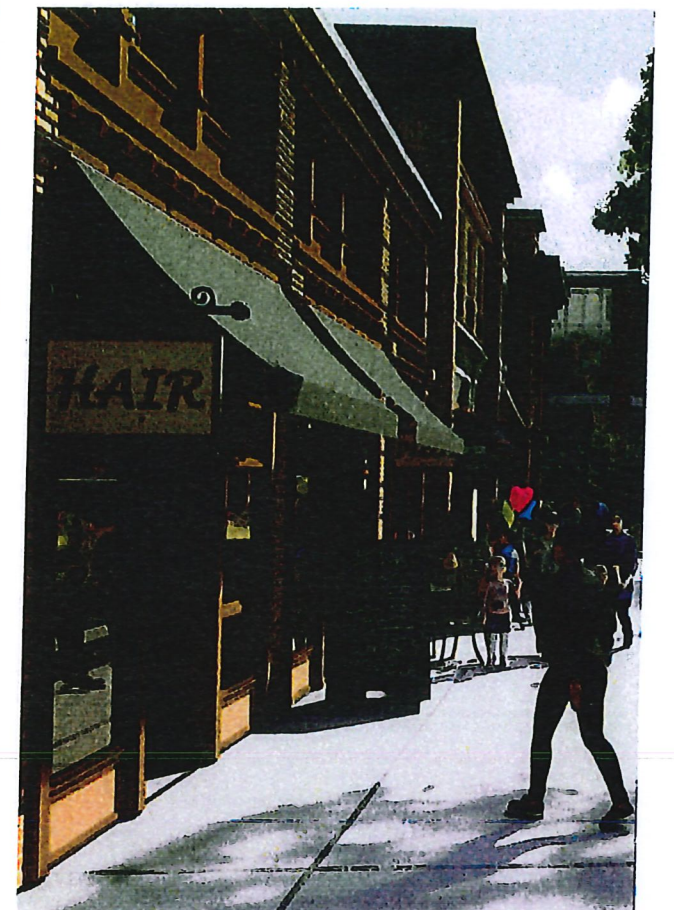
Boone County
Planning Commission

- (1) On single-tenant buildings, signs shall be allowed on no more than three (3) facades of a building
- (2) On multi-tenant buildings, signs shall be allowed on no more than four (4) facades of a building

c. Illumination - If illuminated, shall only be from an internal light source

d. Limitations

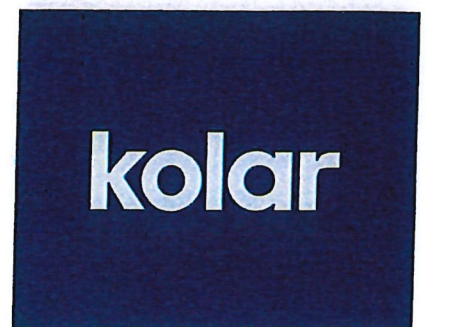
- (1) Box, panel, or cabinet signs shall be prohibited



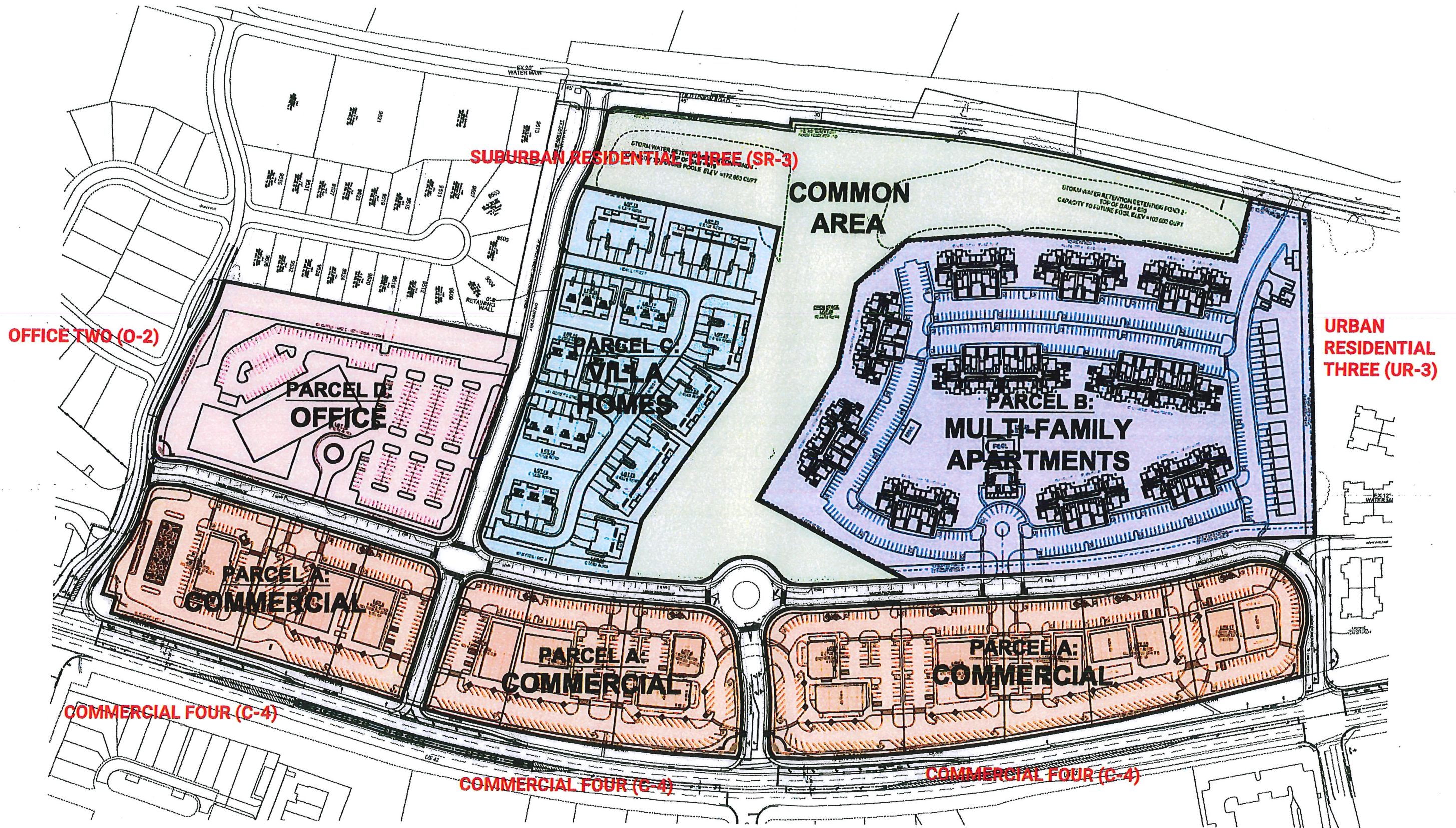
Union Promenade

Zoning Signage Submittal

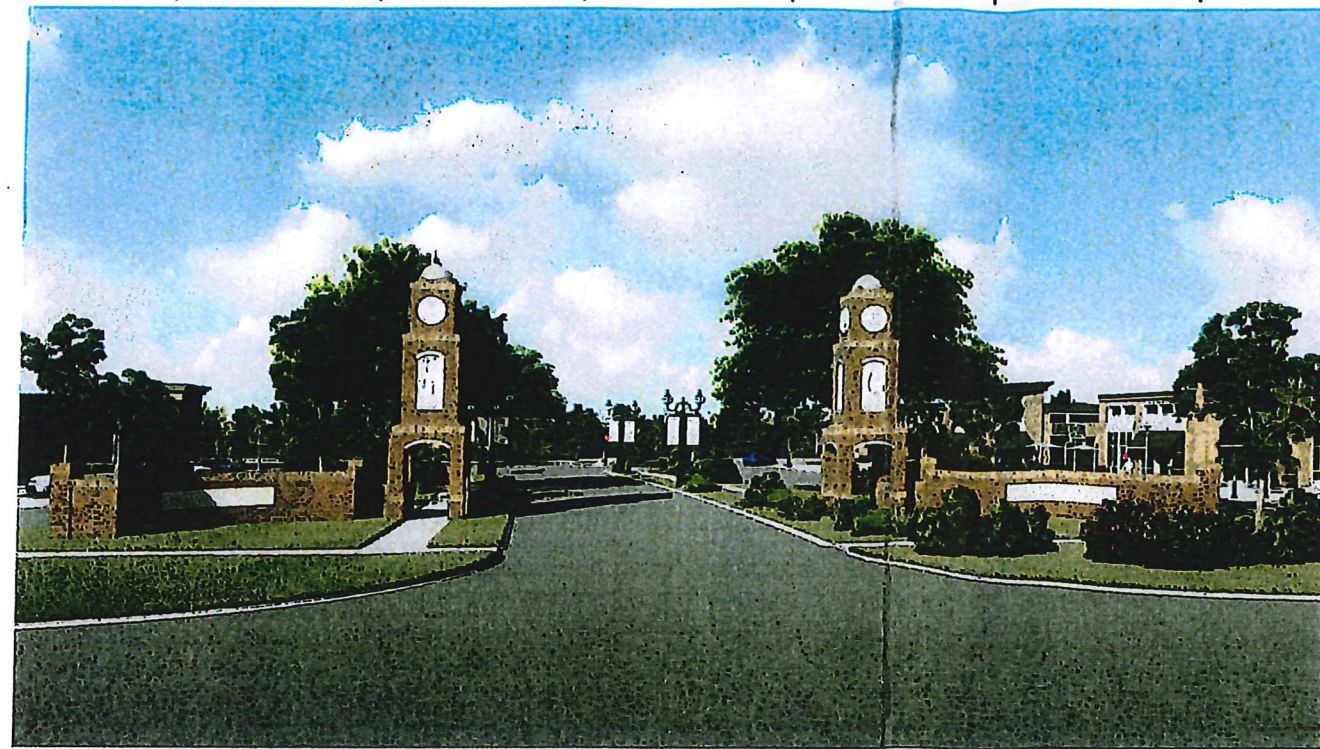
December 5, 2023



Union Promenade | Overall District Plan



VICINITY MAP



PROJECT NARRATIVE:

This project narrative is provided as a brief outline of the proposed scope of building improvements for this Project.

The Project consists of the construction of the gateway for a new mid-rise apartment building in City of Union, Kentucky accessed off of US 42 W. The program includes the main gateway and the secondary gateway.

The mid-rise project served by this gateway includes a total of 281 dwelling units (1, 2 & 3 bedrooms), 16 townhomes, a Clubhouse, a Mail Room, Pool Support Building, Maintenance Shop, trash structure and Trash Compactor enclosure, which are submitted under a separate Civic.

The Project scope includes site engineering and landscape improvements that are submitted under a separate Civic.

SYMBOL KEY:

	DOOR SYMBOL	NUMBERED BY TYPE REFER TO SCHEDULE
	WINDOW SYMBOL	NUMBERED BY TYPE REFER TO SCHEDULE
	GRID LINE TARGET	A,B,C, ETC. IN ONE DIRECTION 1,2,3, ETC. IN THE OTHER
	ROOM TAG	ROOM NUMBER
	TITLE	DRAWING NUMBER
	ELEVATION REFERENCES	SCALE
	SECTION REFERENCES	DIRECTION OF VIEW SHEET NUMBER
	DETAIL REFERENCES	DIRECTION OF VIEW SHEET NUMBER
	INTERIOR ELEVATIONS	VIEW NUMBER
	LEVEL REFERENCE	DIRECTION OF VIEW SHEET NUMBER
	ROOF SLOPE ARROW	6:12 SLOPE DIRECTION
	ROOF SLOPE	6:12 SLOPE
	ACCESSORY TAG	LOCATION OF NOTE APPLICATION
	NOTE TAG	NOTE NUMBER
	LEVEL CHANGE	LOCATION OF NOTE APPLICATION
	REVISION MARK	REV. LOCATION REV. No.



ARCHITECT'S STATEMENT
SECTION 110 & 115 KENNETT BUILDING
TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 903, FLORIDA STATUTES.

DEFERRED SUBMITTALS:

- 1) Deferral of any submittal items shall have the prior approval of the Building Official having jurisdiction.
- 2) Submittal documents for deferred submittal items shall be submitted to the City designated below for the project when they are ready. These will also be forwarded by the Owner to the Building Official having jurisdiction with a notation indicating that the deferred submittal documents have been reviewed and that they have been found to be in general compliance with the design of the project.
- 3) The deferred submittal items shall not be included in their design and submittal documents have been approved.

LIST EXCLUDING BUT NOT LIMITED TO:

- A) BUILDING RAILINGS & GUARDRAILS REVIEW BY ARCHITECT
- B) FIRE ALARM SYSTEM REVIEW BY ARCHITECT
- C) AUTOMATIC FIRE SUPPRESSION (SPRINKLER) SYSTEM REVIEW BY ARCHITECT
- D) FIRE ENGINEERED (WOOD) FLOOR & ROOF TRUSS SYSTEMS REVIEW BY ARCHITECT
- E) BUILDING IDENTIFICATION AND WAYFINDING SIGNAGE REVIEW BY OWNER
- F) POOL DESIGN, ENGINEERING & EQUIPMENT REVIEW BY OWNER
- G) SITE FENCING REVIEW BY LANDSCAPE ARCHITECT

UNION PROMENADE ENTRY SIGNAGE

UNION, BOONE COUNTY, KENTUCKY

<p>UNION PROMENADE CLUB APARTMENTS LLC</p> <p>4916 NORTH BEND ROAD, SUIT 201 CHICKENSVILLE, OHIO 43111</p>	<p>FUGLEBERG KOCH</p> <p>2559 TEMPLE TRAIL WINTER PARK, FLORIDA 32789 PHONE: (407) 824-6995 FAX: (407) 823-9557</p>	<p>VIOX & VIOX</p> <p>456 ERLANGER RD. ERLANGER, KY 41018 PHONE: (859) 727-3250 FAX: (859) 727-4452</p>	<p>SCA Consulting Engineers</p> <p>12511 EMILY COURT SUGARLAND, TX 77478 PHONE: (281) 774-7512</p>	<p>JLC & CO., CONSULTING ENGINEERS</p> <p>ATTN: ADAM J. BARNEY 1180 HARWOOD AVENUE, SUITE 2000 ALTA MONTE SPRINGS, FLORIDA 32714 PHONE: (214) 972-4168</p>	<p>VIOX & VIOX</p> <p>456 ERLANGER RD. ERLANGER, KY 41018 PHONE: (859) 727-3253 FAX: (859) 727-4452</p>	<p>TBD</p>
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SHT #	SHEET NAME	REV. No.	DATE
00-ARCH GENERAL			
A0.01	COVER SHEET		
01-ARCHITECTURAL			
A1.01	ARCHITECTURAL SITE PLAN		
02-ARCHITECTURAL			
A2.01	MAIN GATEWAY SIDE A - PLANS AND SECTIONS		
04-ARCHITECTURAL			
A4.01	MAIN GATEWAY SIDE A - ELEVATIONS		
A4.10	MAIN GATEWAY SIDE A - ANGNOMETRICS		
05-ARCHITECTURAL			
A5.01	WALL SECTION DETAILS		
06-ARCHITECTURAL			
A6.01	PLAN DETAILS & TOWER OAU CONFIGURATION		

ISSUE HISTORY

No.	Date	Description
DI	09-28-2023	DD SET

REVISION HISTORY

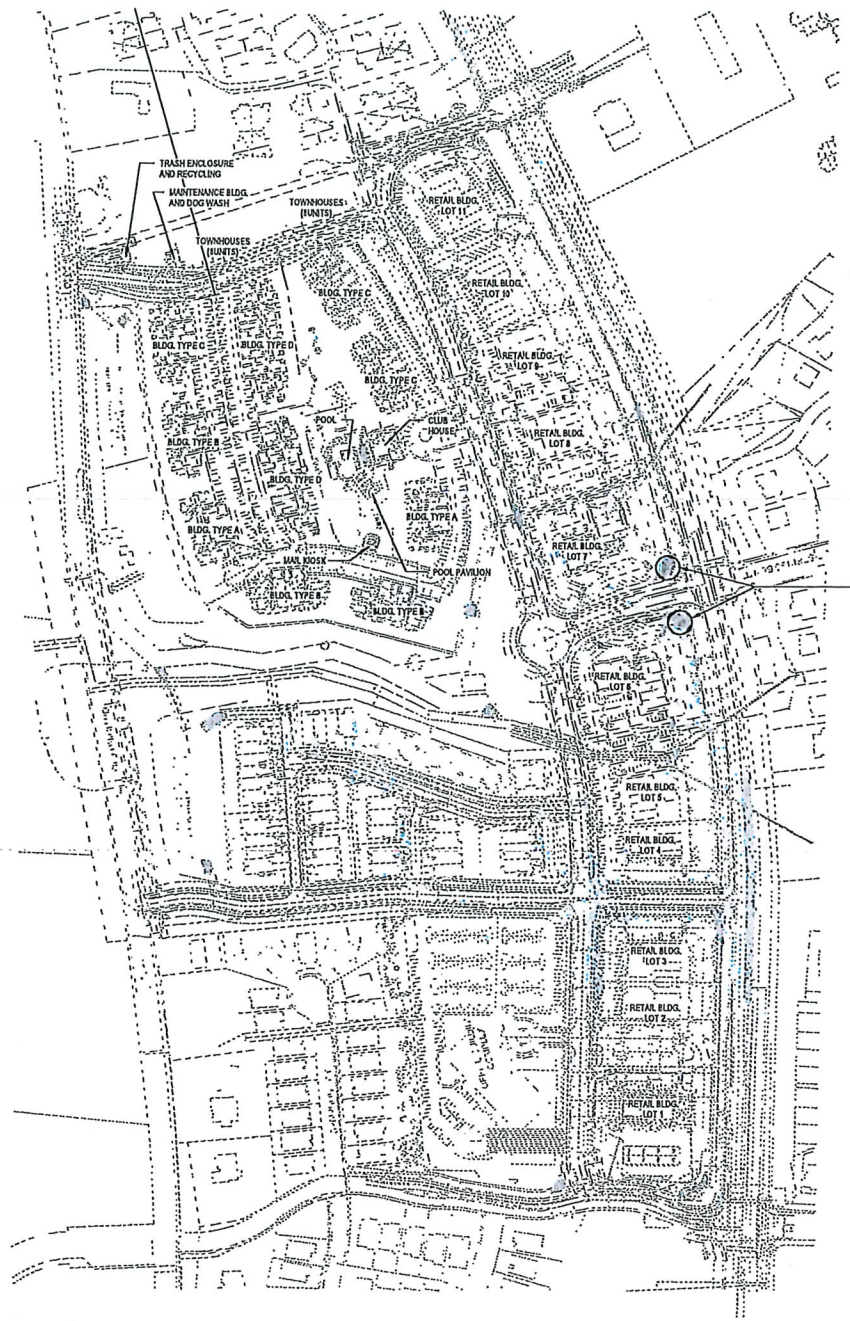
No.	Date	Description

Union Promenade Entry Signage
Union, Boone County, Kentucky

Drawn:
Checked:
Approval:
Date:
Project #:

Issue Date:
8/8/24

COVER SHEET
A0.01



A1 ARCHITECTURAL SITE PLAN
 1" = 167'0"

0' 75' 125' 250' 500'

ISSUE HISTORY

No.	Date	Description
01	08-28-2022	DD SET

REVISION HISTORY

No.	Date	Description

Union
 Promenade Entry
 Signage
 Union, Scott County, Kentucky

Drawn: _____ Author
 Checked: _____ Checker
 Approved: _____ Approver
 Date: _____ Issue Date
 Project #: 2024

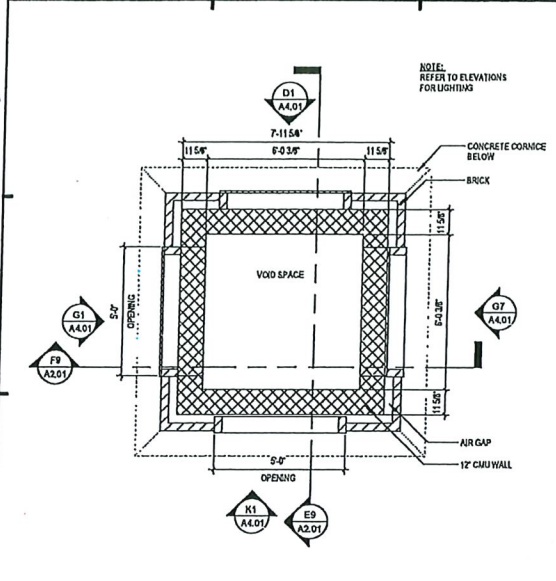
ARCHITECTURAL SITE PLAN

A1.01

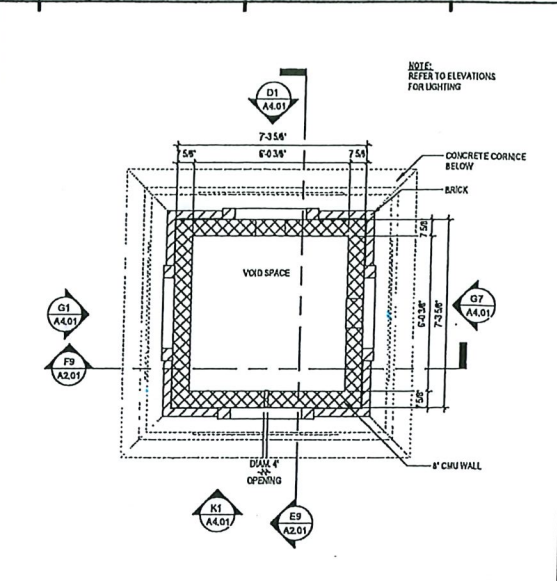
GENERAL NOTES:

- ALL DIMENSIONS ARE FROM OUTSIDE FACE OF STUD UNLESS NOTED OTHERWISE.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- EXTERIOR WALL SHOWN FOR REFERENCE ONLY. REFER TO BUILDING PLANS FOR EXTERIOR WALL TYPES, WINDOW SIZES, AND LOCATIONS.
- ALL PLUMBING WALLS NEED TO BE COORDINATED WITH ALL OTHER SYSTEMS.
- UNIT LOCATE PER FIRE DEPARTMENT REQUIREMENTS. PROVIDE ACoustICAL UNDERLAYER UNDERNEATH OVERALL TOPPING AT ALL FLOOR FLOOR LOCATIONS ON ELEVATED FLOORS. REFER TO SPECIFICATIONS FOR APPROVED PRODUCT.
- COORDINATE FINISHES WITH INTERIOR DESIGN DOCUMENTS.
- UNIT PLANS SHOWN ARE TYPICAL - SEE BUILDING PLANS FOR UNIT ORIENTATION - PLANS MAY NEED TO BE REVERSED - ADJUST DIMENSION LAYOUTS ACCORDINGLY.
- SEE LIFE SAFETY PLAN SHEETS FOR RATED WALL LOCATIONS.
- REFER TO ENLARGED KITCHEN AND BATH PLANS FOR FIN CLEARANCES.
- BALCONY GUARDRAILS 36" @ 1st FLOOR BALCONIES, 42" MIN @ ALL LEVELS ABOVE 1st FLOOR. RETURN AND ANCHOR ALL RAILS TO WALL.
- PROVIDE FIRE RATED KEE WAXER BOXES, WASHER BOXES, AND DRYER BOXES WHEN LOCATED WITHIN A RATED WALL.

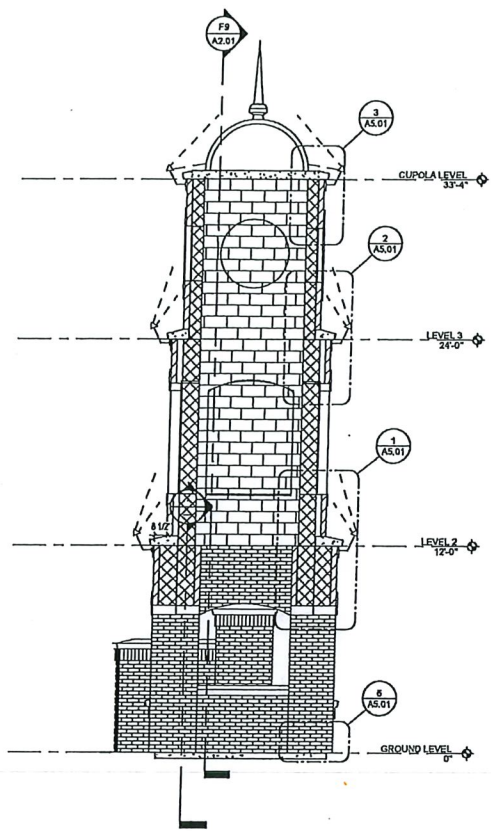
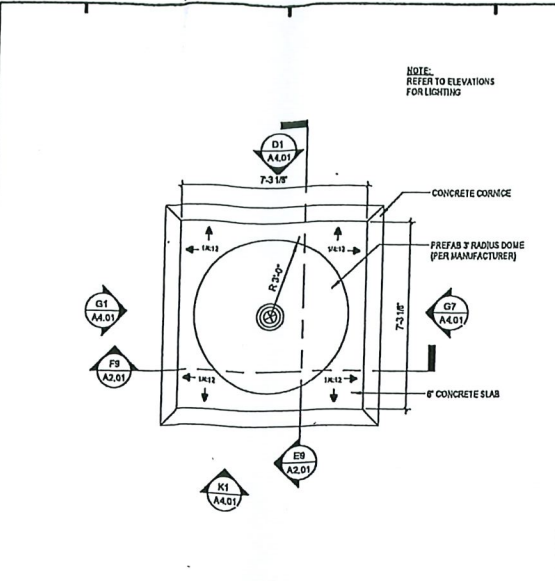
C1 MAIN GATEWAY SIDE A - LEVEL 2
3/8" = 1'-0"



C4 MAIN GATEWAY SIDE A - LEVEL 3
3/8" = 1'-0"

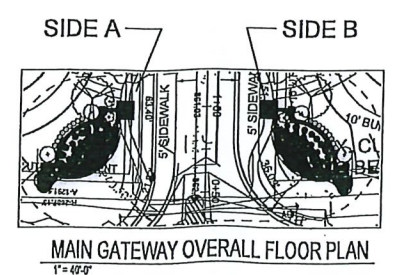
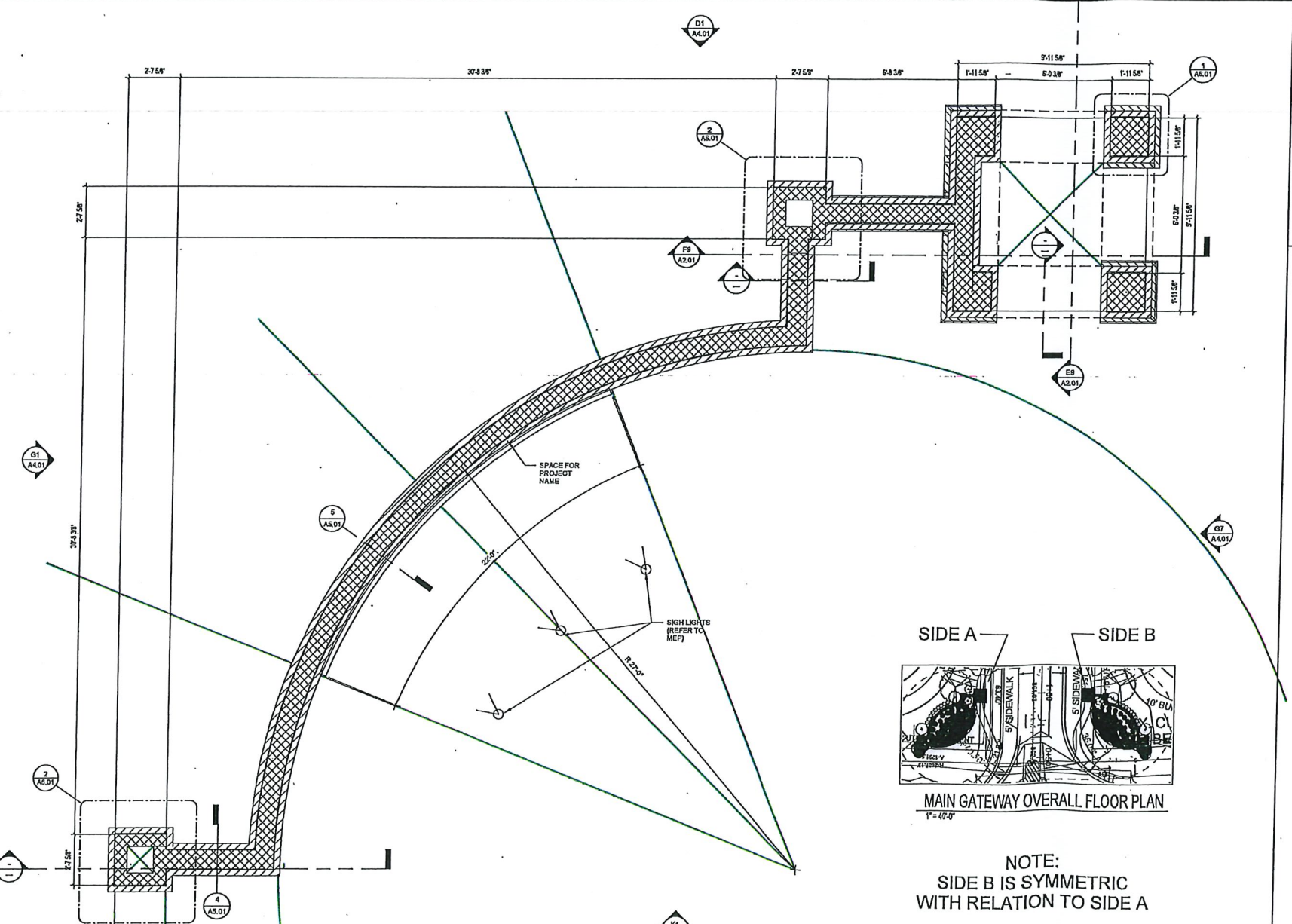


C7 MAIN GATEWAY SIDE A - ROOF LEVEL
3/8" = 1'-0"



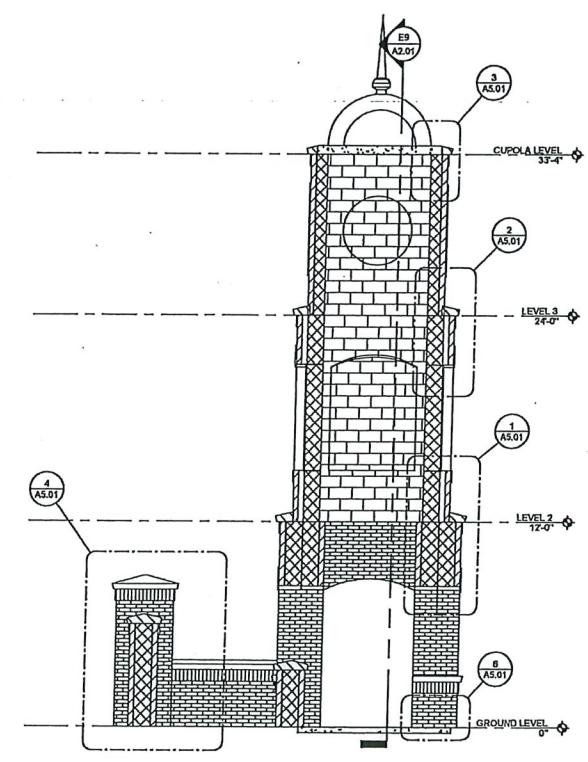
E9 MAIN GATEWAY SIDE A - SECTION 1
1/4" = 1'-0"

K1 MAIN GATEWAY SIDE A - GROUND LEVEL
3/8" = 1'-0"



MAIN GATEWAY OVERALL FLOOR PLAN
1/4" = 1'-0"

NOTE:
SIDE B IS SYMMETRIC WITH RELATION TO SIDE A



F9 MAIN GATEWAY SIDE A - SECTION 2
1/4" = 1'-0"

ISSUE HISTORY		
No.	Date	Description
01	09-28-2022	DD SET

REVISION HISTORY		
No.	Date	Description

Union Promenade Entry Signage
Union, Boone County, Kentucky

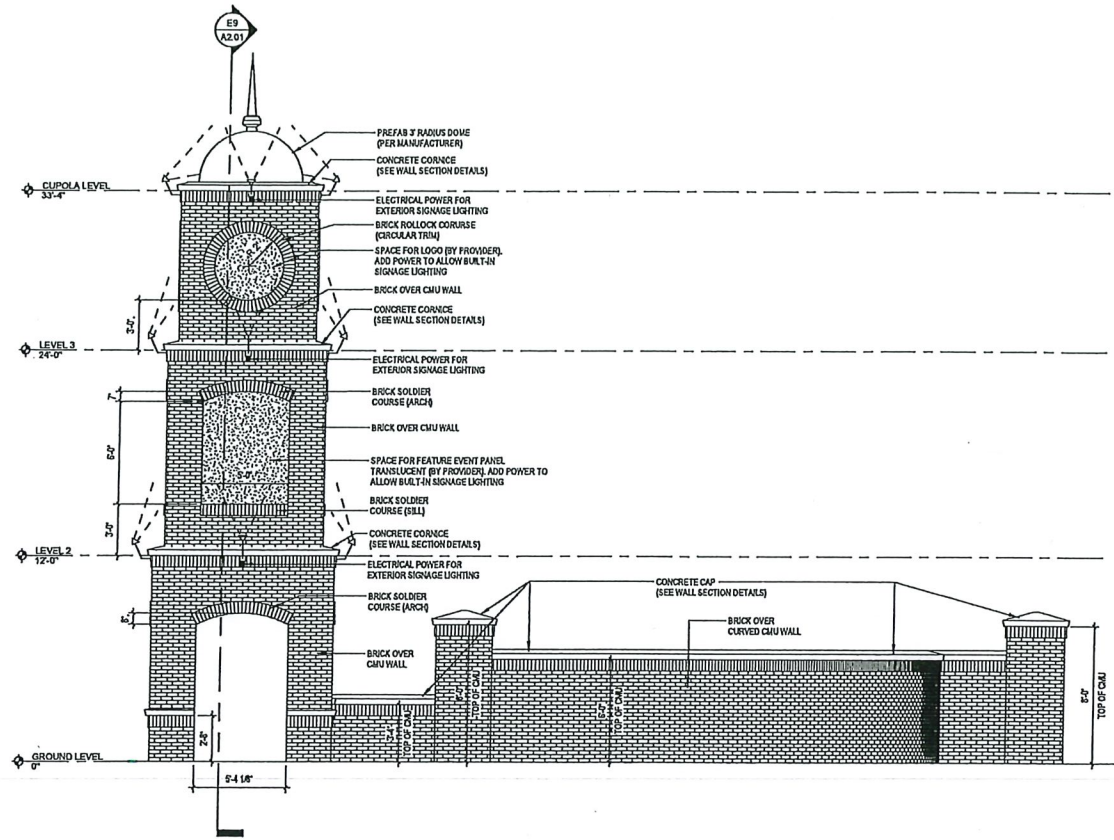
Drawn: _____ Author
 Checked: _____ Checker
 Approved: _____ Approver
 Date: _____ Issue Date
 Project #: 8904

MAIN GATEWAY SIDE A - PLANS AND SECTIONS

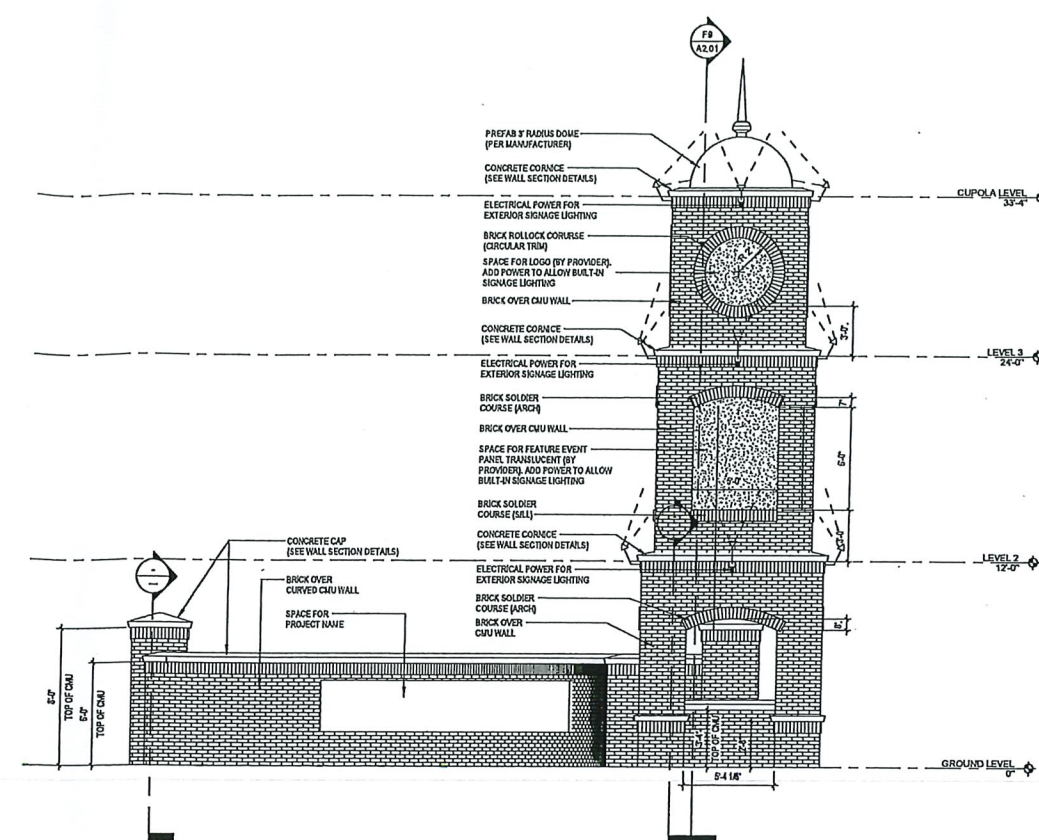
A2.01

ELEVATION KEY NOTES:

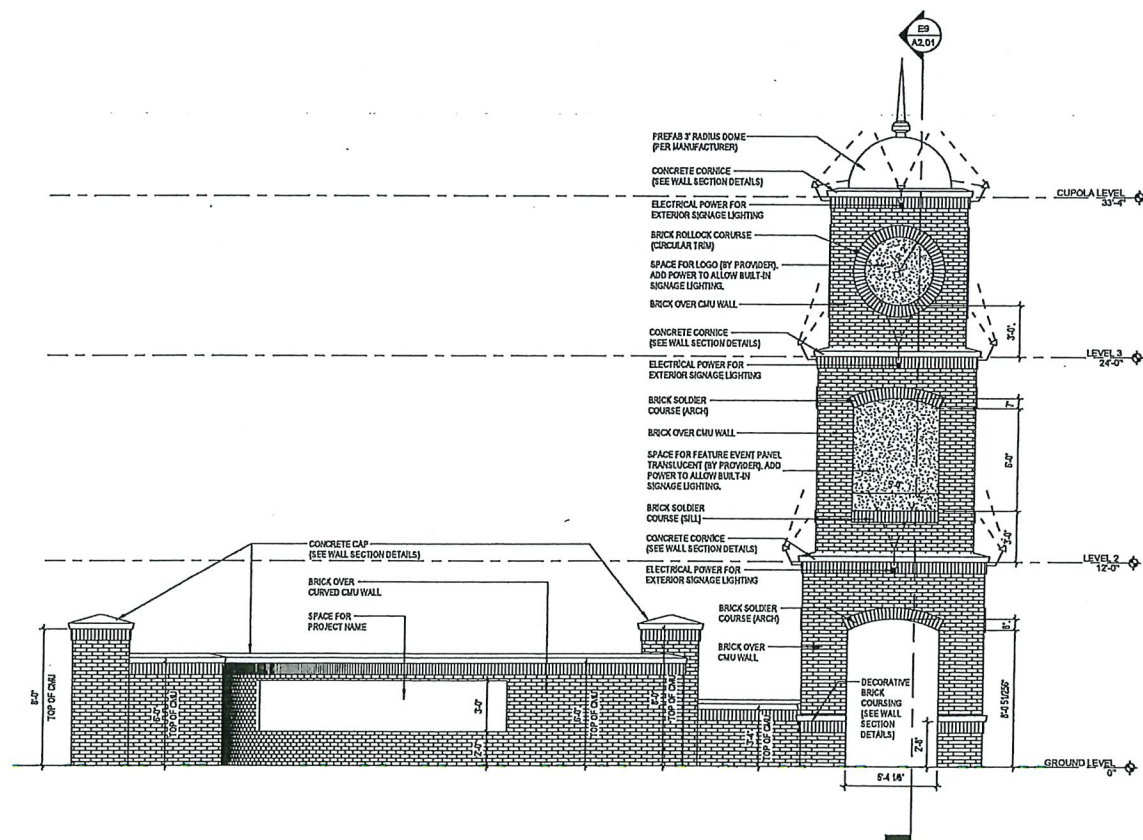
1. STUCCO
2. STUCCO EPS TRIM - SMOOTH FINISH
3. STONE VENEER
4. STONE TRIM
5. VINYL WINDOW SYSTEM - SEE SCHEDULE
6. METAL FLASHING
7. CONCRETE
8. STUCCO CONTROL JOINT - SEE DETAIL
9. METAL EYEBROW FEATURE
10. METAL GUARD RAIL & PANEL SYSTEM - 4" H. (TYP.)
11. STUCCO AREA - SIGNAGE DESIGN BY OTHERS - TO BE SUBMITTED LATER
12. LAUNDRY / BATHROOM EXHAUST VENTS
13. FLASHINGS - SEE DETAILS
14. BUILDING FIRE SIGN - SEE A.I. SIGN TO BE LOCATED ON FRONT OF BUILDING ONLY - SEE SITE PLAN FOR BUILDING ORIENTATION
15. GRADE - SEE CIVIL FOR ELEVATIONS
16. ELECTRICAL METER CENTER - SEE ELECTRICAL
17. A/C CONDENSING ROOFTOP UNIT - SEE MECHANICAL
18. LIGHT FIXTURE - SEE ELECTRICAL
19. METAL BOLARDS - SEE CIVIL
20. ALUMINUM STOREFRONT SYSTEM
21. FIRE EXTINGUISHER CABINET
22. FIRE DEPARTMENT CONNECTION



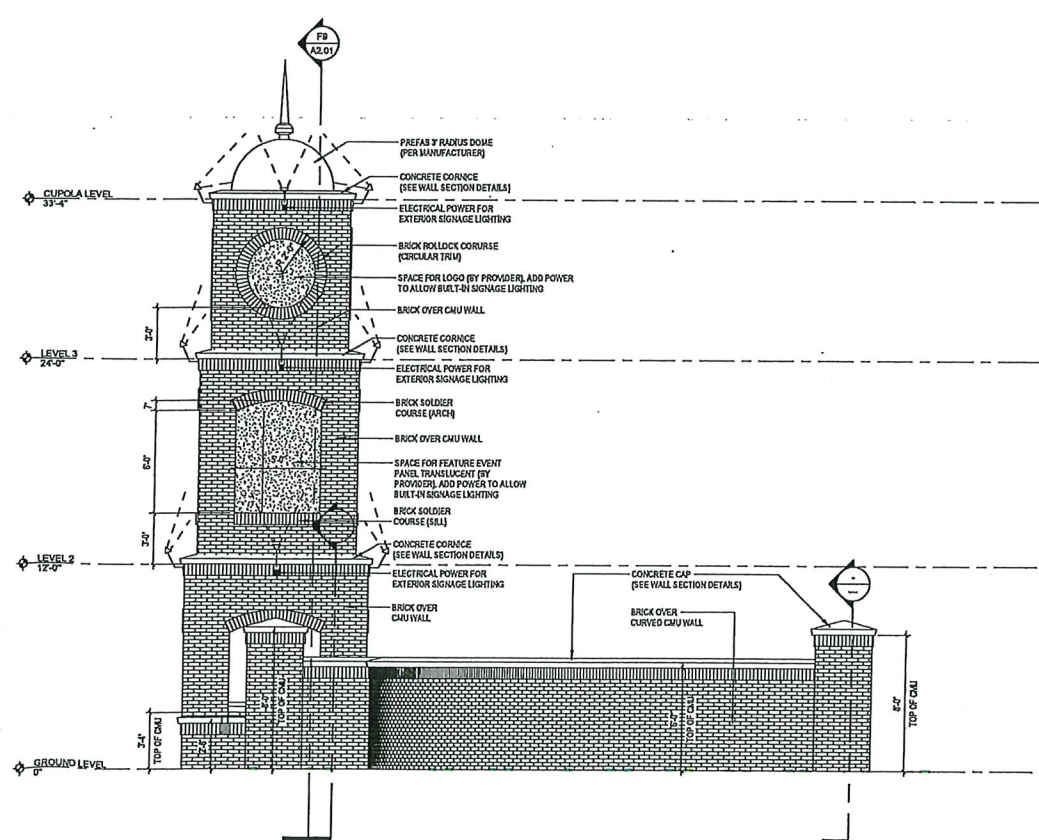
D1 MAIN GATEWAY SIDE A - NORTH ELEVATION
1/4" = 1'-0"



G7 MAIN GATEWAY SIDE A - EAST ELEVATION
1/4" = 1'-0"



K1 MAIN GATEWAY SIDE A - SOUTH ELEVATION
1/4" = 1'-0"



G1 MAIN GATEWAY SIDE A - WEST ELEVATION
1/4" = 1'-0"

ISSUE HISTORY

No.	Date	Description
01	06-28-2022	DD SET

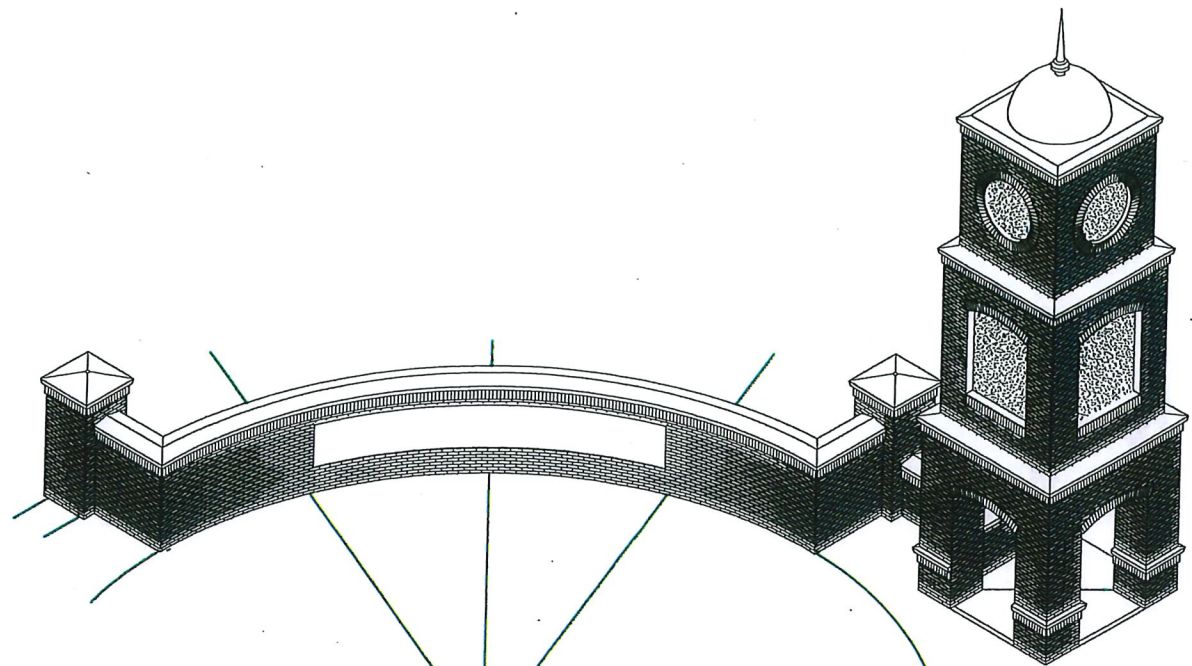
REVISION HISTORY

No.	Date	Description

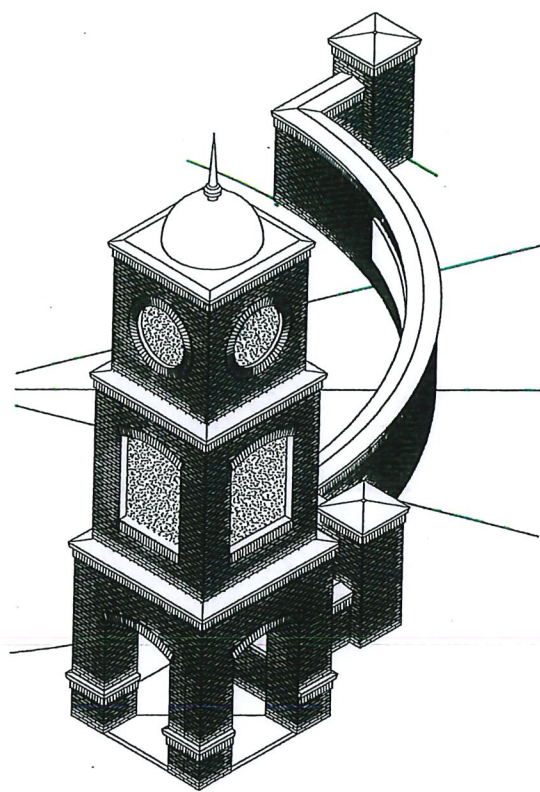
Union Promenade Entry Signage
Union, Boone County, Kentucky

Drawn: _____ Author
Checked: _____ Checker
Approved: _____ Approver
Date: _____ Issue Date
Project #: _____ 0904

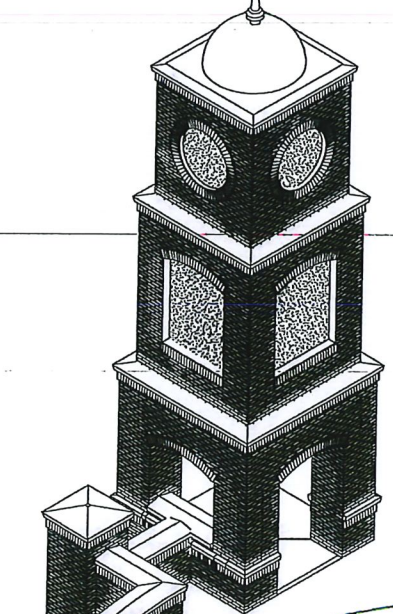
MAIN GATEWAY SIDE A - ELEVATIONS



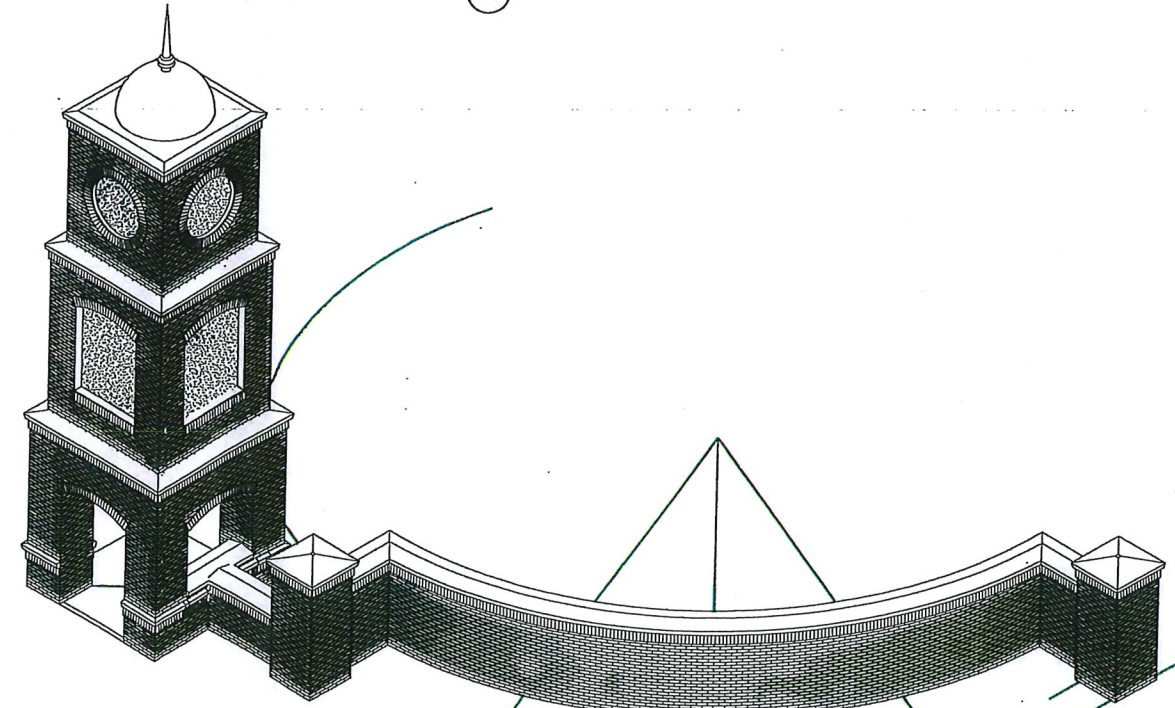
D1 MAIN GATEWAY SIDE A - AXON VIEW 1



E9 MAIN GATEWAY SIDE A - AXON VIEW 4



K1 MAIN GATEWAY SIDE A - AXON VIEW 2



K6 MAIN GATEWAY SIDE A - AXON VIEW 3

ISSUE HISTORY

No.	Date	Description
01	09-28-2022	DD EST

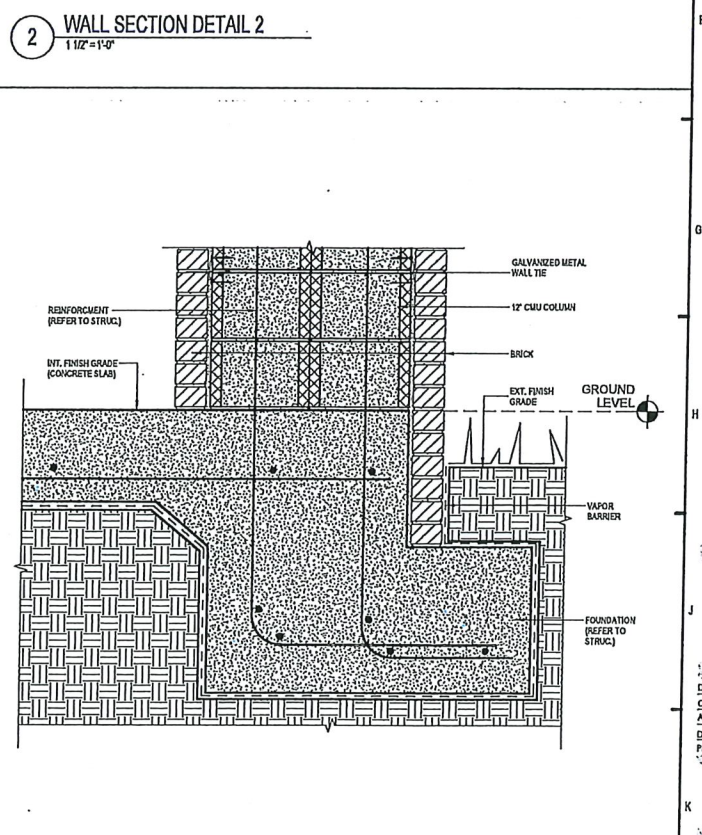
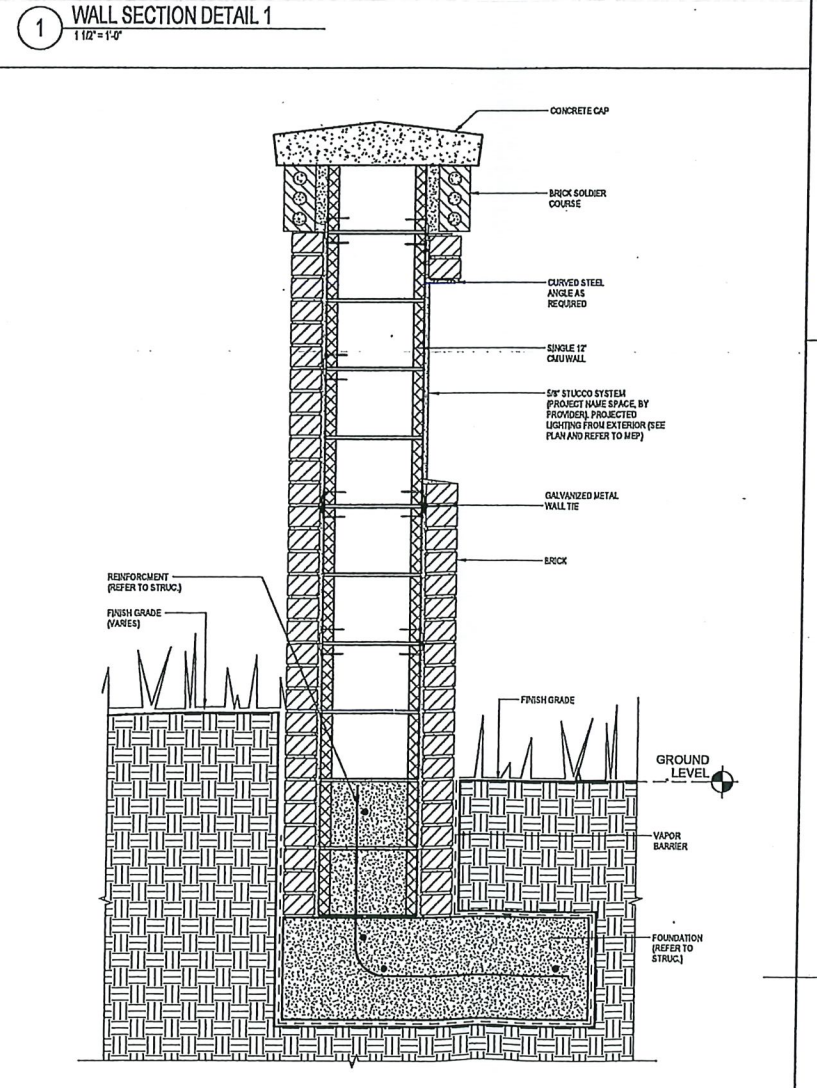
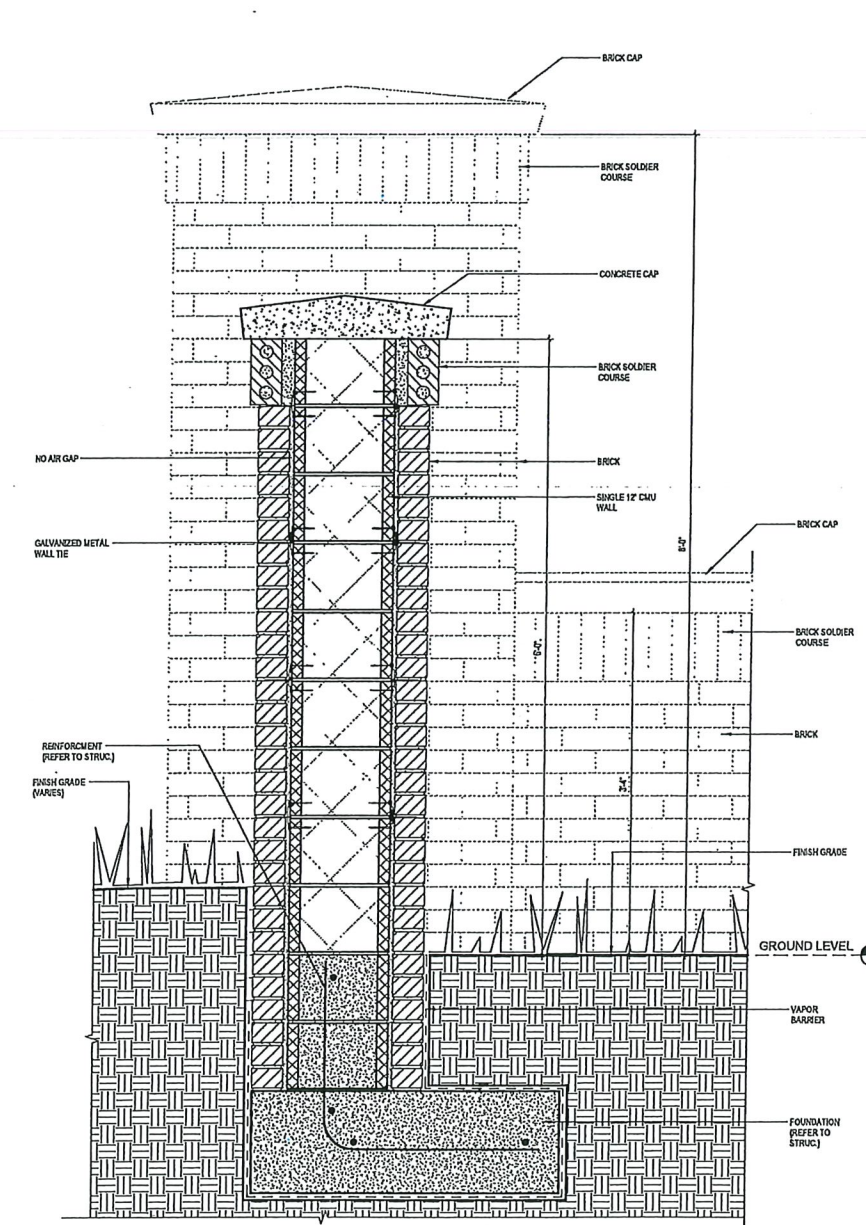
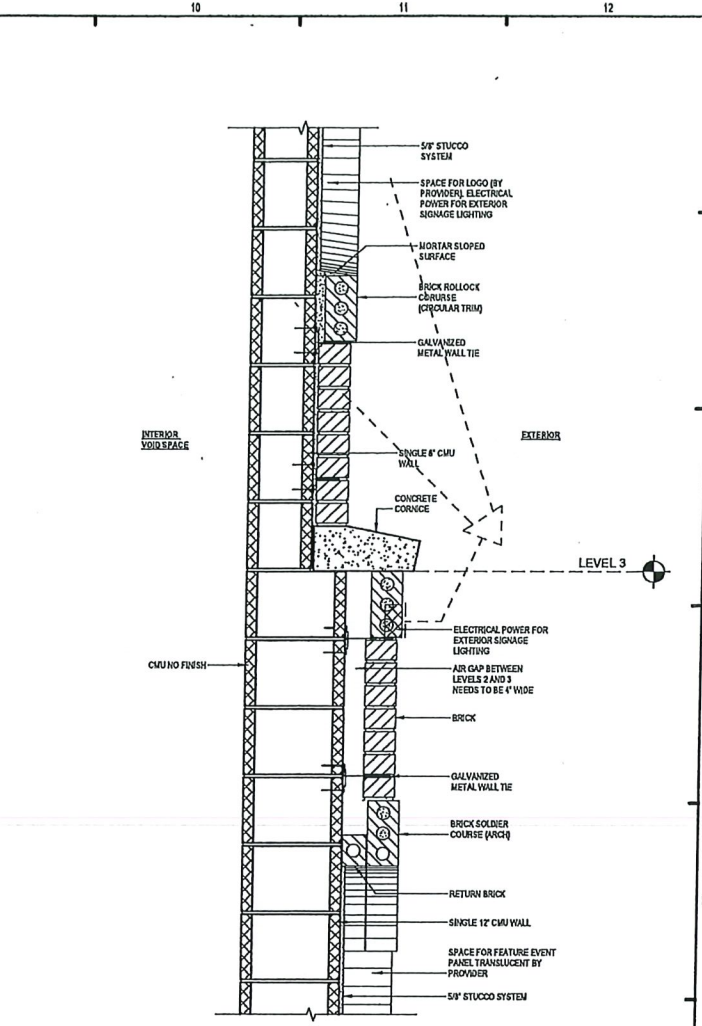
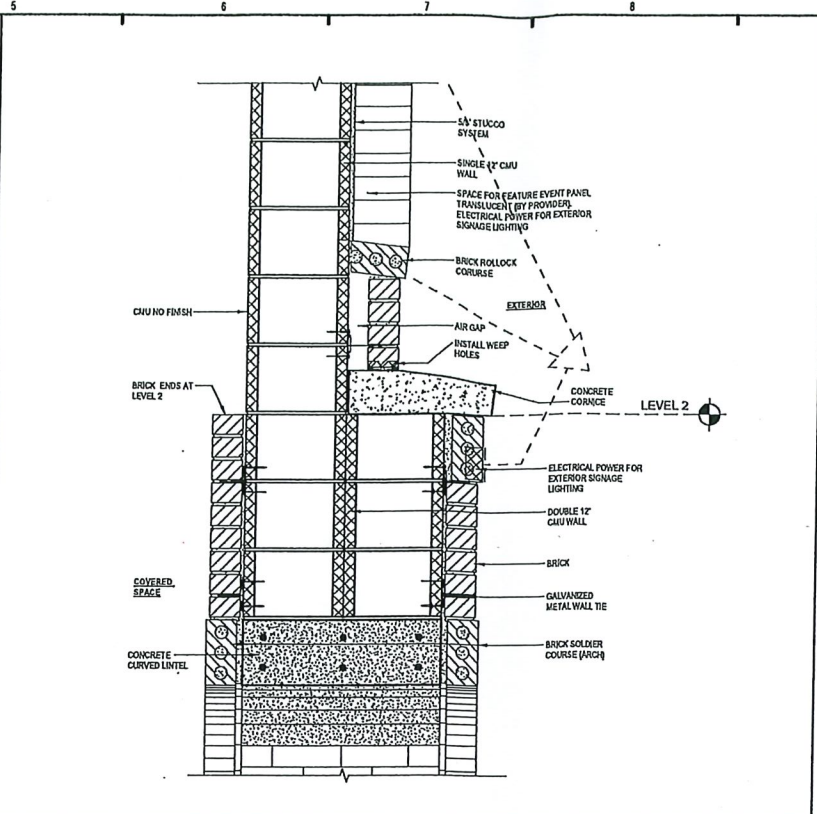
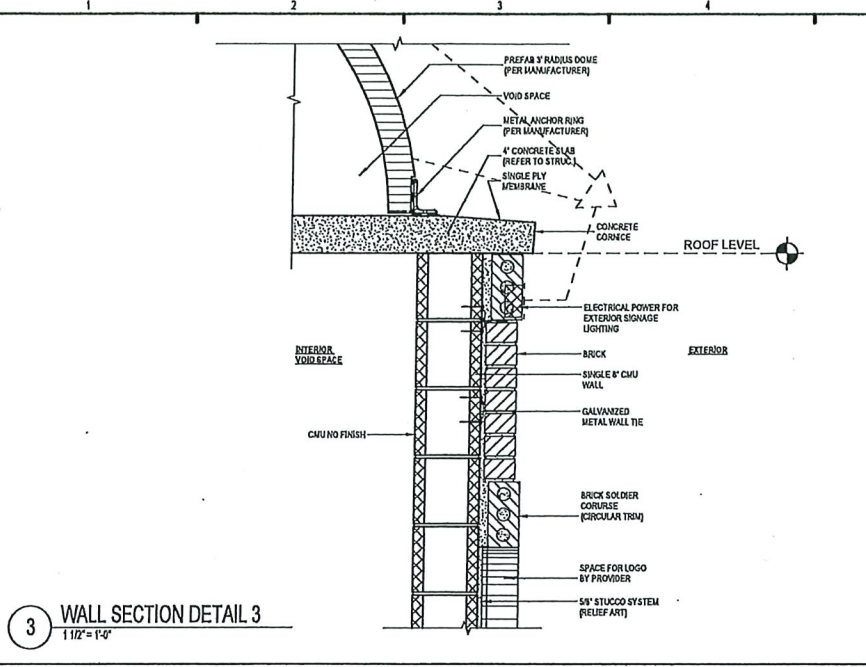
REVISION HISTORY

No.	Date	Description

Union
Promenade Entry
Signage
Union, Boone County, Kentucky

Drawn: _____ Author
Checked: _____ Checker
Approved: _____ Approver
Date: _____ Issue Date
Project #: 5904

MAIN GATEWAY SIDE A -
AXONOMETRICS



ISSUE HISTORY

No.	Date	Description
01	09-28-2022	DD SET

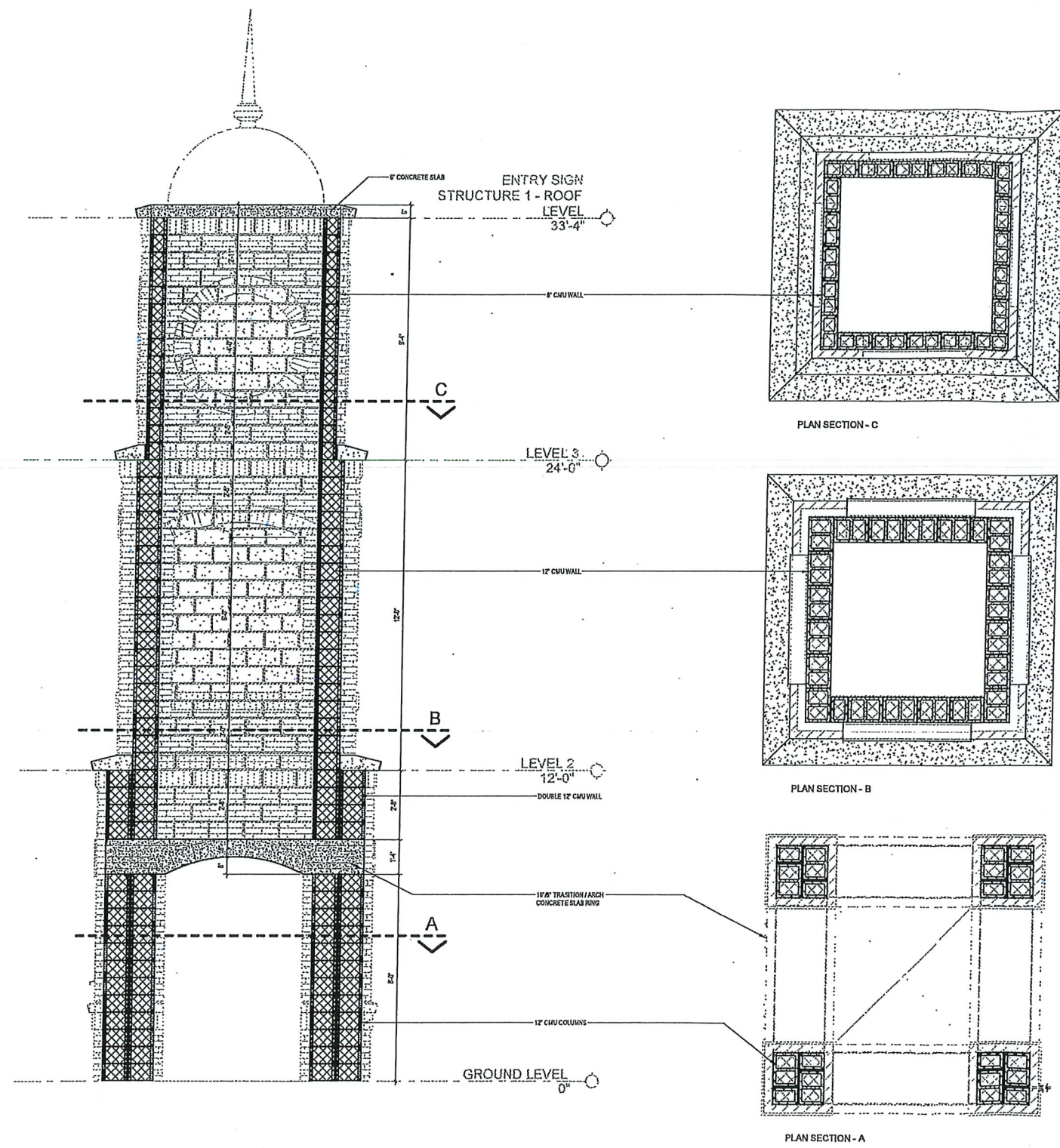
REVISION HISTORY

No.	Date	Description

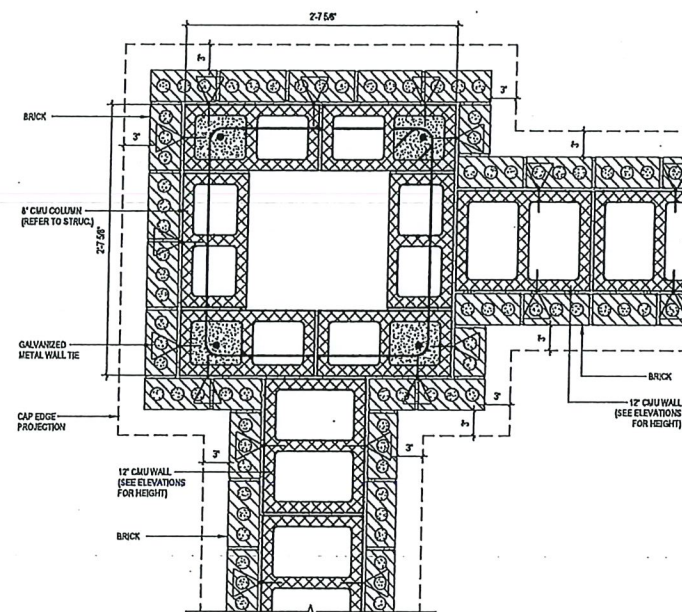
Union Promenade Entry Signage
 Union, Boone County, Kentucky

Drawn: _____ Author
 Checked: _____ Checker
 Approved: _____ Approver
 Date: _____ Issue Date
 Project #: 5904

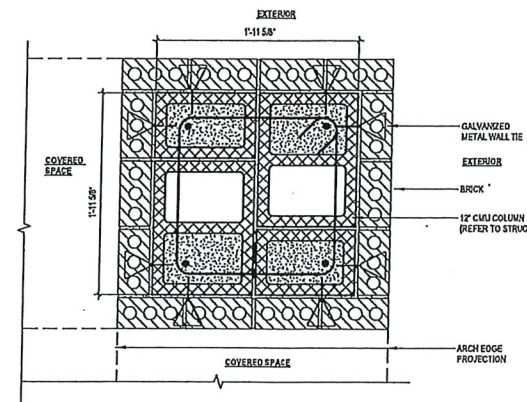
WALL SECTION DETAILS
A5.01



3 MAIN GATEWAY SIDE A - TOWER - CMU ESSAMBLY
 1/2" = 1'-0"



2 PLAN DETAIL 2
 1 1/2" = 1'-0"



1 PLAN DETAIL 1
 1 1/2" = 1'-0"

ISSUE HISTORY		
No.	Date	Description
01	09-28-2022	DD SET
REVISION HISTORY		
No.	Date	Description

Union Promenade Entry Signage
 Union, Boone County, Kentucky

Drawn: _____ Author
 Checked: _____ Checker
 Approved: _____ Approver

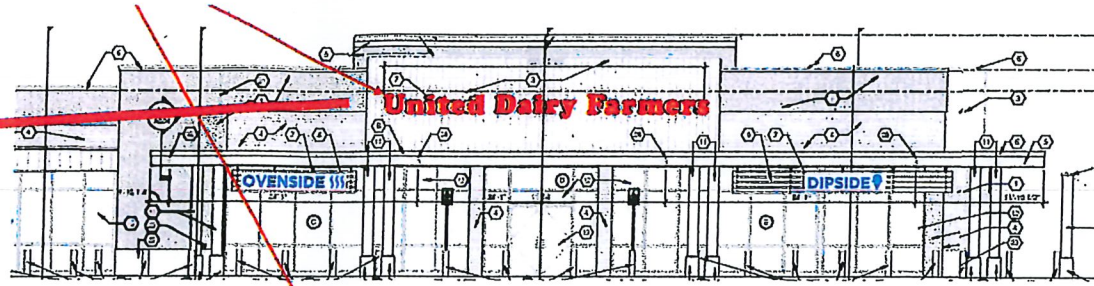
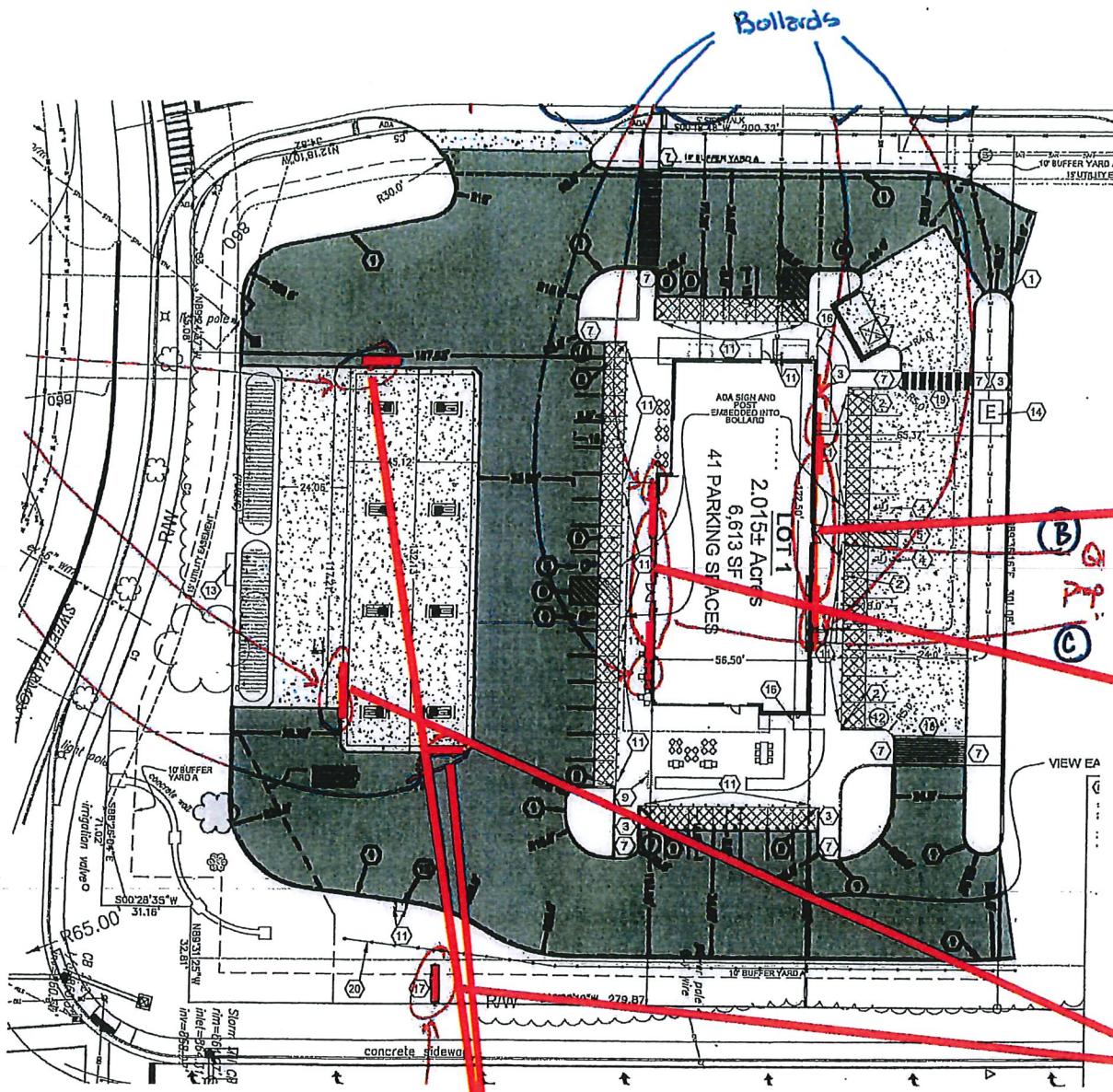
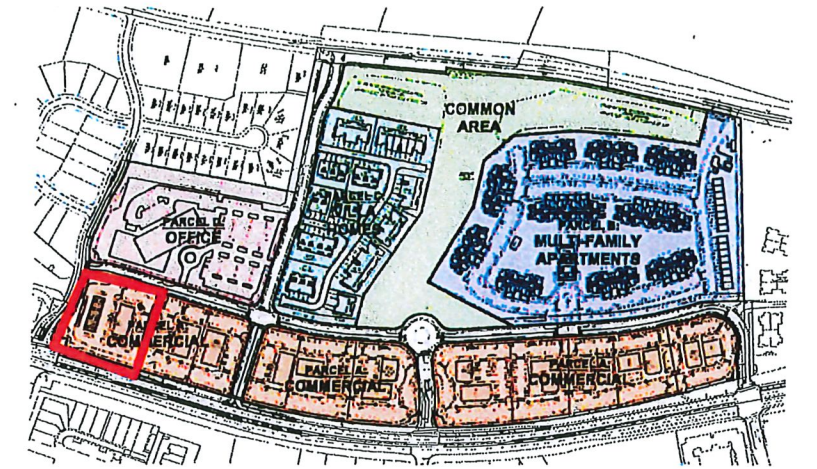
Date: _____ Issue Date
 Project #: _____ Sheet

PLAN DETAILS & TOWER CMU CONFIGURATION

A6.01

Union Promenade | Commercial Four (C-4)

Lot 1 - UDF Store



Section 3408.1 Building Mounted Signs

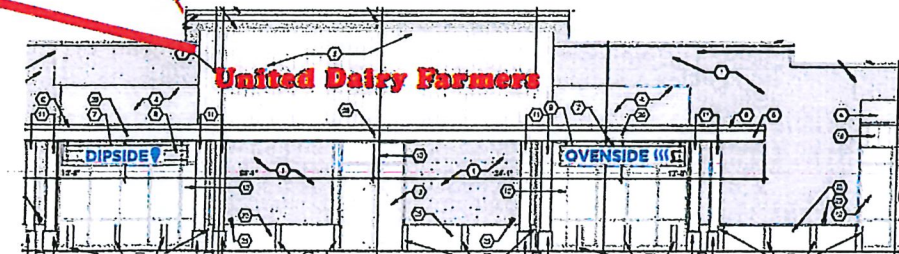
PROPOSED BUILDING ELEVATION SOUTH SCALE: NTS



Section 3408.1 Building Mounted Signs



Section 3409 Temporary Advertising



Section 3408.1 Building Mounted Signs

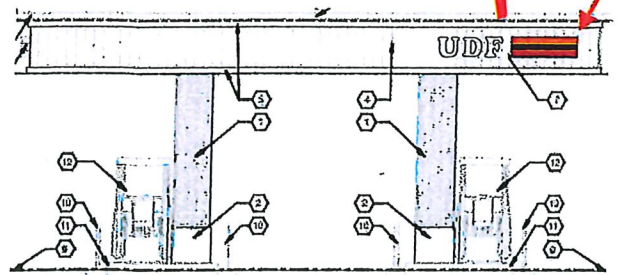
PROPOSED BUILDING ELEVATION NORTH SCALE: NTS



Section 3408.1 Building Mounted Signs

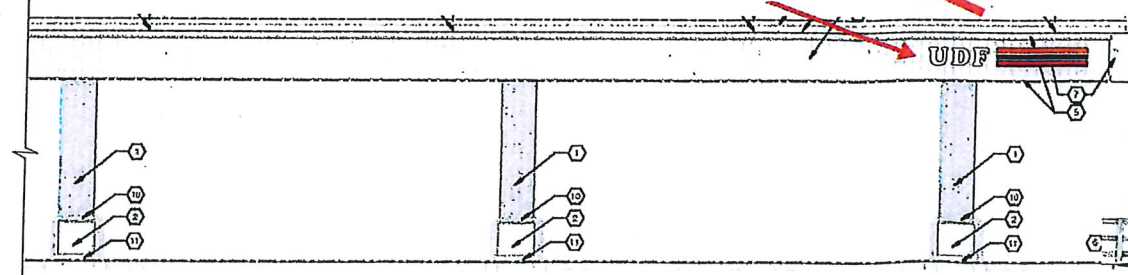


Section 3409 Temporary Advertising

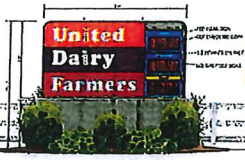


Section 3409 Temporary Advertising

Section 3408.2 Canopy Signs



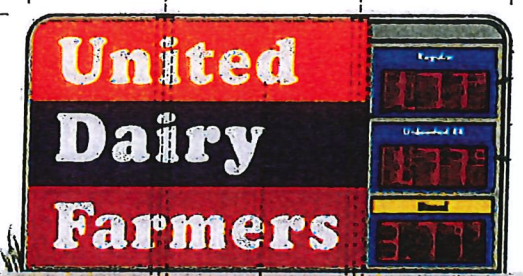
Section 3408.2 Canopy Signs



Section 3408.6 Free Standing Signs

11'-10" (Max. 14')

The height of the stone base is based on the height of the fencing



Section 3408.6 Free Standing Signs

COLOR NOTE: THE LETTERS ARE TO HAVE
BLACK RETURNS WITH BLACK
TRIM CAP

30'-0"

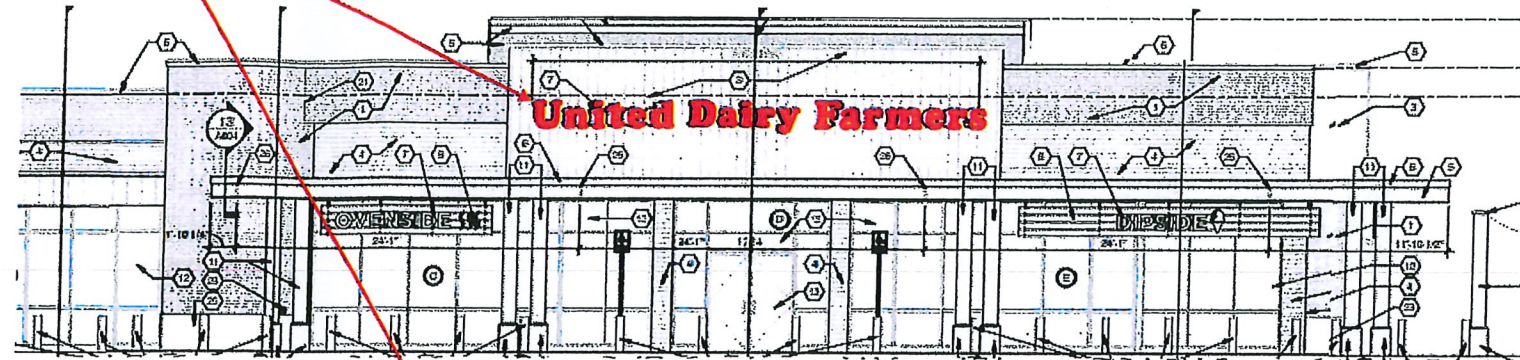
UDF STOREFRONT ENTRY WALL SIGN
- INDIVIDUAL LETTERS
- SIGN AREA = 55 SQ. FT.
(2) REQ'D.

1'-10"

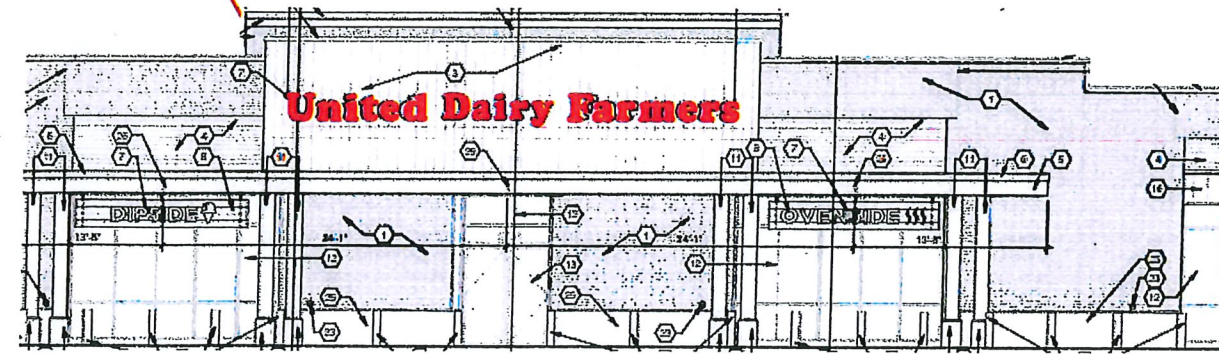
United Dairy Farmers

PROPOSED SIGN ELEVATION
SCALE: 3/16"=1'-0"

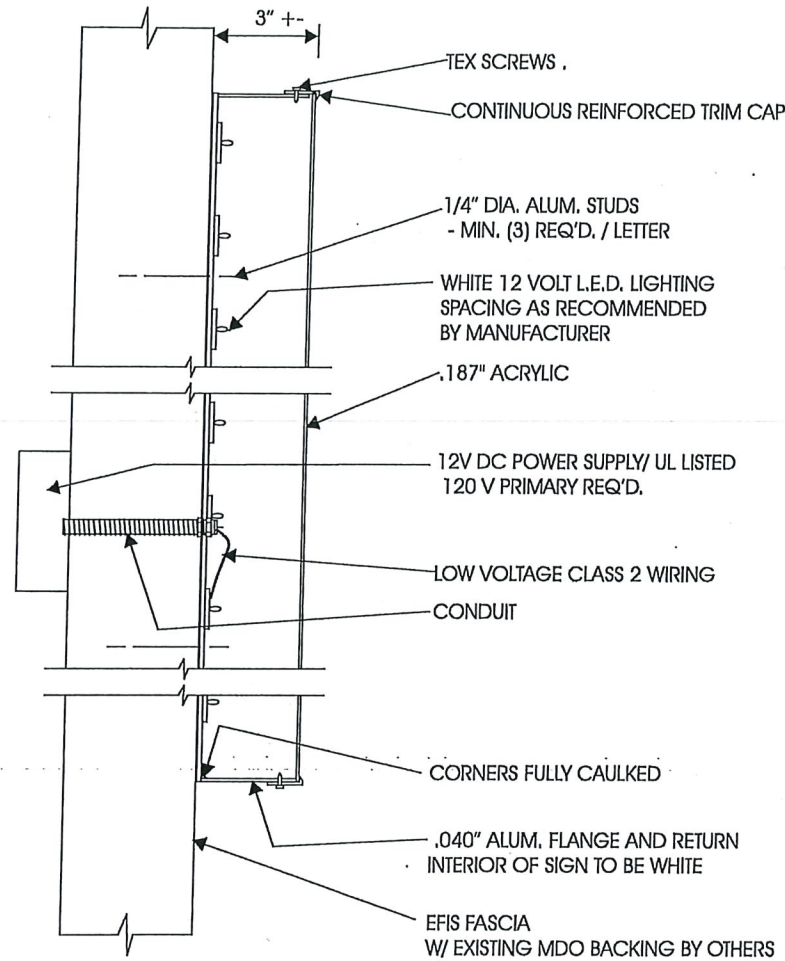
PROPOSED SIGNS
(2) TYP



PROPOSED BUILDING ELEVATION SOUTH
SCALE: NTS



PROPOSED BUILDING ELEVATION NORTH
SCALE: NTS



VERTICAL SECTION (THRU LETTERS)
SCALE: 1 1/2" = 1'-0"

- TEX SCREWS .
- CONTINUOUS REINFORCED TRIM CAP
- 1/4" DIA. ALUM. STUDS
- MIN. (3) REQ'D. / LETTER
- WHITE 12 VOLT L.E.D. LIGHTING
SPACING AS RECOMMENDED
BY MANUFACTURER
- .187" ACRYLIC
- 12V DC POWER SUPPLY/ UL LISTED
120 V PRIMARY REQ'D.
- LOW VOLTAGE CLASS 2 WIRING
- CONDUIT
- CORNERS FULLY CAULKED
- .040" ALUM. FLANGE AND RETURN
INTERIOR OF SIGN TO BE WHITE
- EFIS FASCIA
W/ EXISTING MDO BACKING BY OTHERS

SPECIFICATIONS

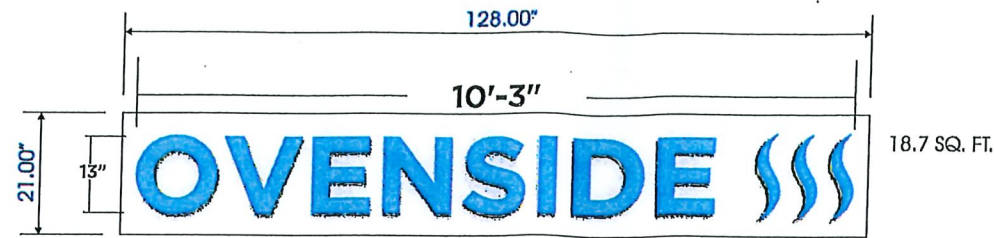
- 1) ALL ELECTRICAL WORK, DESIGN AND INSTALLATION MUST BE IN COMPLIANCE WITH THE 2017 NEC-NFPA 70 PER SECTION 2703.01 2018 KBC
- 2) SIGNS SHALL BE LISTED AND INSTALLED IN CONFORMANCE WITH 2017 NEC-NFPA 70 (PER SECTION 6003.3)
- 3) SIGN SHALL BEAR THE MANUFACTURER'S MARKINGS (HLS) AND SHALL BE MAINTAINED BY HLS
- 4) ACRYLIC FACES SHALL CONFORM TO ASTM D635 SPECIFICATIONS
- 5) PROPOSED SIGN LETTER WT. = < 5#
- 6) ALL EXPOSED METAL NON-PLATED SURFACES TO BE FINISHED W/ CATALYZED ACRYLIC POLYURETHANE ENAMEL PAINT.
- 7) GRAPHIC LAYOUT & COLORS PER CUSTOMER SPEC'S.
- 8) ALUMINUM SHEET SHALL BE 5052 ALLOY
- 9) ALL WELDS SHALL BE MADE WITH ALLOY 4043 FILLER

DESIGN LOADS

2018 KBC (SECTION 107.1)
BASIC WIND SPEED (3 SECOND GUST) = 115 MPH
WIND EXPOSURE C
DESIGN WIND PRESSURE = 25.3 PSF
WIND LOADS CONTROL DESIGN OVER SEISMIC LOADS



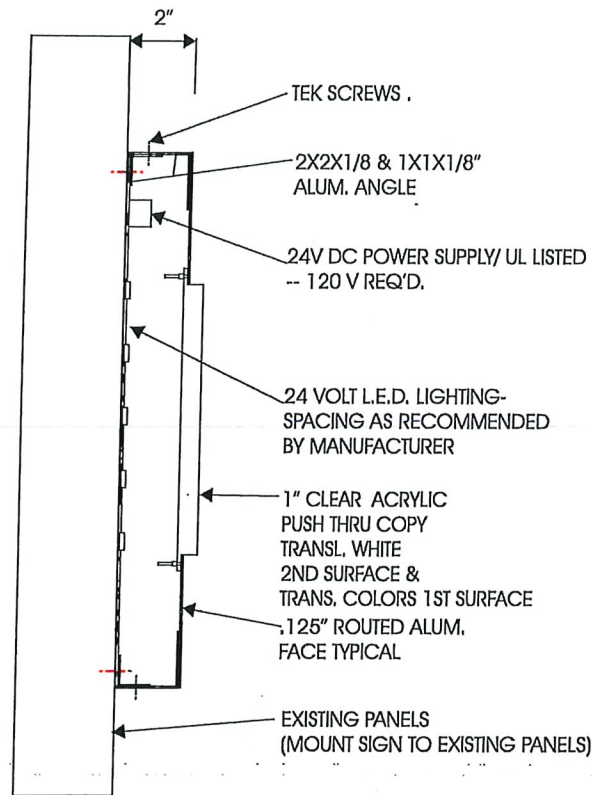
SCALE: NOTED	APPROVED BY:	DRAWN BY: Rct
DATE: 10-6-22		REVISED:
PROPOSED WALL SIGN (ON STOREFRONT ELEVATION)		
UNITED DAIRY FARMERS RT 42 & SWEET HARMONY LANE UNION KY		DRAWING NUMBER 0371-2



SIGN ELEVATION
SCALE: 3/8" = 1'-0"

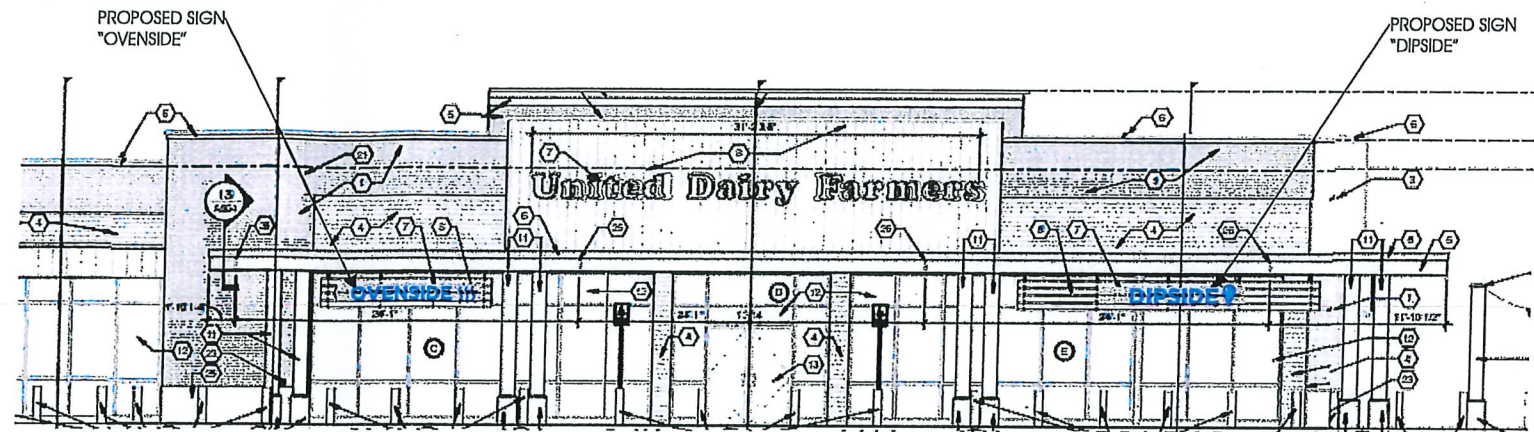


SIGN ELEVATION
SCALE: 3/8" = 1'-0"

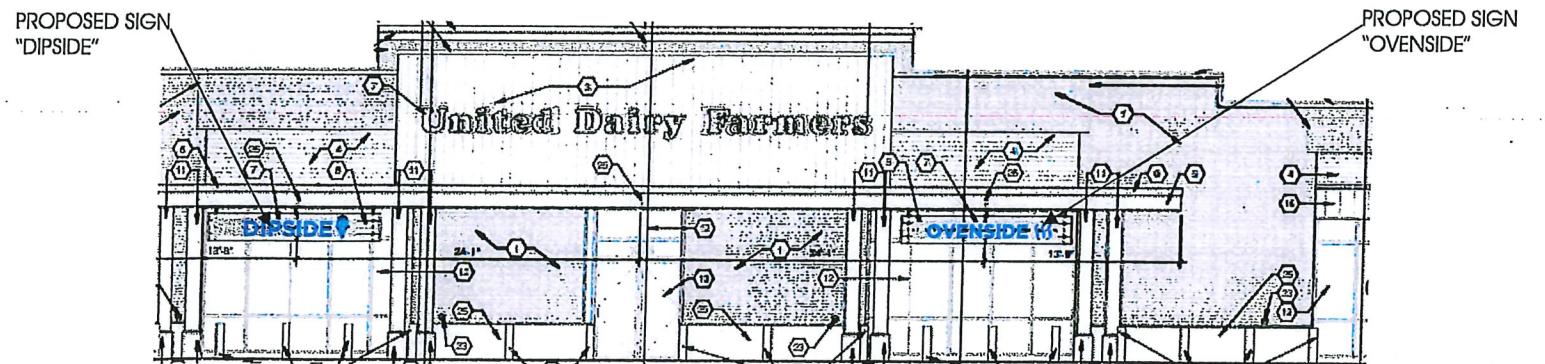


SECTION THROUGH SIGN
SCALE: NTS

- TEK SCREWS .
- 2X2X1/8 & 1X1X1/8 ALUM. ANGLE
- 24V DC POWER SUPPLY/ UL LISTED -- 120 V REQ'D.
- 24 VOLT L.E.D. LIGHTING- SPACING AS RECOMMENDED BY MANUFACTURER
- 1" CLEAR ACRYLIC PUSH THRU COPY TRANSL. WHITE 2ND SURFACE & TRANS. COLORS 1ST SURFACE
- .125" ROUTED ALUM. FACE TYPICAL
- EXISTING PANELS (MOUNT SIGN TO EXISTING PANELS)



PROPOSED BUILDING ELEVATION SOUTH
SCALE: NTS



PROPOSED BUILDING ELEVATION NORTH

SPECIFICATIONS

- 1) ALL ELECTRICAL WORK, DESIGN AND INSTALLATION MUST BE IN COMPLIANCE WITH THE 2017 NEC-NFPA 70 PER SECTION 2703.01 2018 KBC
- 2) SIGNS SHALL BE LISTED AND INSTALLED IN CONFORMANCE WITH 2017 NEC-NFPA 70 (PER SECTION 6003.3)
- 3) SIGN SHALL BEAR THE MANUFACTURER'S MARKINGS (HLS) AND SHALL BE MAINTAINED BY HLS
- 4) ACRYLIC FACES SHALL CONFORM TO ASTM D635 SPECIFICATIONS
- 5) PROPOSED SIGN WT. =<150#
- 6) ALL EXPOSED METAL NON-PLATED SURFACES TO BE FINISHED W/ CATALYZED ACRYLIC POLYURETHANE ENAMEL PAINT.
- 7) GRAPHIC LAYOUT & COLORS PER CUSTOMER SPEC'S.
- 8) ALUMINUM SHEET SHALL BE 5052 ALLOY
- 9) ALL WELDS SHALL BE MADE WITH ALLOY 4043 FILLER

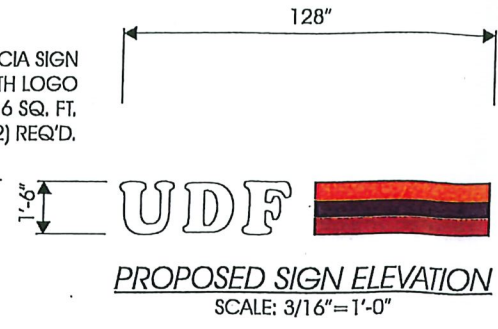
DESIGN LOADS

2017 OBC
BASIC WIND SPEED (3 SECOND GUST) = 115 MPH
WIND EXPOSURE C
DESIGN WIND PRESSURE = 25.3 PSF
WIND LOADS CONTROL DESIGN OVER SEISMIC LOADS



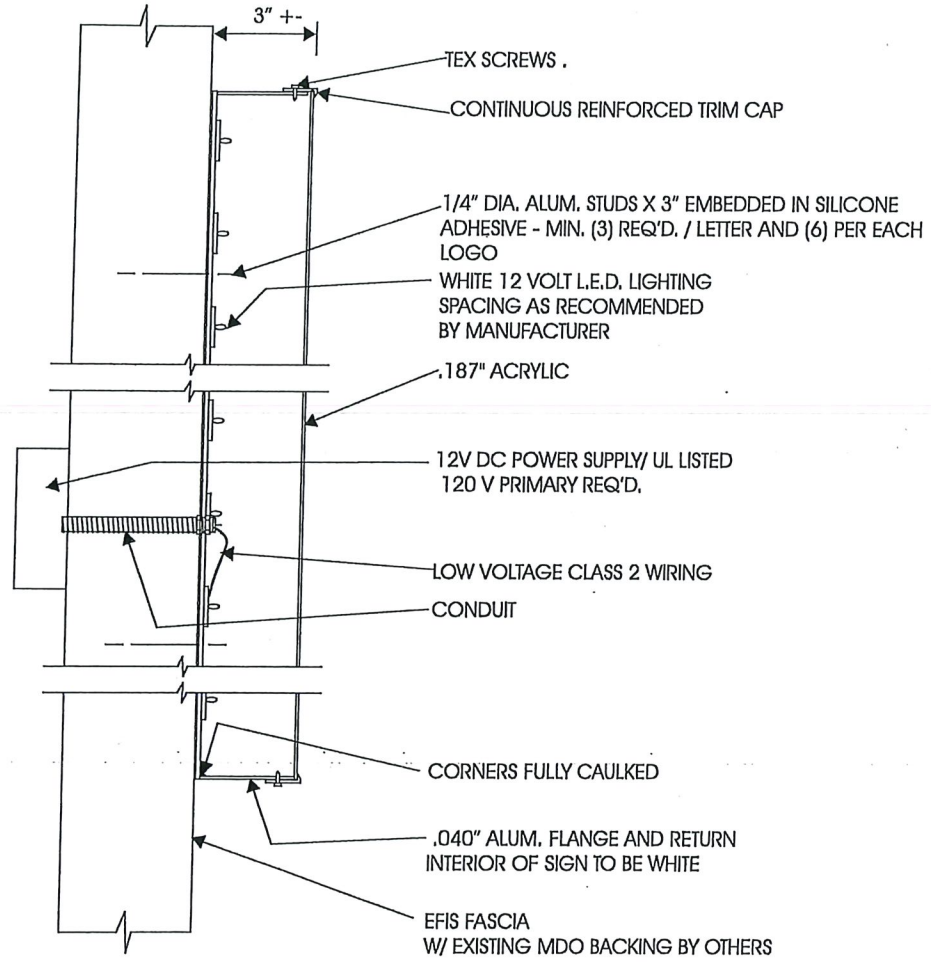
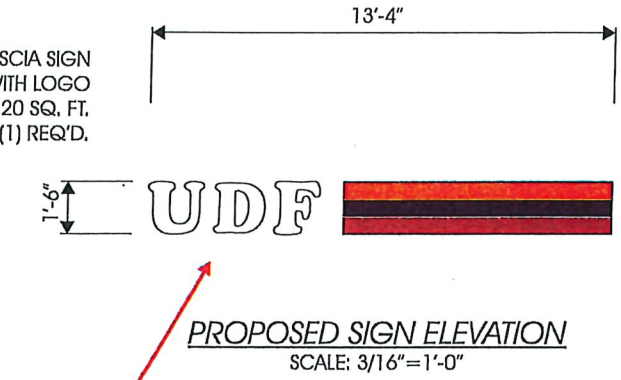
SCALE: NOTED	APPROVED BY:	DRAWN BY: Rct
DATE: 7-27-23		REVISED: 9-25-23
PROPOSED WALL SIGNS (ON EXISTING TRELLIS)		
UNITED DAIRY FARMERS RT 42 & SWEET HARMONY LANE UNION KY		DRAWING NUMBER 0371-4

UDF CANOPY FASCIA SIGN
 - INDIVIDUAL LETTERS WITH LOGO
 - SIGN AREA = 16 SQ. FT.
 - (2) REQ'D.

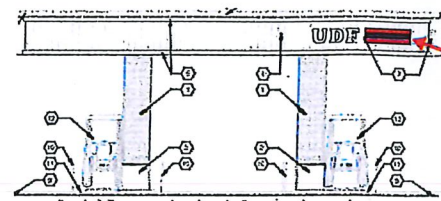


COLOR NOTE: THE LETTERS AND STRIPE ARE TO HAVE
 BLACK RETURNS WITH BLACK
 TRIM CAP

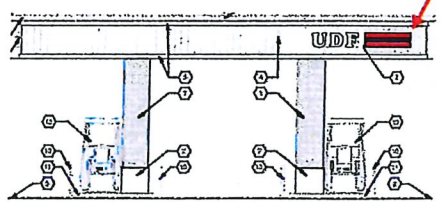
UDF CANOPY FASCIA SIGN
 - INDIVIDUAL LETTERS WITH LOGO
 - SIGN AREA = 20 SQ. FT.
 - (1) REQ'D.



VERTICAL SECTION (THRU LETTERS)
 SCALE: 1 1/2" = 1'-0"

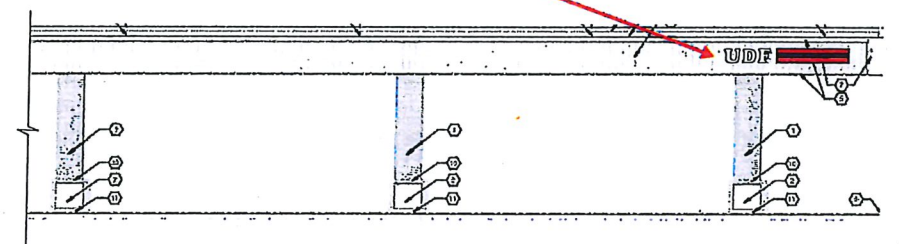


WEST



EAST

PROPOSED GAS CANOPY ELEVATIONS
 SCALE: NTS



PROPOSED GAS CANOPY PARTIAL ELEVATION
 SCALE: NTS

PROPOSED SIGN
 (2) REQ'D. TYP.

PROPOSED SIGN
 (1) REQ'D. TYP.
 ON CANOPY

SPECIFICATIONS

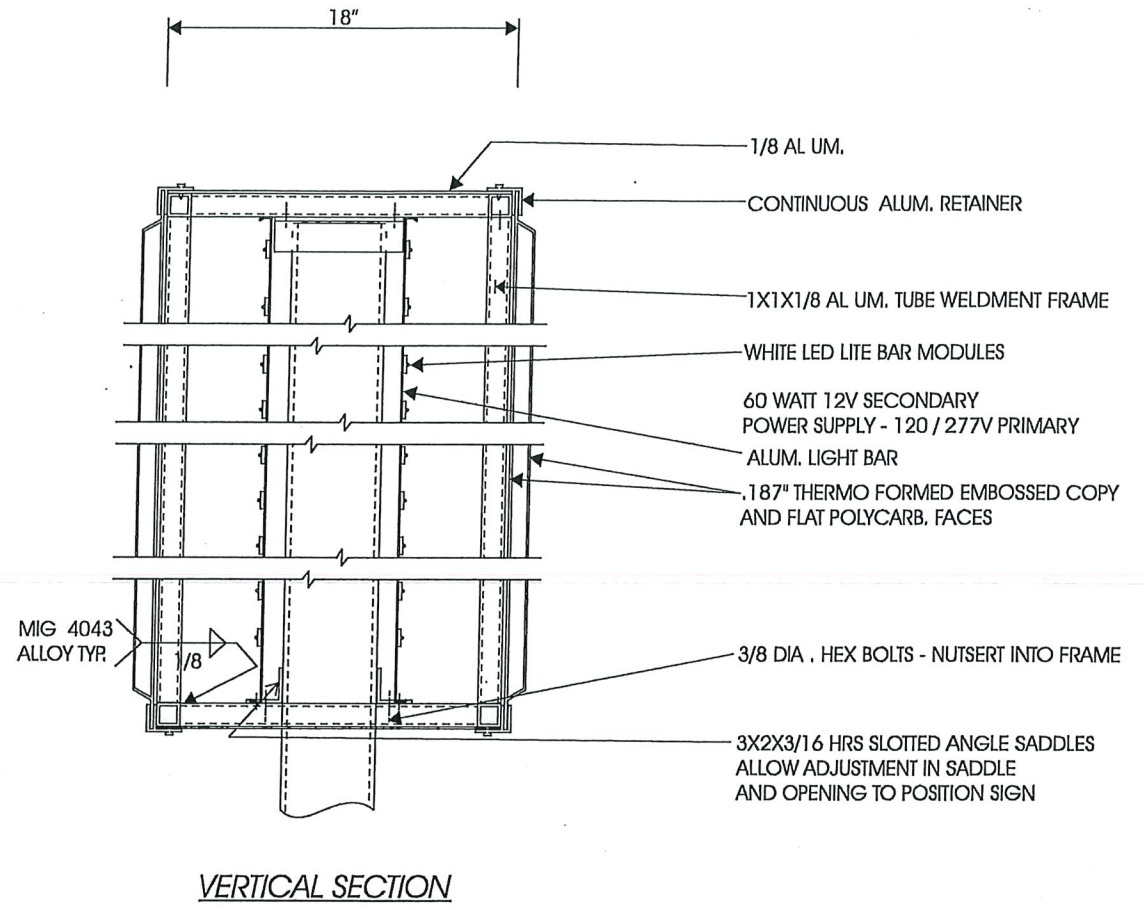
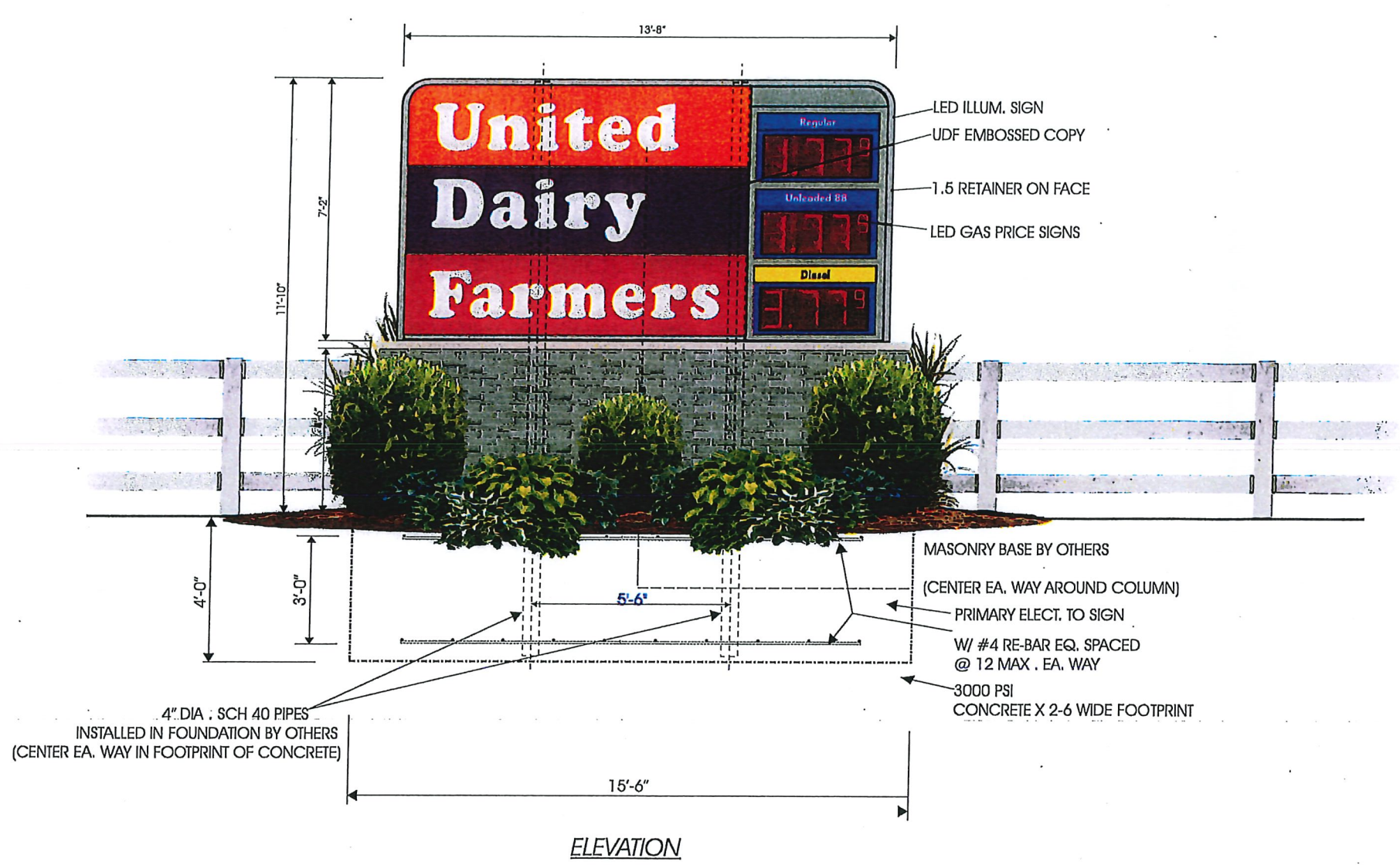
- 1) ALL ELECTRICAL WORK, DESIGN AND INSTALLATION MUST BE IN COMPLIANCE WITH THE 2017 NEC-NFPA 70 PER SECTION 2703.01 2018 KBC
- 2) SIGNS SHALL BE LISTED AND INSTALLED IN CONFORMANCE WITH 2017 NEC-NFPA 70 (PER SECTION 6003.3)
- 3) SIGN SHALL BEAR THE MANUFACTURER'S MARKINGS (HLS) AND SHALL BE MAINTAINED BY HLS
- 4) ACRYLIC FACES SHALL CONFORM TO ASTM D635 SPECIFICATIONS
- 5) PROPOSED SIGN LETTER WT. = < 5#
- 6) ALL EXPOSED METAL NON-PLATED SURFACES TO BE FINISHED W/ CATALYZED ACRYLIC POLYURETHANE ENAMEL PAINT.
- 7) GRAPHIC LAYOUT & COLORS PER CUSTOMER SPEC'S.
- 8) ALUMINUM SHEET SHALL BE 5052 ALLOY
- 9) ALL WELDS SHALL BE MADE WITH ALLOY 4043 FILLER

DESIGN LOADS

2018 KBC (SECTION 107.1)
 BASIC WIND SPEED (3 SECOND GUST) = 115 MPH
 WIND EXPOSURE C
 DESIGN WIND PRESSURE = 25.3 PSF
 WIND LOADS CONTROL DESIGN OVER SEISMIC LOADS



SCALE: NOTED	APPROVED BY:	DRAWN BY: Rct
DATE: 10-6-22		REVISED:
PROPOSED WALL SIGNS (ON CANOPY ELEVATIONS)		
UNITED DAIRY FARMERS RT 42 & SWEET HARMONY LANE UNION KY		DRAWING NUMBER 0371-3



4" DIA : SCH 40 PIPES
 INSTALLED IN FOUNDATION BY OTHERS
 (CENTER EA. WAY IN FOOTPRINT OF CONCRETE)

ELEVATION

VERTICAL SECTION

SPECIFICATIONS

- 1) ALL ELECTRICAL WORK, DESIGN AND INSTALLATION MUST BE IN COMPLIANCE WITH THE 2017 NEC-NFPA 70 PER SECTION 2703.01 2018 KBC
- 2) SIGNS SHALL BE LISTED AND INSTALLED IN CONFORMANCE WITH 2017 NEC-NFPA 70 (PER SECTION 6003.3)
- 3) SIGN SHALL BEAR THE MANUFACTURER'S MARKINGS (HLS) AND SHALL BE MAINTAINED BY HLS
- 4) ACRYLIC FACES SHALL CONFORM TO ASTM D635 SPECIFICATIONS
- 5) PROPOSED SIGN WT. = < 300#
- 6) ALL EXPOSED METAL NON-PLATED SURFACES TO BE FINISHED W/ CATALYZED ACRYLIC POLYURETHANE ENAMEL PAINT.
- 7) GRAPHIC LAYOUT & COLORS PER CUSTOMER SPEC'S.
- 8) ALUMINUM SHEET SHALL BE 5052 ALLOY
- 9) ALL WELDS SHALL BE MADE WITH ALLOY 4043 FILLER
- 10) ALL BOLTS SHALL BE CONFORM TO ASTM A307, SAE J429 OR EQUAL

DESIGN LOADS

2018 KBC (SECTION 107.1)
 BASIC WIND SPEED (3 SECOND GUST) = 115 MPH
 WIND EXPOSURE C
 DESIGN WIND PRESSURE = 25.3 PSF
 WIND LOADS CONTROL DESIGN OVER SEISMIC LOADS



SCALE: NOTED		APPROVED BY:		DRAWN BY: Rct	
DATE: 9-7-23				REVISED	
PROPOSED GROUND SIGN					
UNITED DAIRY FARMERS RT 42 & SWEET HARMONY LANE- UNION KY				DRAWING NUMBER 0371-1A	

OVENSIDE III

HOT COMBO MEAL
Basket
\$6.99

Any size fountain beverage

Later lots

Chicken Tenders

OVENSIDE III

HOT COMBO MEAL
Basket
\$6.99

Any size fountain beverage

Later lots

Chicken Tenders

OVENSIDE III

HOT COMBO MEAL
Basket
\$6.99

Any size fountain beverage

Later lots

Chicken Tenders

OVENSIDE III

FREE COKE
Any size Coca-Cola fountain drink with a Combo Deal
\$8.99

Chicken Tenders Combo
Includes 10 Chicken Tenders, 10 Corn Fritters, 10 Potato Wedges, 10 Onion Rings, 10 Breadsticks, 10 Soft Drink

Chicken Tenders Combo
Includes 10 Chicken Tenders, 10 Corn Fritters, 10 Potato Wedges, 10 Onion Rings, 10 Breadsticks, 10 Soft Drink

Turkey Pasta Casserole Combo
Includes 1 Turkey Pasta Casserole, 10 Corn Fritters, 10 Potato Wedges, 10 Onion Rings, 10 Breadsticks, 10 Soft Drink

OVENSIDE III

FREE COKE
Any size Coca-Cola fountain drink with a Combo Deal
\$8.99

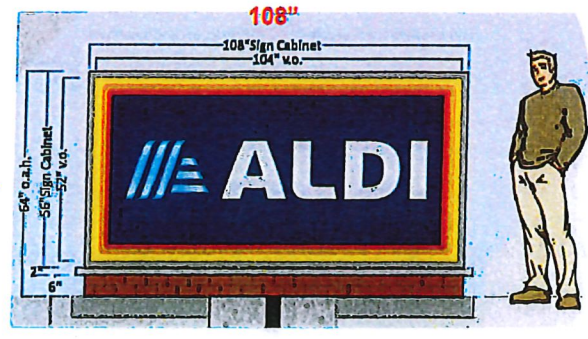
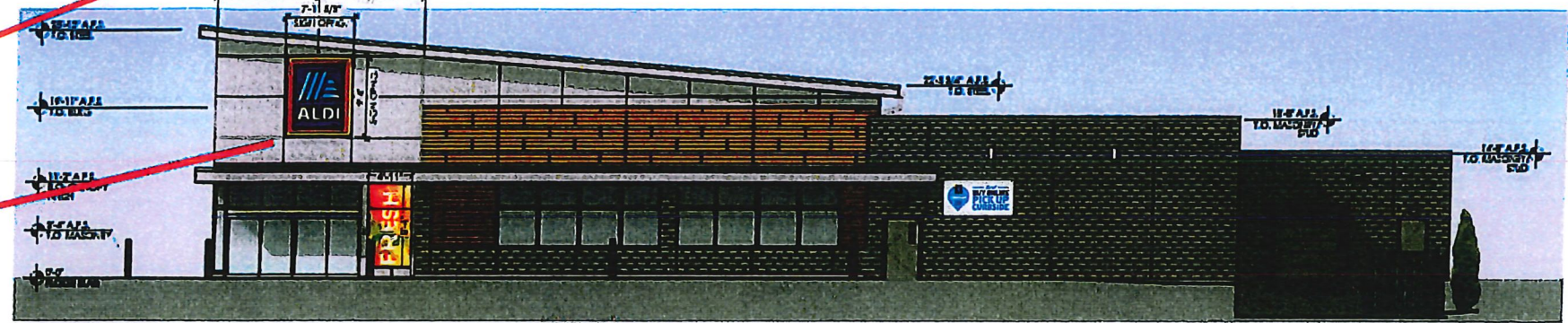
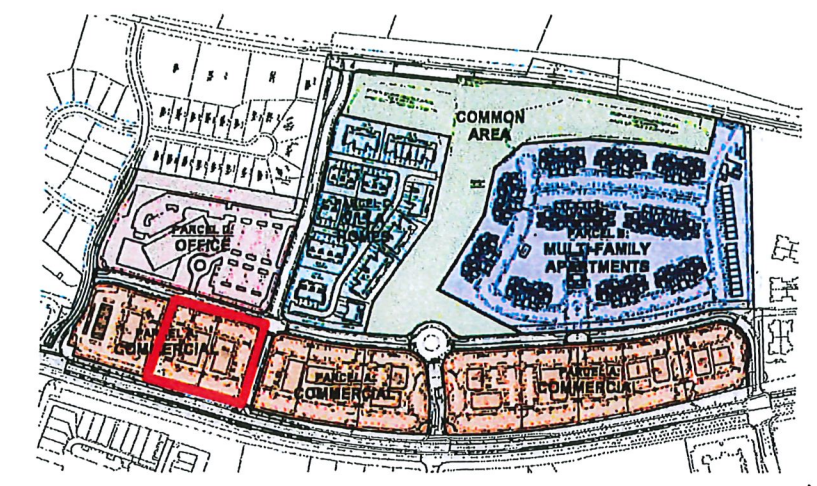
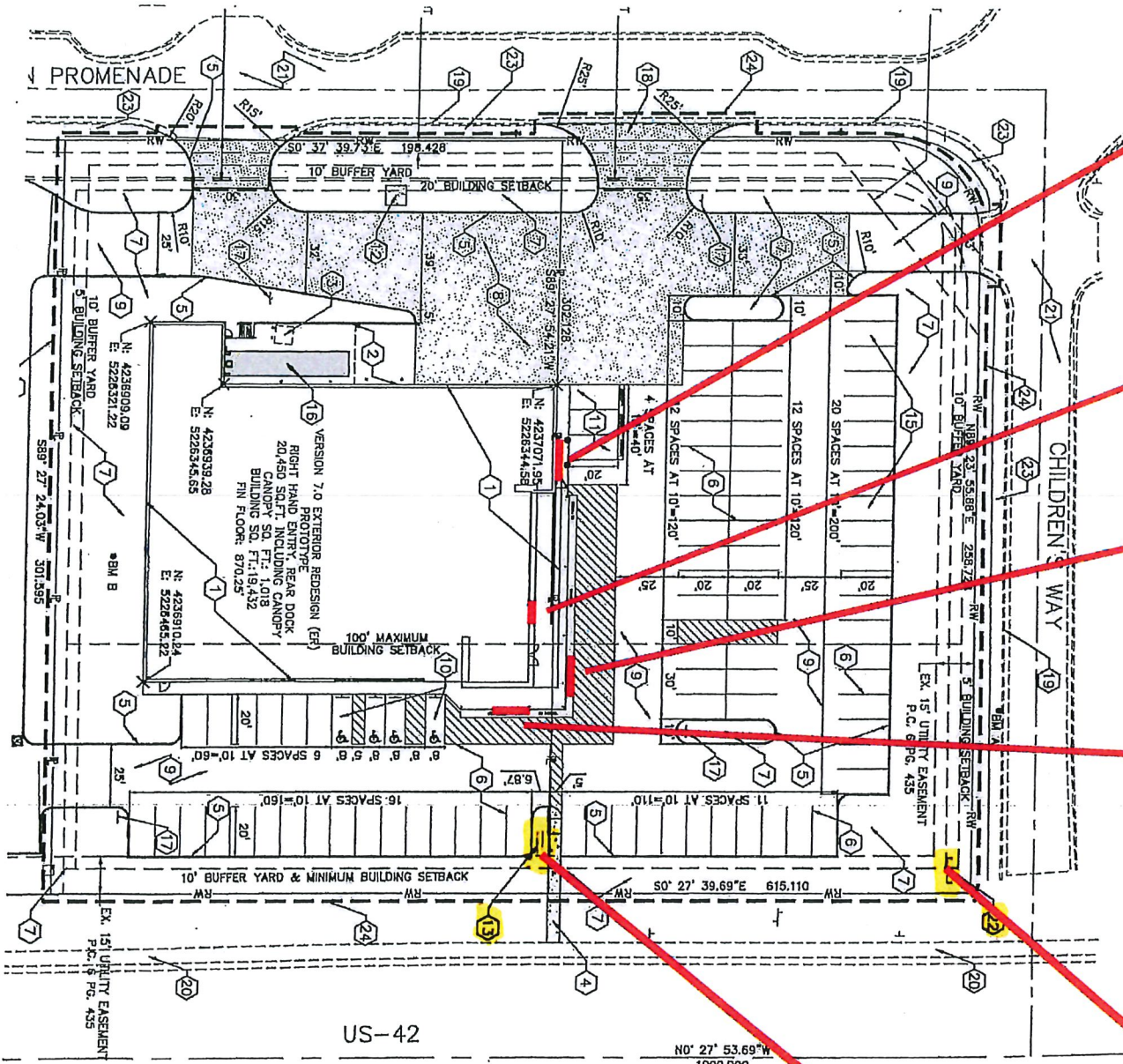
Pepperoni Italian Sub Combo
Includes 1 Pepperoni Italian Sub, 10 Corn Fritters, 10 Potato Wedges, 10 Onion Rings, 10 Breadsticks, 10 Soft Drink

Double Bacon Cheeseburger Combo
Includes 1 Double Bacon Cheeseburger, 10 Corn Fritters, 10 Potato Wedges, 10 Onion Rings, 10 Breadsticks, 10 Soft Drink

Double Bacon Cheeseburger Combo
Includes 1 Double Bacon Cheeseburger, 10 Corn Fritters, 10 Potato Wedges, 10 Onion Rings, 10 Breadsticks, 10 Soft Drink

Union Promenade | Commercial Four (C-4)

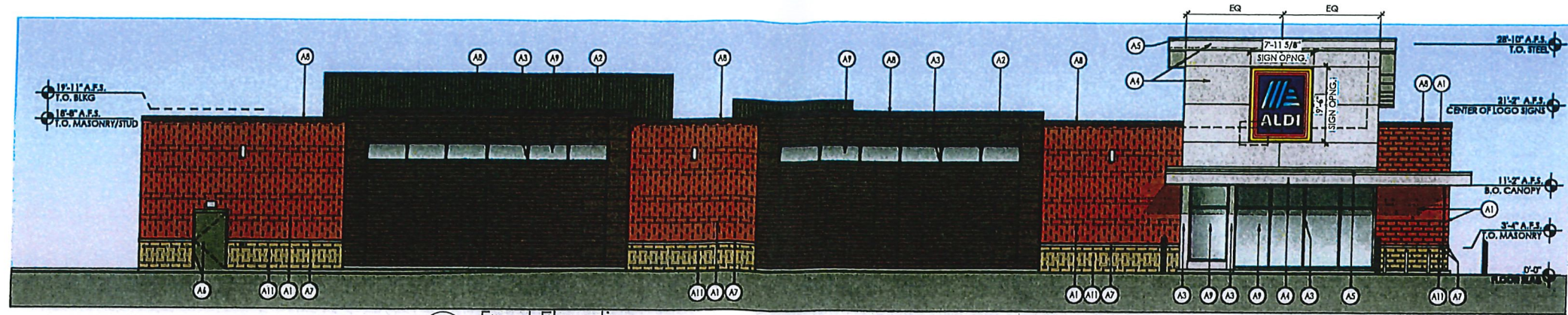
Lot 2 & 3 - ALDI's Site



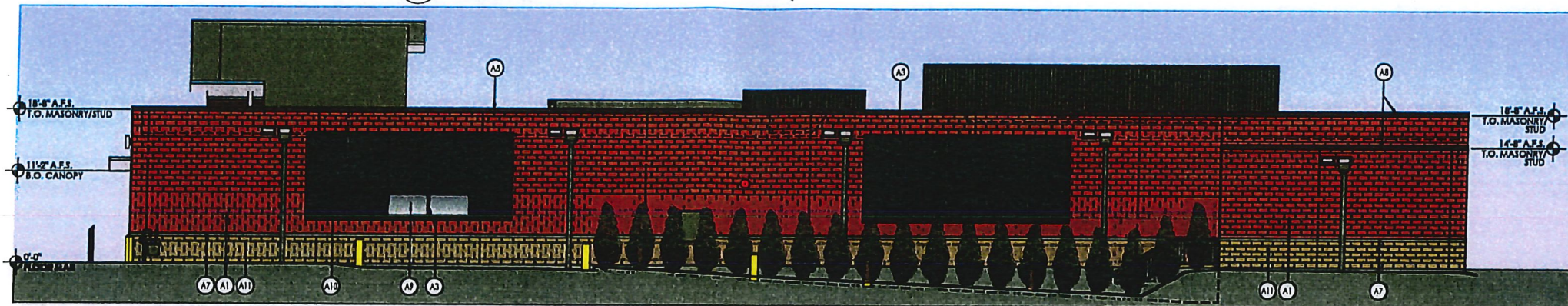
The height of the base may increase due to the height of the fencing



V7.0 ER PROTOTYPE - NOT FOR CONSTRUCTION



4 Front Elevation
SCALE: 1/8" = 1'-0"



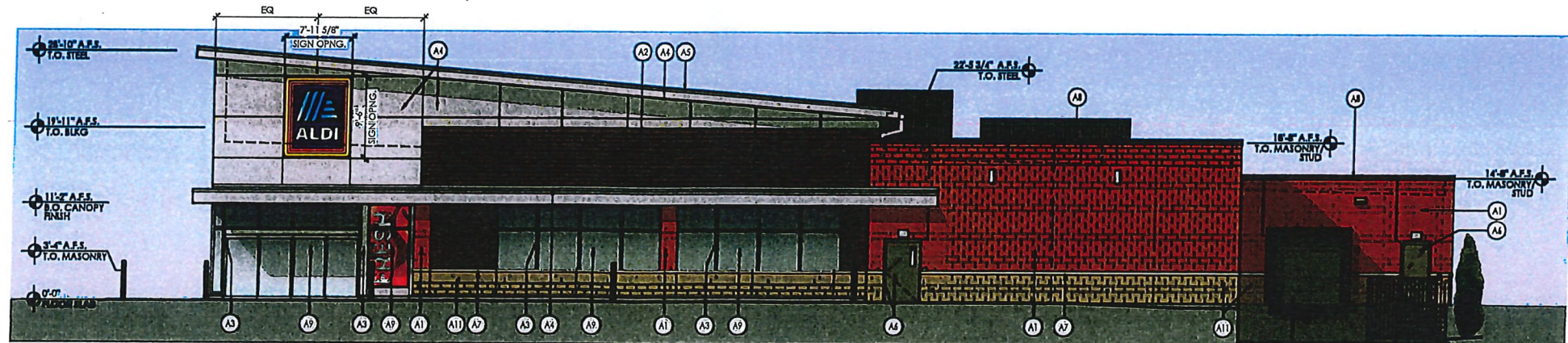
3 Rear Elevation
SCALE: 1/8" = 1'-0"

SIGNAGE			
DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
TOWER SIGN	2	74.9	149.8
TOTAL SIGNAGE			149.8

SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT SUBMITTAL

MATERIAL LEGEND

A1 SPEC BRK STANTON BLEND SMOOTH	A2 FIBER CEMENT BOARD - NICHHA BARK (VINTAGE WOOD)	A3 ALUMINUM STOREFRONT - CLEAR ANODIZED ALUMINUM
A4 ALUMINUM COMPOSITE PANEL - BRIGHT SILVER	A5 FIRESTONE - SILVER METALLIC	A6 EXTERIOR PAINT SHERWIN WILLIAMS - #7504 KEYSTONE GRAY
A7 CAB STONE CAP TANNERSTONE AG-1	A8 EDGE METAL - AGED BRONZE	A9 CLEAR GLASS
A10 SPANDELL GLASS	A11 WATER TABLE - JARED TAN SPLIT-FACE	



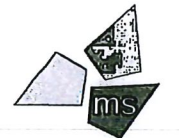
2 Side Elevation
SCALE: 1/8" = 1'-0"



1 Side Elevation
SCALE: 1/8" = 1'-0"

Issued:	Date:
Concept No 1	11/06/23
Revisions:	Date:

DO NOT SCALE PLANS
Copying, filing, software and other processes required to produce these plans can stretch or shrink the actual paper or layout. Therefore, scaling of this drawing may be inaccurate. Contact our consultants with any need for additional dimensions or clarification.



ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43228-1547
phone 614.898.7100
fax 614.898.7570

DRAWN BY:
NAW

REVIEWED BY:
T/JG

Seal



ALDI Inc. Store #: XX
Union, KY
US 42 & Sweet Harmony LN
Union, KY 41091
Boone County
Project Name & Location:

Exterior Elevations Drawing Name:	
Prototype Rls. 02/01/23	Project No. 40507-13
Type: RHRDV7ER	XXX A-201
Scale: As Noted	Drawing No.

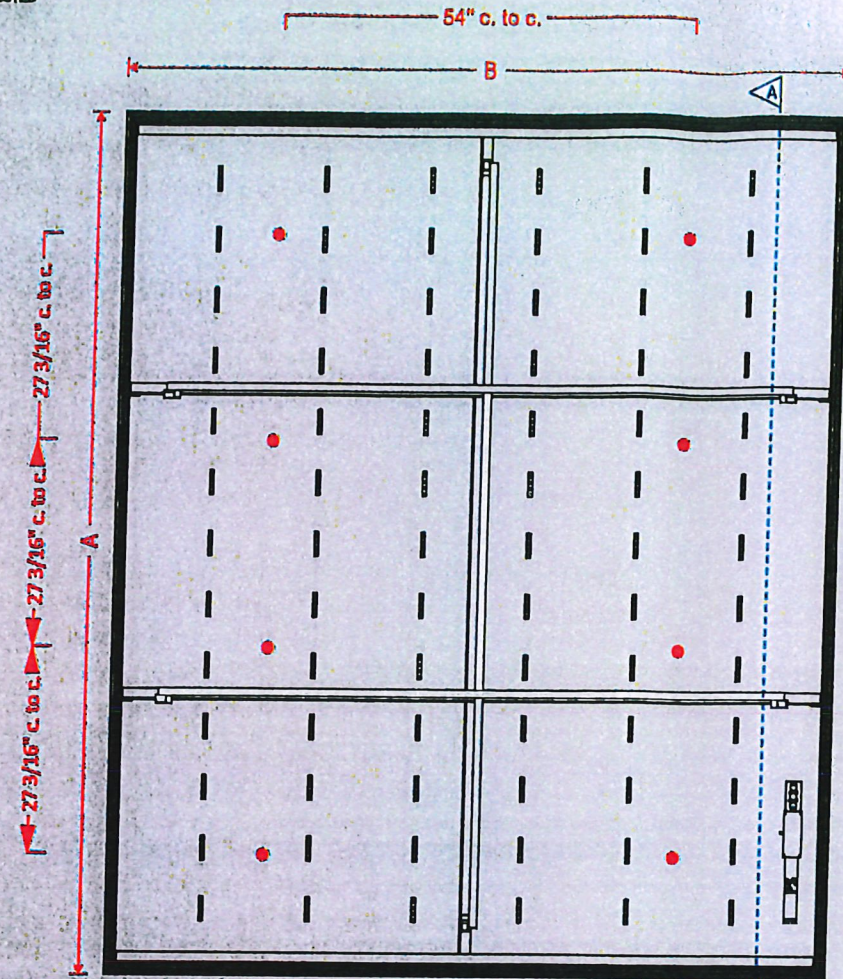
ALDI Union, KY

S/F WALL SIGNS



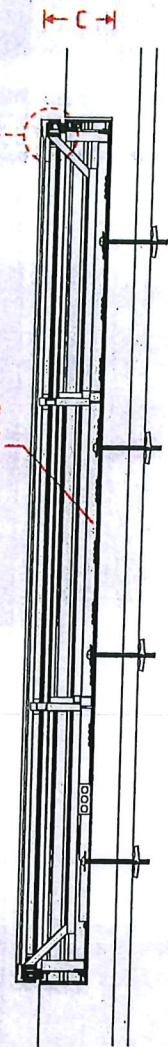
E71326

Qty: 2



SEE RETENTION DETAIL

(8) Toggle Bolts



FRAME & LAMP DETAIL
NOT TO SCALE

CROSS SECTION A-A
NOT TO SCALE

Scale:
1/2" = 1' 0"

SIGNS ARE RECESSED

Color Specifications

- Pantone 288 C - RGB 85/195/240
RAL 670-6 - CMYK 85/0/0/0
- Pantone 281 C - RGB 0/0/95
RAL 5022 - CMYK 100/85/0/50
- Pantone 2035 C - RGB 215/0/0
RAL 3020 - CMYK 0/100/100/5
- Pantone 3584 C - RGB 255/120/0
RAL 2008 - CMYK 0/63/100/0
- Pantone 7548 - RGB 255/200/0
RAL 1023 - CMYK 0/25/100/0
- Pantone 423 C Slate Gray
ALDI Gray

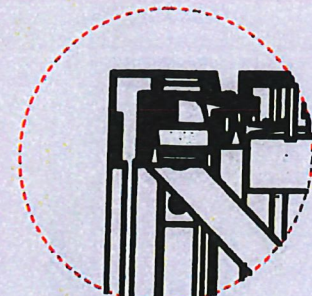


Matthews Paint - Color Formula

MP 82888, Color name: ALDI SLATE GRAY
Version 1.0
Product: Ultra Low VOC Gloss

**Cross reference color system PERSONA
Color ALDI SLATE GRAY**

Interslate	Color	Interslate Description	Quarts Per Gallon	Acrons	Quarts Per 3/4 Gallon	Acrons	Quarts Per 1/2 Gallon	Acrons
MAN-LV0215P	WHITE		3455.3	2413.3	2469.0	2469.0	1712.7	1712.7
MAN-LV0215P	BLACK		1052.1	4477.5	789.1	3738.1	578.1	2528.8
MAN-LV0415P	BRIGHT YELLOW		158.0	4834.4	269.2	3627.3	179.5	3418.3
MAN-LV0117P	SCARLET		183.3	2011.8	137.7	3788.0	81.8	3518.1
MAN-LV0117P	YELLOW OXIDE		29.1	1041.8	31.8	3788.0	14.4	2534.7
Totals			5049.8		3788.0		2334.7	



RETENTION DETAIL
NOT TO SCALE

ELECTRICAL DATA	
VOLTAGE	120
AMPERAGE	0.00

ELECTRICAL REQUIREMENT:
ONE 20 Amp CIRCUIT @ 120V

Underwriters Laboratories

Electrical

THIS ARTICLE IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE, AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

Branham Sign

COMPANY · INCORPORATED

SPECIFICATIONS

- SIGN COMP 9 1/4" DEEP EXTRUDED ALUMINUM CONSTRUCTION
- SIGN COMP #2025 SINGLE FACE BODY ALUMINUM EXTRUSION
- SIGN COMP #3075 DUAL FRAME COVER ALUMINUM EXTRUSION
- SIGN COMP #2065 DUAL FRAME ALUMINUM EXTRUSION
- FACE HINGED FOR SERVICE ACCESS
- .040" ALUMINUM BACK
- EXTERIOR FINISH: ALDI SLATE GRAY
- INTERIOR FINISH: REFLECTIVE WHITE
- DISCONNECT SWITCH LOCATED INSIDE CABINET
- GE 4100K WHITE LED'S AS REQUIRED
- U.L. LISTED
- MOUNTING: FLUSH WALL MOUNT
- 3M ENVISION FS-1 FLEXIBLE FACE
- DIGITALLY PRINTED DECORATION (1ST SURFACE)

ALDI SINGLE FACE WALL SIGN STANDARD SIZES				
CABINET HEIGHT	CABINET LENGTH	CABINET DEPTH	ELECTRICAL REQUIREMENTS	SQUARE FOOTAGE
A	B	C		
6'-0 1/2"	5'-0"	9 1/4"	(1) 20A/120V CIRCUIT	30.21
7'-5 1/2"	6'-3"	9 1/4"	(1) 20A/120V CIRCUIT	44.61
9'-5 1/2"	7'-11 1/8"	9 1/4"	(1) 20A/120V CIRCUIT	74.98
12'-0"	10'-0 11/16"	9 1/4"	(1) 20A/120V CIRCUIT	120.69

NOTE

STRUCTURE: HAS BEEN DESIGNED TO WITHSTAND 115 MPH AS THE ULTIMATE WIND SPEED, AND 90 MPH AS THE DESIGNED WIND SPEED, ACCORDING TO 2017 OBC TABLE 1609.6.2.1(2) WITH 30' MAX OVERALL HEIGHT. SIGN HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2017 OBC.



Approval:

Approved/Customer _____ Date _____

127 Cypress Street SW
Reynoldsburg, OH 43068
O: 740.964.9550
F: 740.964.9558
www.branhamsign.com

Job Path G:\JOBS\ALDI\Springfield Division\Kentucky\Union\Wall Sign Print1, Pg1

Order #:	000000	Proj. Location:	US 42 & Sweet Harmony Ln., Union, KY 41091
Date:	04.11.23	Designer:	Jgreenlee@branhamsign.com
Page Rev:	001	Sales Rep:	tbranham@branhamsign.com

PROJECT



Union, KY

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ALDI Union, KY

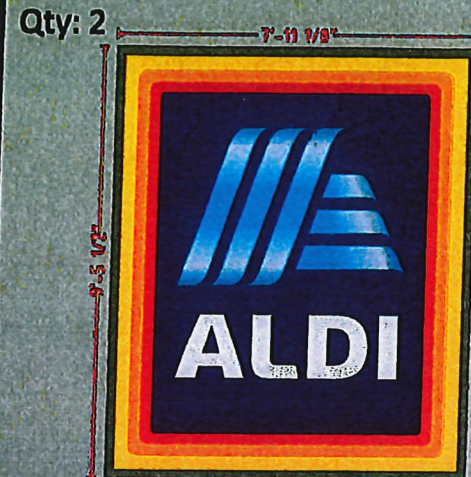
Underwriters Laboratories Inc. LISTED E71326

NOTE

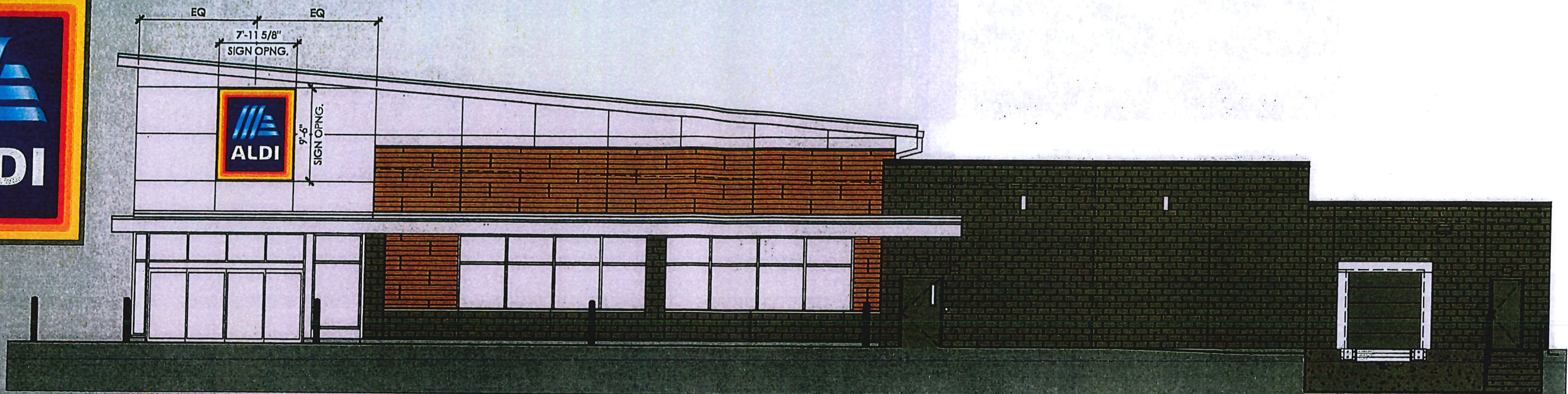
STRUCTURE: HAS BEEN DESIGNED TO WITHSTAND 115 MPH AS THE ULTIMATE WIND SPEED, AND 90 MPH AS THE DESIGNED WIND SPEED, ACCORDING TO 2017 OBC TABLE 1609.6.2.1(2) WITH 30' MAX OVERALL HEIGHT. SIGN HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2017 OBC.

Branham Sign
COMPANY · INCORPORATED

ELEVATIONS



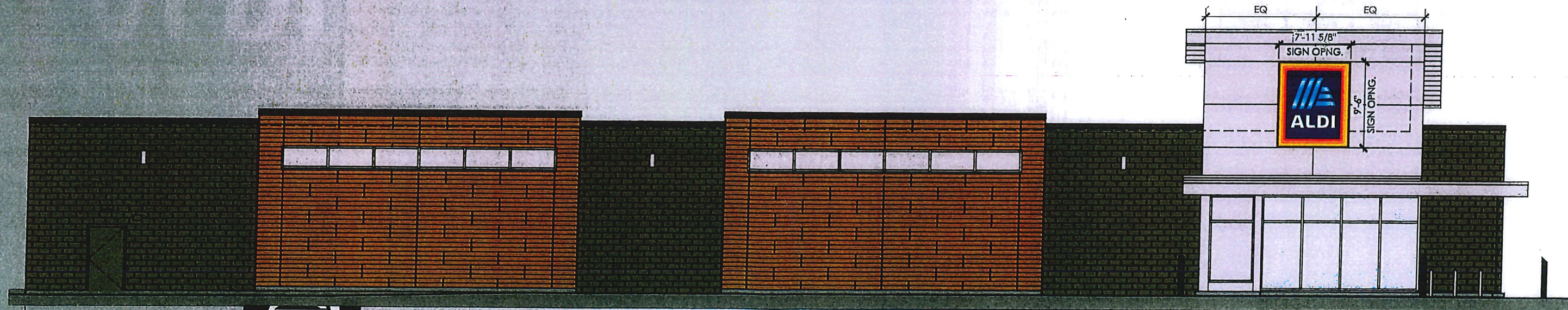
Scale: 1/4" = 1' 0"



Scale: 3/32" = 1' 0"

Side Elevation

1690" (141' 2")



Scale: 3/32" = 1' 0"

Front Elevation

1906" (158' 10")

Approval:

Approved/Customer	Date
-------------------	------



127 Cypress Street SW
Reynoldsburg, OH 43068
O: 740.964.9550
F: 740.964.9558
www.branhamsign.com

Job Path G:\JOBS\ALDI\Springfield Division\Kentucky\Union\Wall Sign Print1, Pg2

Order #:	000000	Proj. Location:	US 42 & Sweet Harmony Ln., Union, KY 41091
Date:	04.11.23	Designer:	jgreenlee@branhamsign.com
Page Rev:	001	Sales Rep:	ymiller@branhamsign.com

PROJECT



Union, KY

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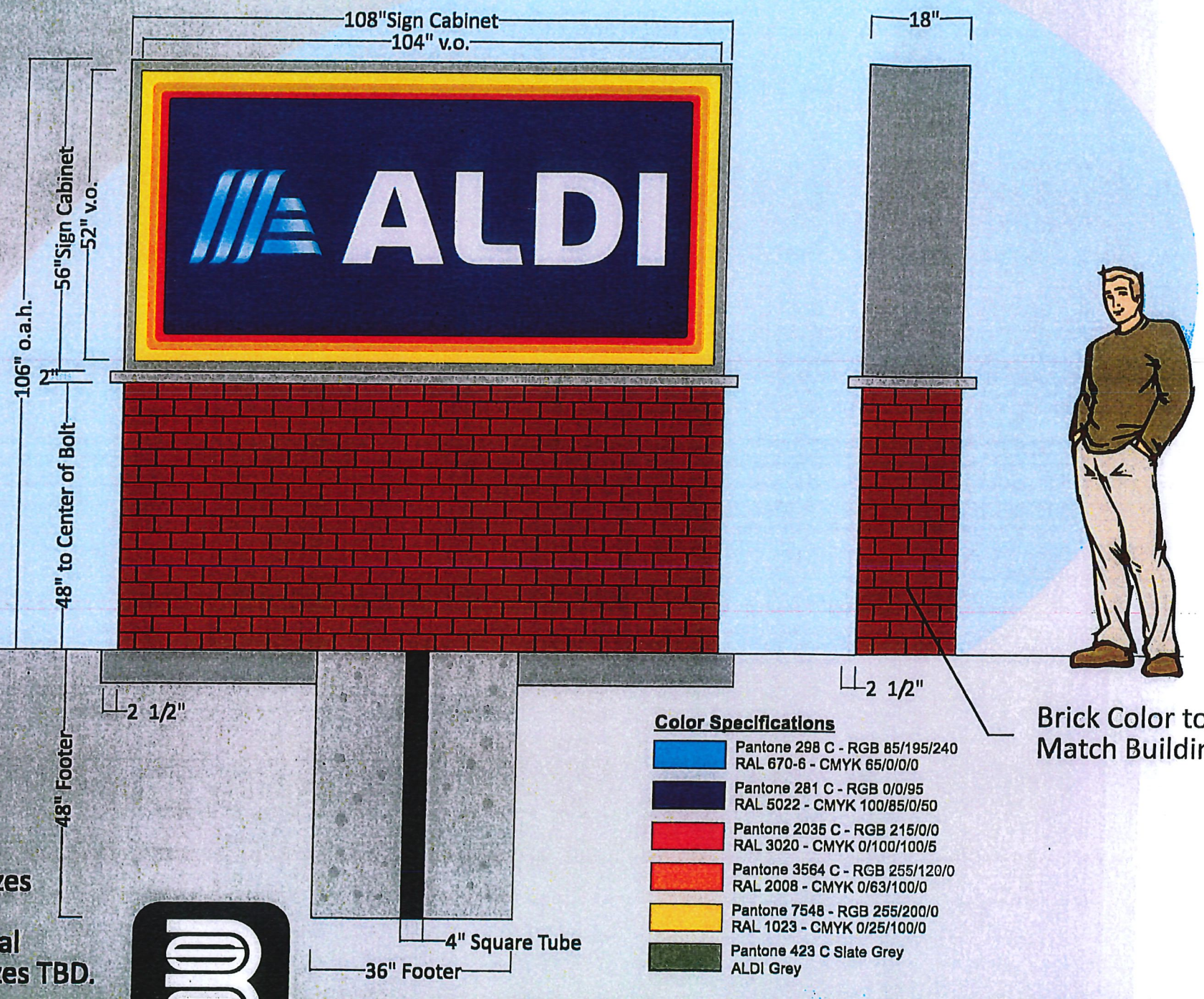
ALDI Union, KY

UL Underwriters Laboratories Inc. LISTED E71326

D/F MONUMENT SIGN - Preliminary

Qty: 1 (2 Faces)

NOTE
STRUCTURE: HAS BEEN DESIGNED TO WITHSTAND 115 MPH AS THE ULTIMATE WIND SPEED, AND 90 MPH AS THE DESIGNED WIND SPEED, ACCORDING TO 2017 OBC TABLE 1609.6.2.1(2) WITH 30' MAX OVERALL HEIGHT. SIGN HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2017 OBC.



- Color Specifications**
- Pantone 298 C - RGB 85/195/240
RAL 670-6 - CMYK 65/0/0/0
 - Pantone 281 C - RGB 0/0/95
RAL 5022 - CMYK 100/85/0/50
 - Pantone 2035 C - RGB 215/0/0
RAL 3020 - CMYK 0/100/100/5
 - Pantone 3564 C - RGB 255/120/0
RAL 2008 - CMYK 0/63/100/0
 - Pantone 7548 - RGB 255/200/0
RAL 1023 - CMYK 0/25/100/0
 - Pantone 423 C Slate Grey
ALDI Grey

- D/F MONUMENT SIGN
- Brick Base (by Others) to Match Building Facade
 - Footer and Slab (By Others) Detail May Differ Based on Local Requirements
 - Aluminum Sign Cabinet
 - 2" Retainer
 - Internally LED Illuminated
 - 3/16" White Polycarbonate Face, Decorated with Digitally Printed Translucent White Vinyl
 - Painted ALDI Gray

SIGN	ACTUAL SQ. FT.	CODE
Sign Only	42 Sq. Ft.	*
Base Included	79.5 Sq. Ft.	*48 Sq. Ft.

6' Maximum Height Including Base; Changed to Accomodate Fencing

UL Underwriters Laboratories

Electrical

THIS ARTICLE IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE, AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

ELECTRICAL REQUIREMENT:
ONE 20 Amp CIRCUIT @ 120V

ELECTRICAL DATA	
VOLTAGE	120
AMPERAGE	0.00

UL Underwriters Laboratories Inc. LISTED
ELECTRIC SIGN
COMPLIES TO UL 48

Scale:
1/2" = 1' 0"

Foundation Sizes Shown are for Example. Actual Foundation Sizes TBD.



Approval:

Approved/Customer _____ Date _____

127 Cypress Street SW
Reynoldsburg, OH 43068
O: 740.964.9550
F: 740.964.9558
www.branhamsign.com

Job Path G:\JOBS\ALDI\Springfield Division\Kentucky\Union\Monument Sign Print3

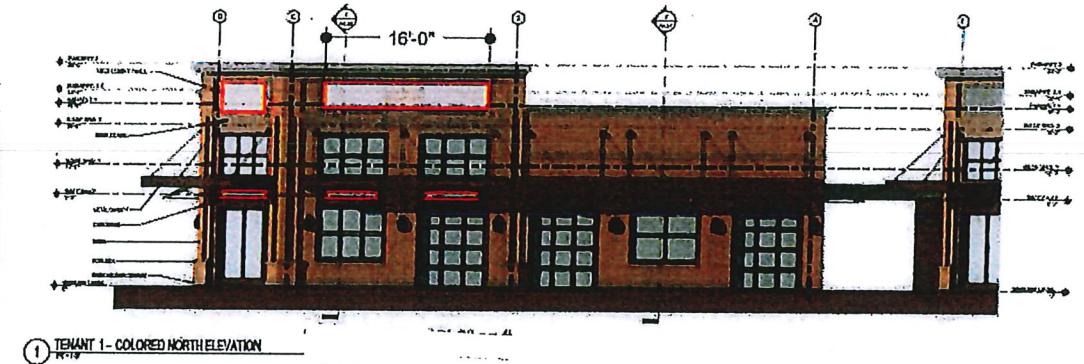
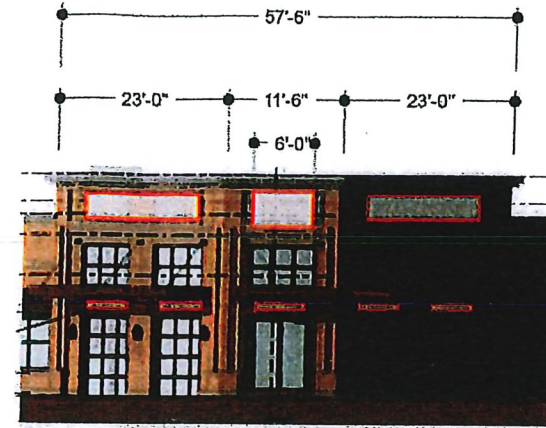
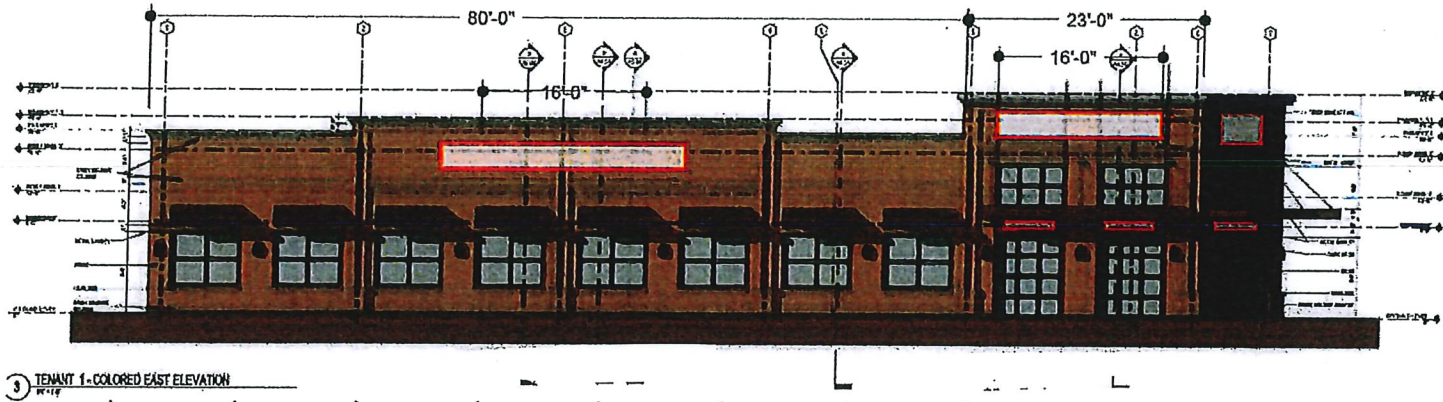
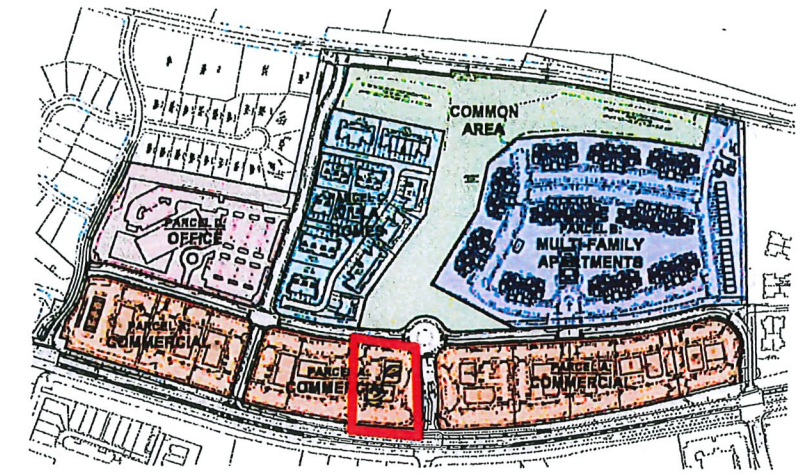
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Date	12.05.23	Designer	jgreenlee@branhamsign.com
Page Rev	003	Sales Rep	ymiller@branhamsign.com



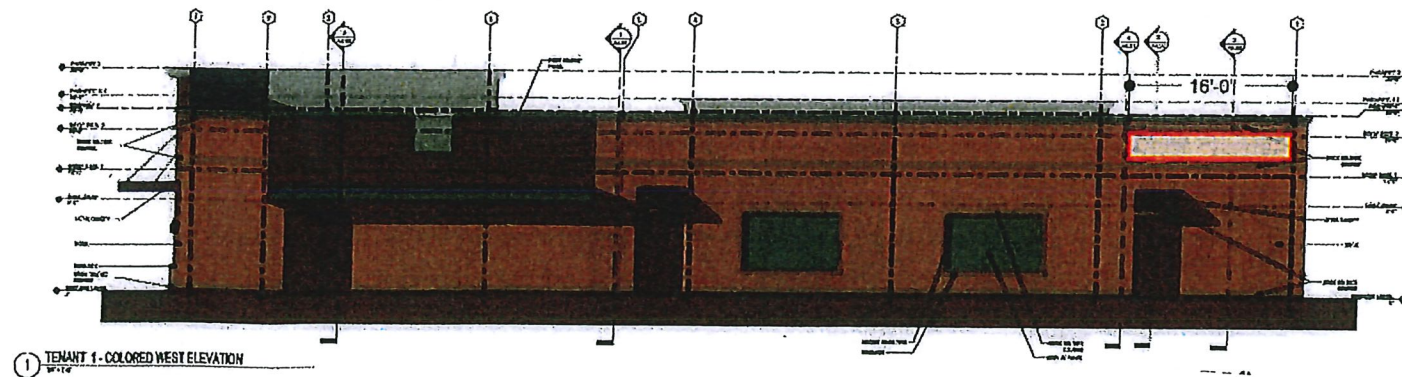
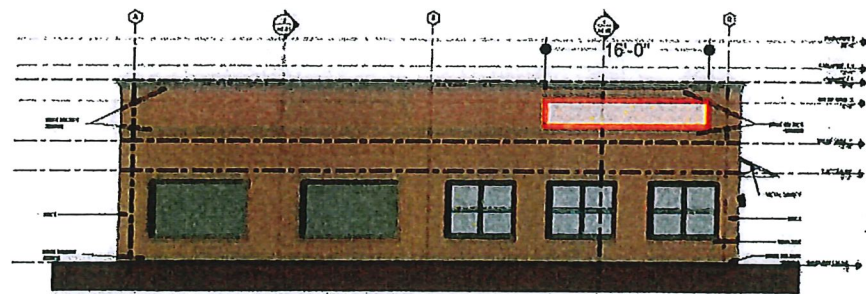
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Union Promenade | Commercial Four (C-4)

Lot 6 Building 1
Lots 4, 5, & 6

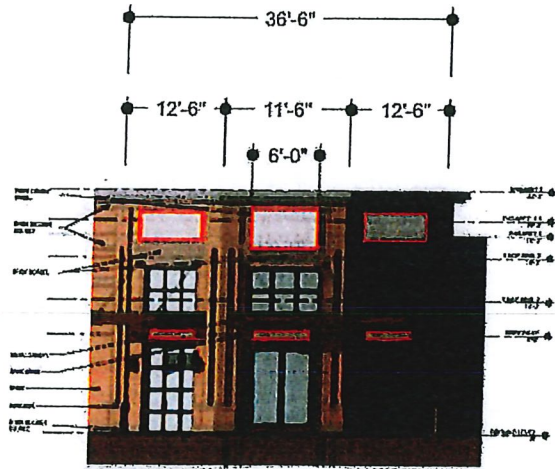
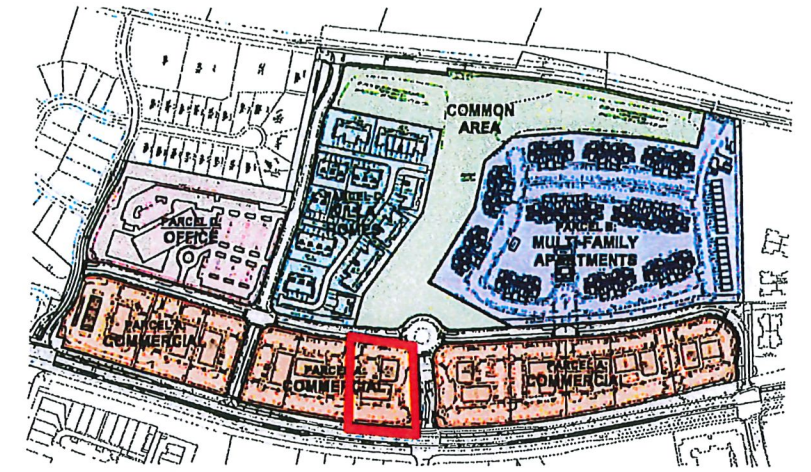


nt
tpanels

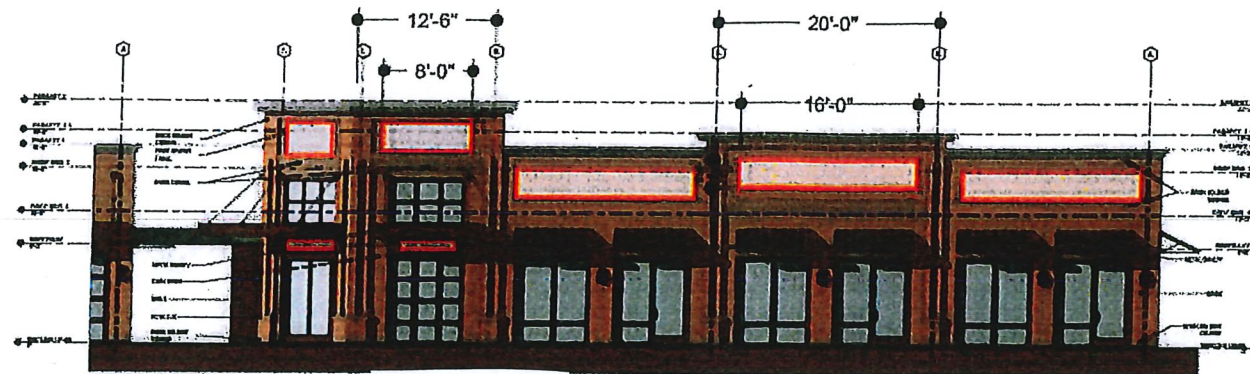


Union Promenade | Commercial Four (C-4)

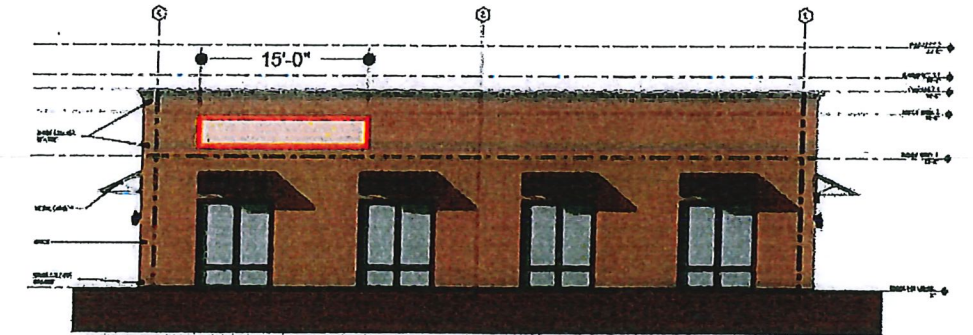
Lot 6 - Building 2
Lots 4, 5, & 6



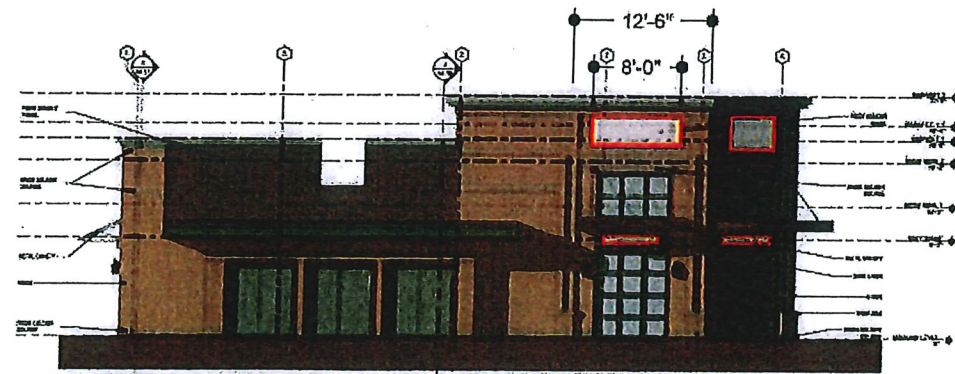
1 TENANT 2-5 - COLORED CORNER ELEVATION



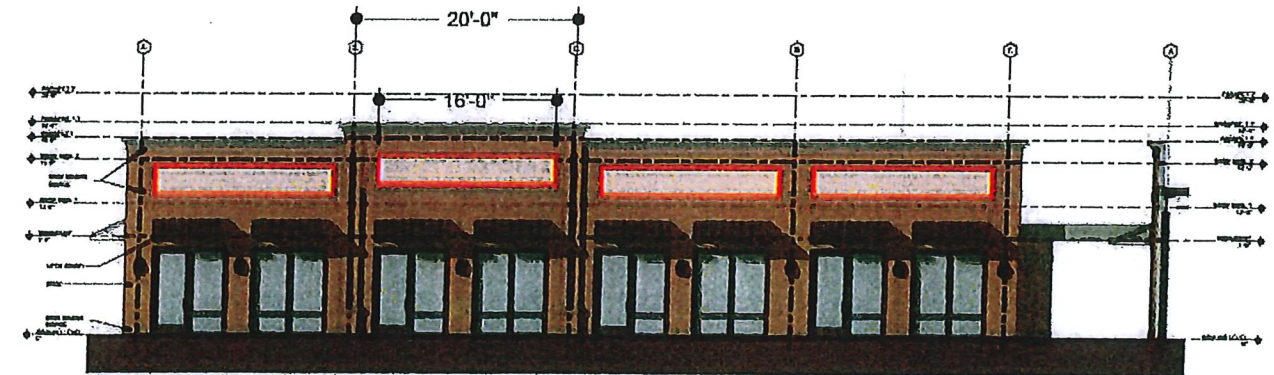
2 TENANT 2-5 - COLORED NORTH ELEVATION



anel



3 BUILDING 2 - COLORED EAST ELEVATION

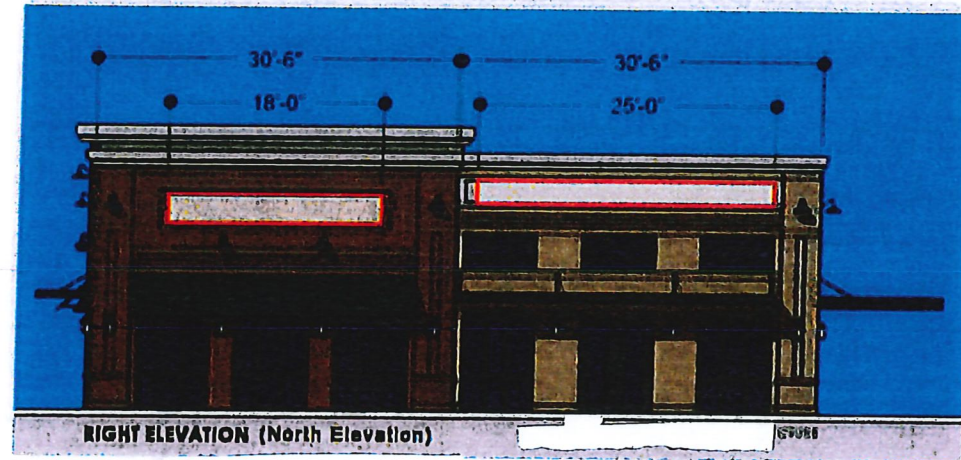
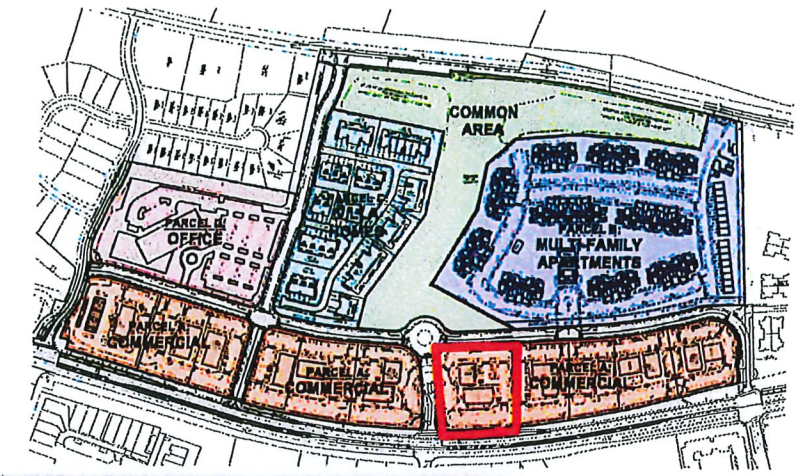


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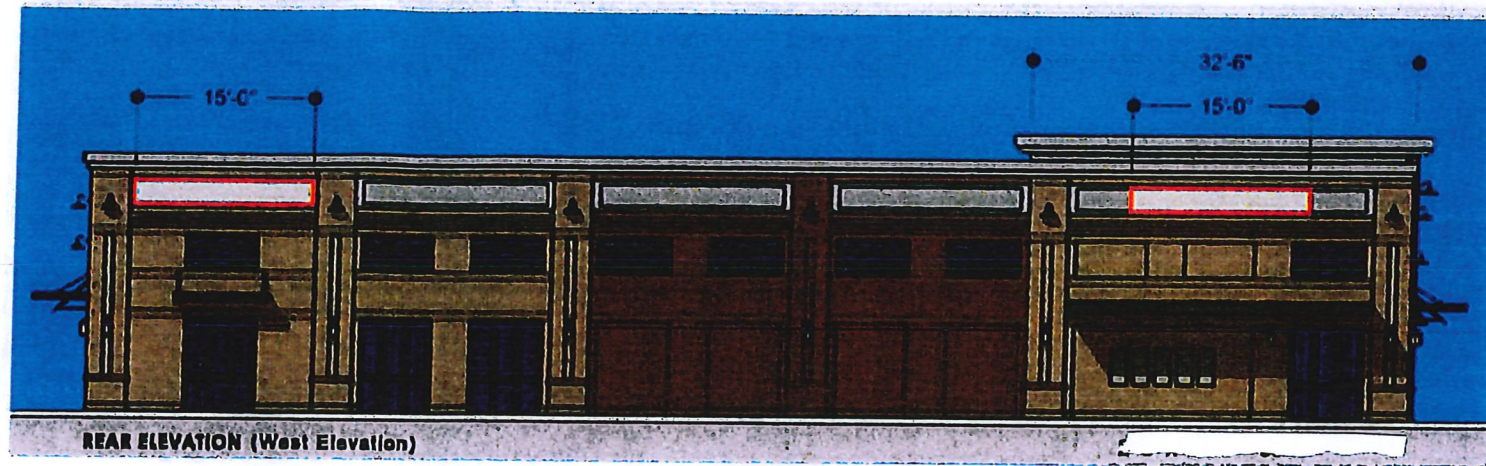
Union Promenade | Commercial Four (C-4)

~~Lot 7 Building 1~~

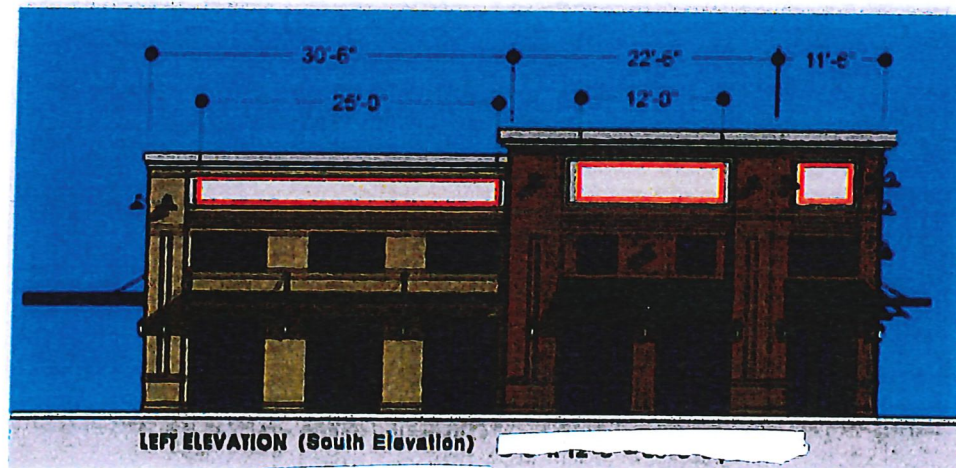
Lots 7, 8, 9, & 10



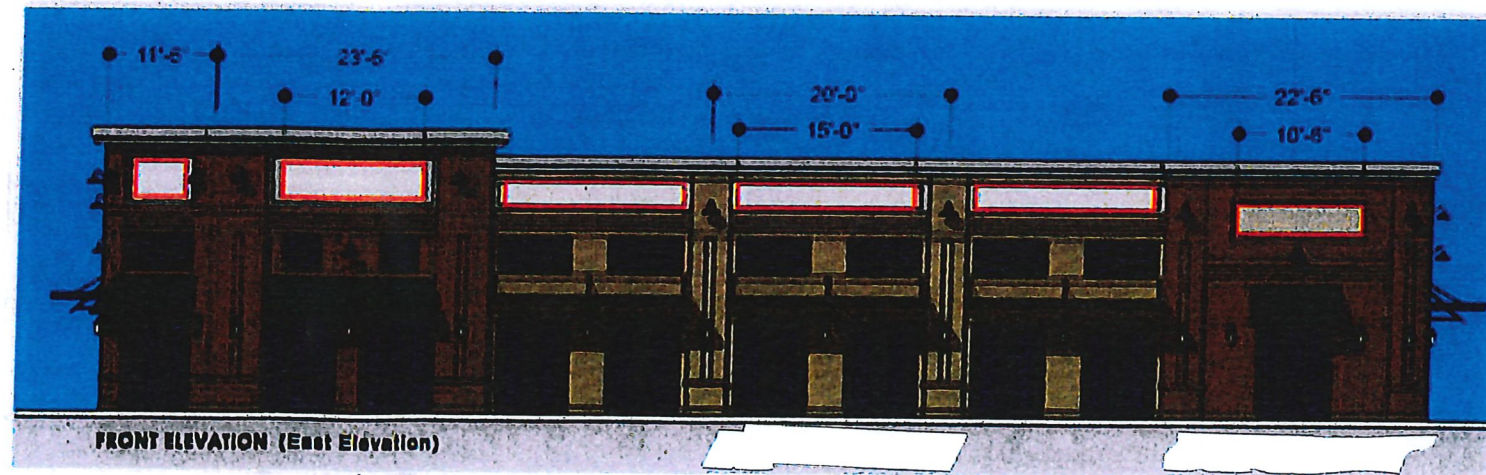
RIGHT ELEVATION (North Elevation)



REAR ELEVATION (West Elevation)



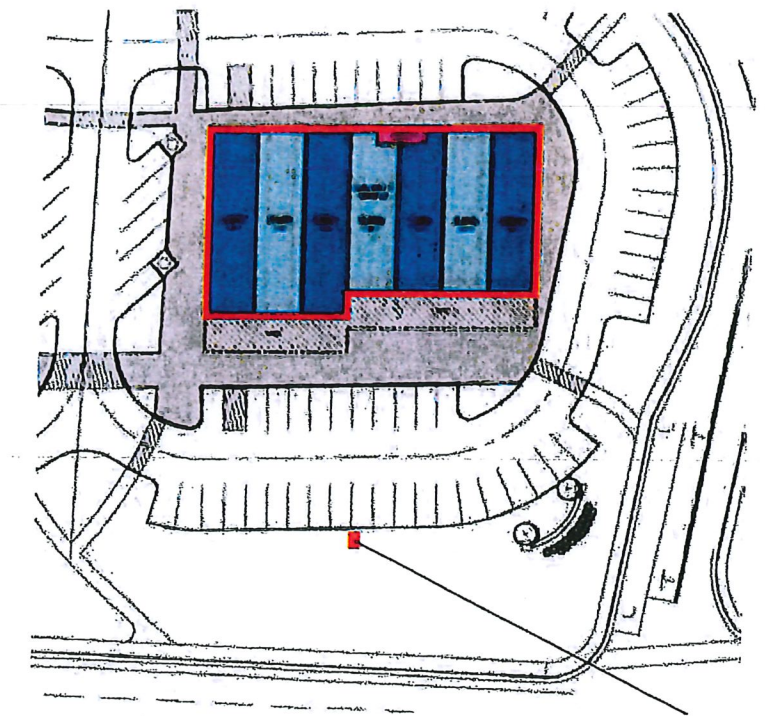
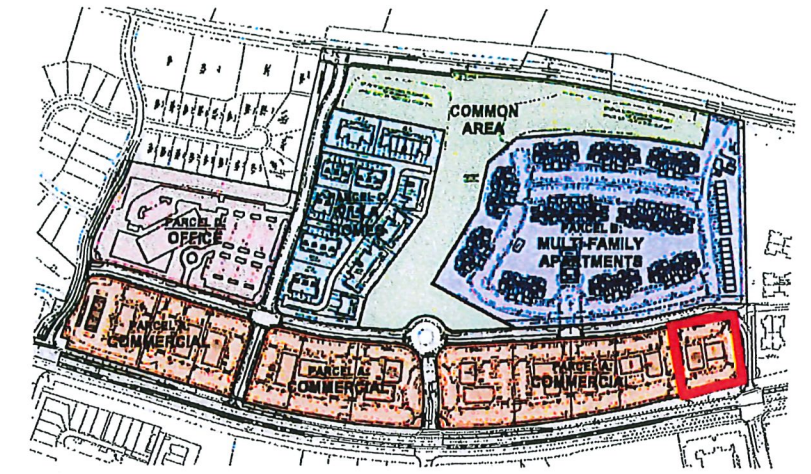
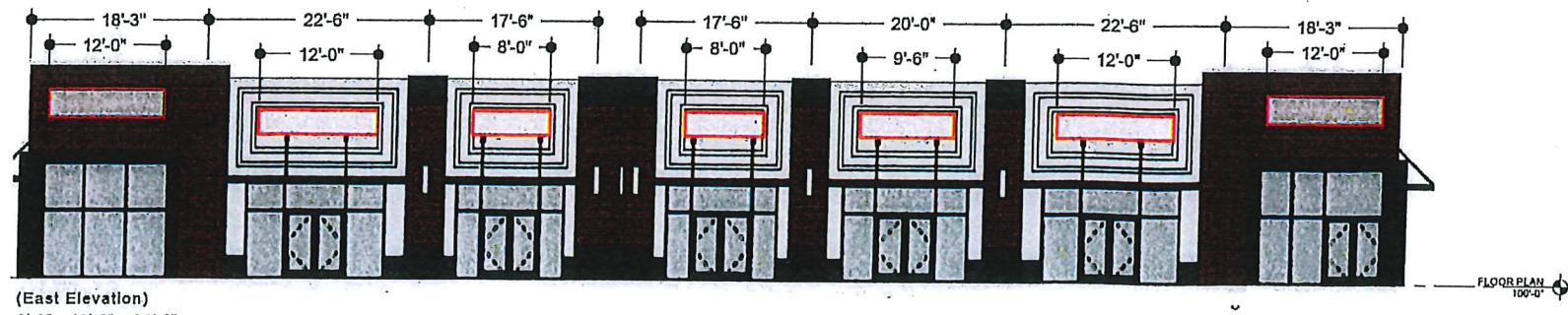
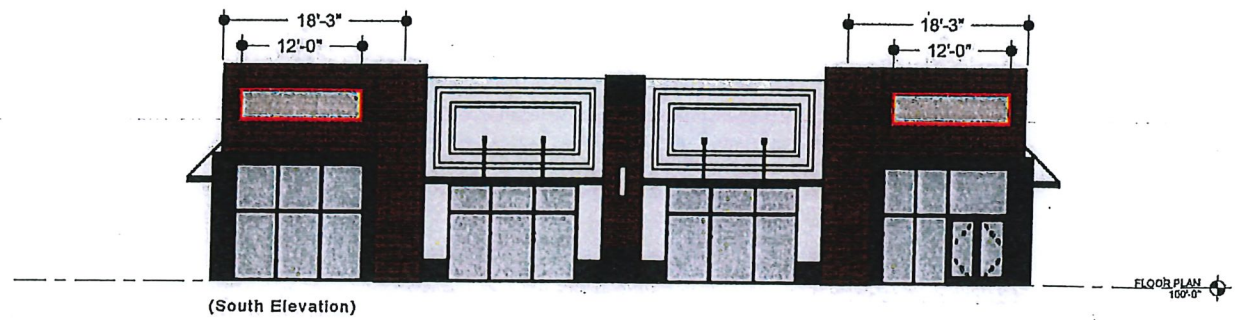
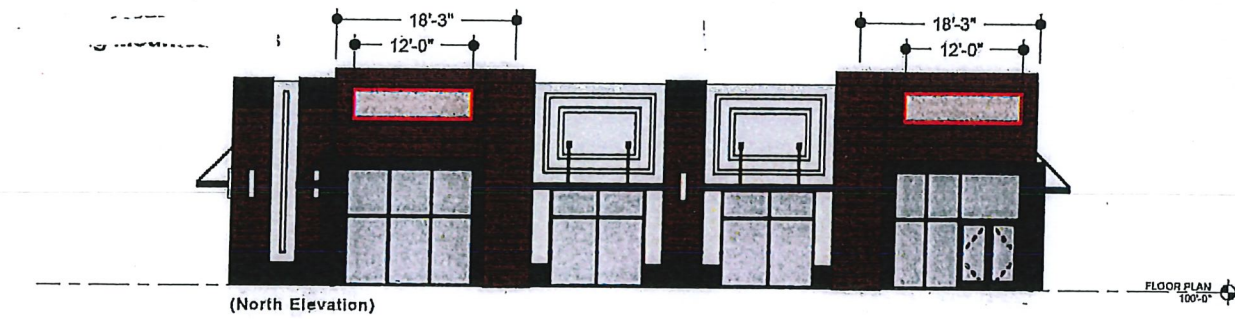
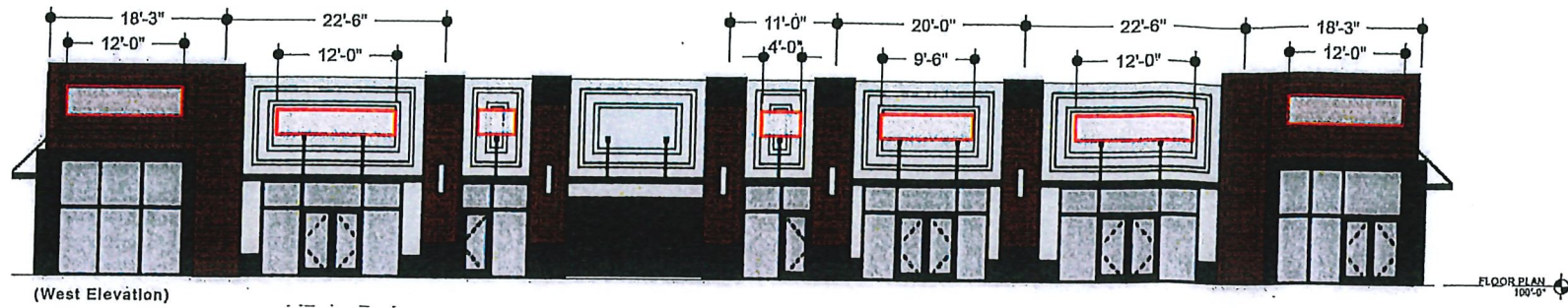
LEFT ELEVATION (South Elevation)



FRONT ELEVATION (East Elevation)

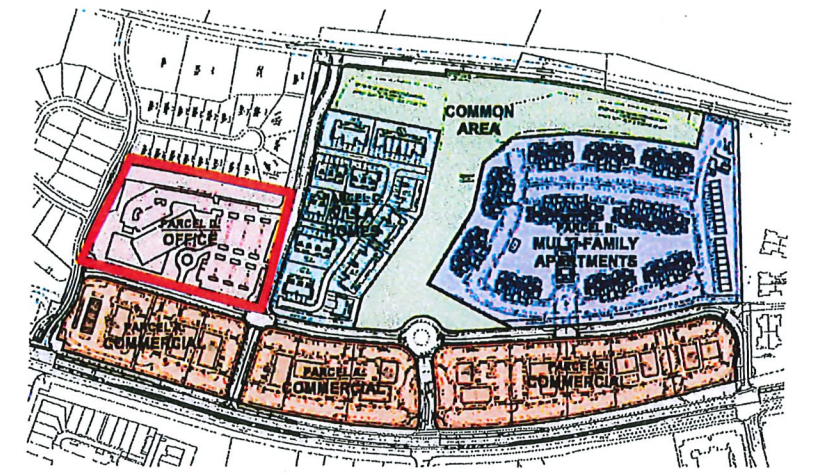
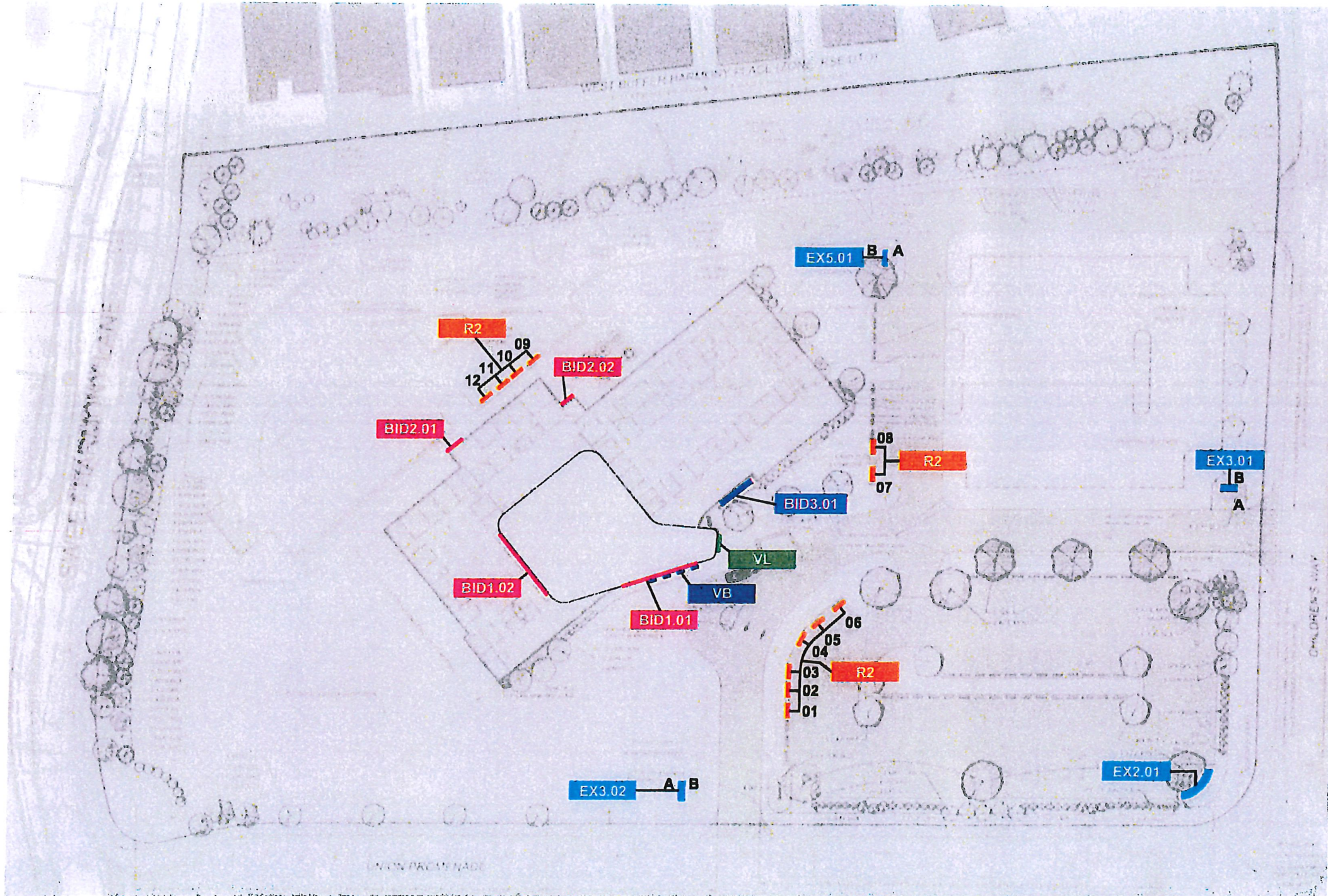
Union Promenade | Commercial Four (C-4)

Lot 11 - ~~Building 1~~



Union Promenade | Office Two (O-2)

Cincinnati Children's Medical Office Building



kolar

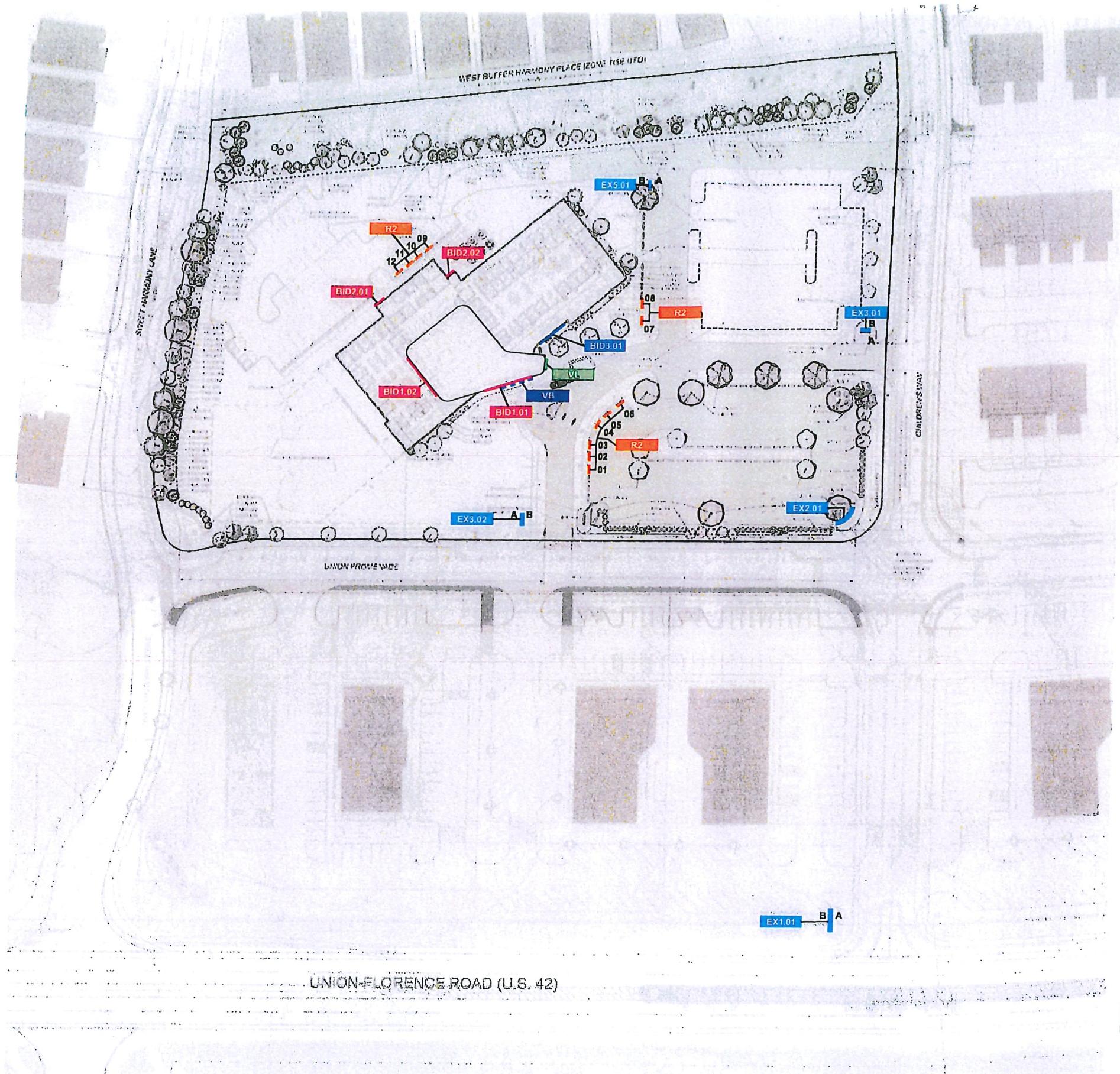
CCHMC: Union Medical Office Building

Exterior Signage Package

100% Design Intent Documentation – NOT INTENDED FOR CONSTRUCTION

Issued: December 6, 2023





**WAYFINDING SIGN TYPES
EXTERIOR**

EX1	Pylon Sign- Lot 2
EX2	Corner Monument
EX3	Entry Monument (Qty: 2)
EX5	Directional: Small
BID1	Building ID: Hero Sign (Qty: 2)
BID2	Building ID: Entry ID (Qty: 2)
BID3	Building ID: Donor Name (Qty: 1)
VL	Building ID: Vinyl Logo
VB	Building ID: Vinyl Bands
R2	Regulatory: Pole Mount (Qty: 12)

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Union MOB
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100% Design Intent

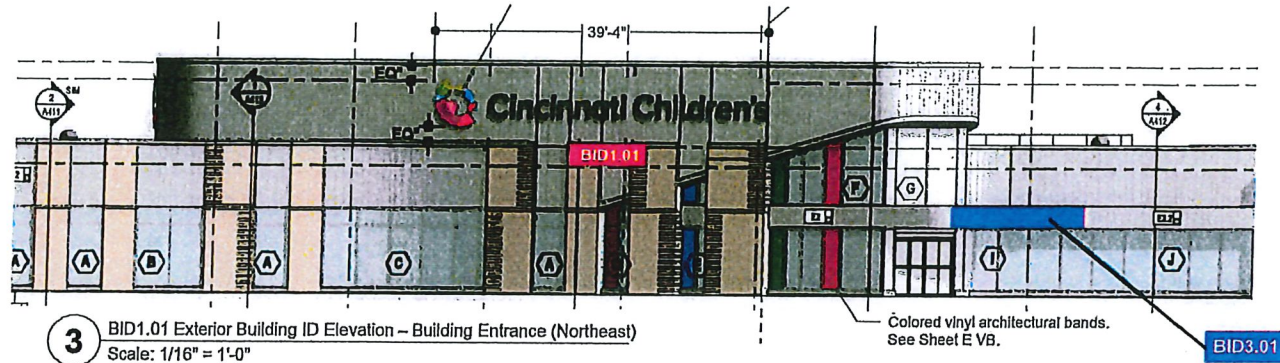
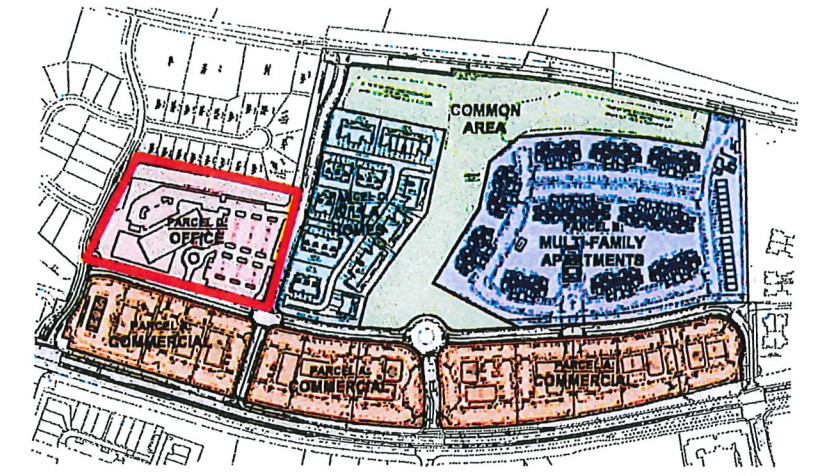
Issued: 06-30-23
Drawn By: SH
Checked By: HA

**Exterior Sign
Location Plan**

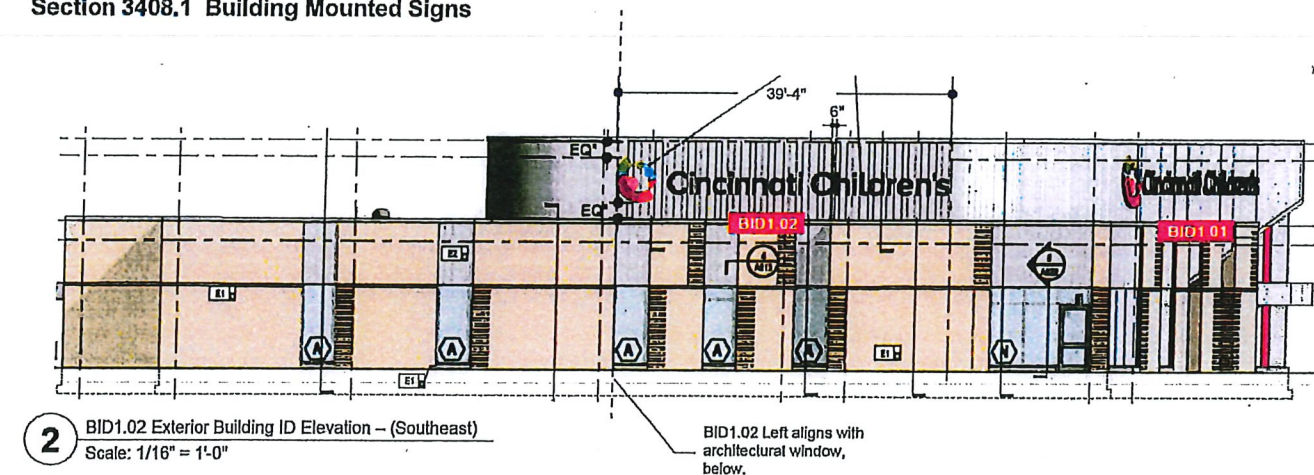
Sheet
E 101

Union Promenade | Office Two (O-2)

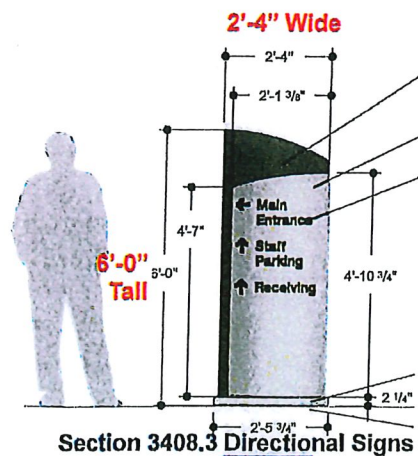
Cincinnati Children's Medical Office Building

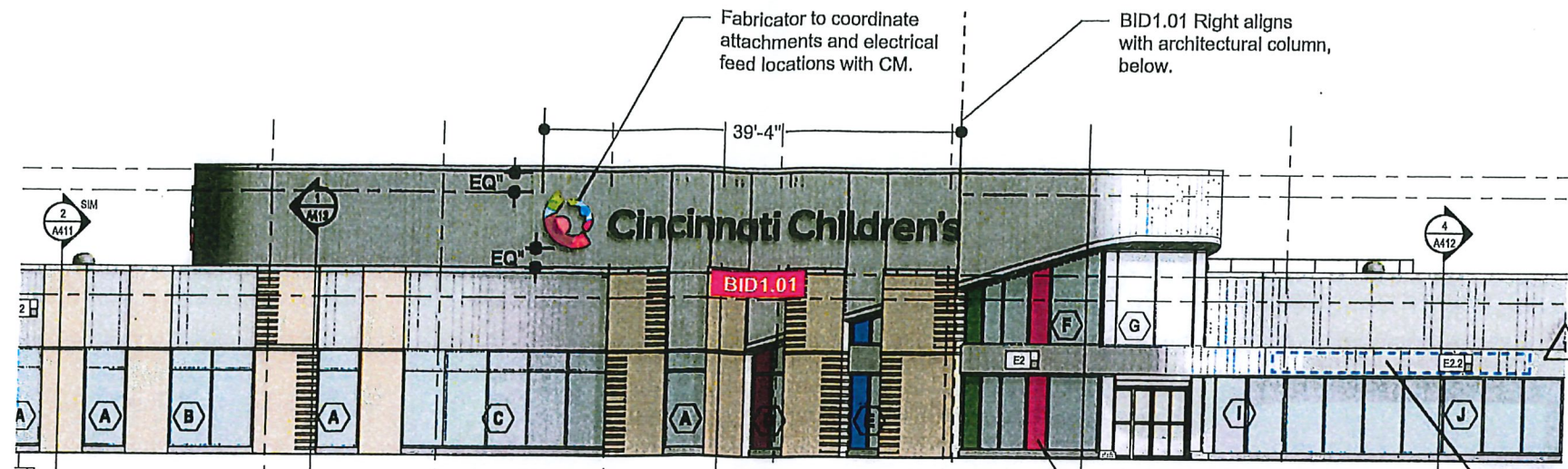


Section 3408.1 Building Mounted Signs



Section 3408.1 Building Mounted Signs





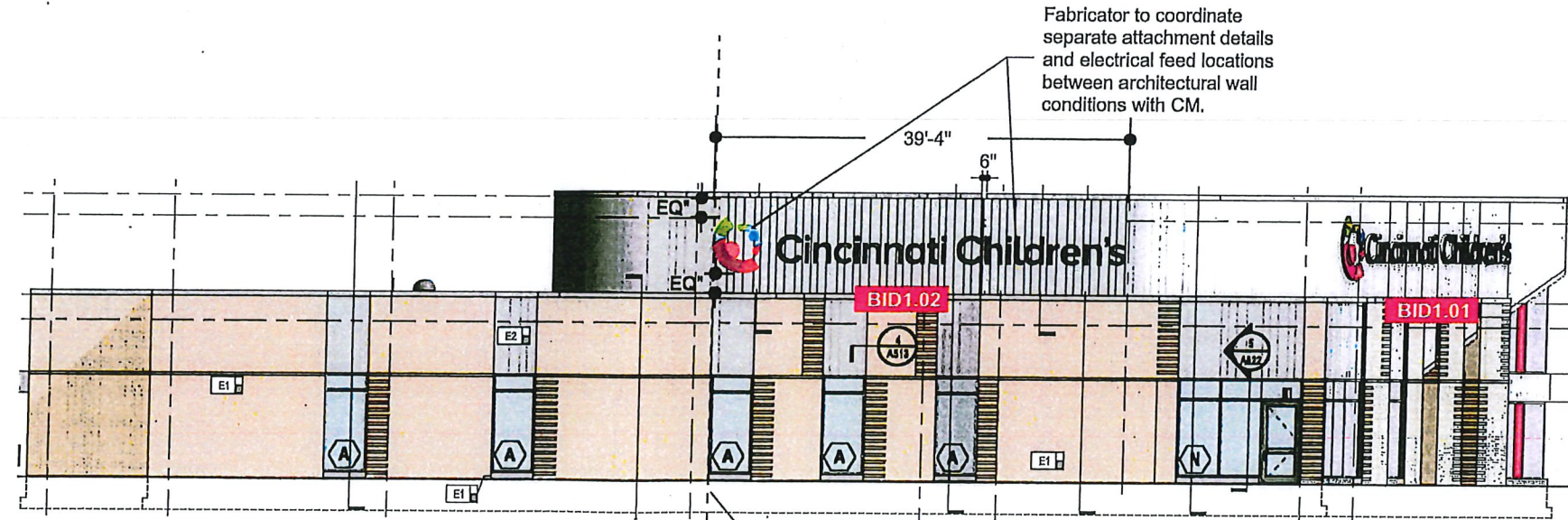
3 BID1.01 Exterior Building ID Elevation – Building Entrance (Northeast)
Scale: 1/16" = 1'-0"

Artwork will be provided. Coordinate all field surveys with CM.

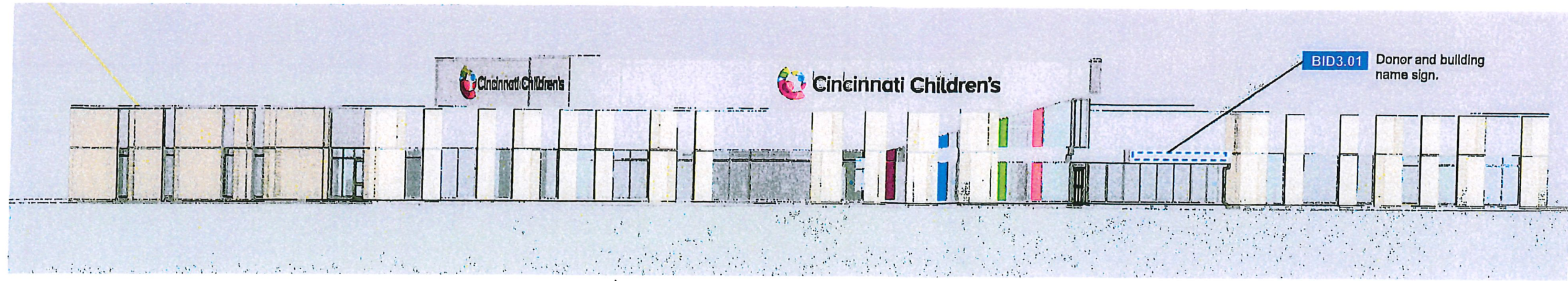
All structural components, anchors, connections and fasteners shall be engineered, documented and stamped by a Kentucky registered structural engineer.

OVERALL SIZE:
209.78 Square Feet, Per Sign

QUANTITY:
2 signs, unique locations



2 BID1.02 Exterior Building ID Elevation – (Southeast)
Scale: 1/16" = 1'-0"



1 BID1.01 Exterior Building ID – (Rendering – Perspective View)
NTS

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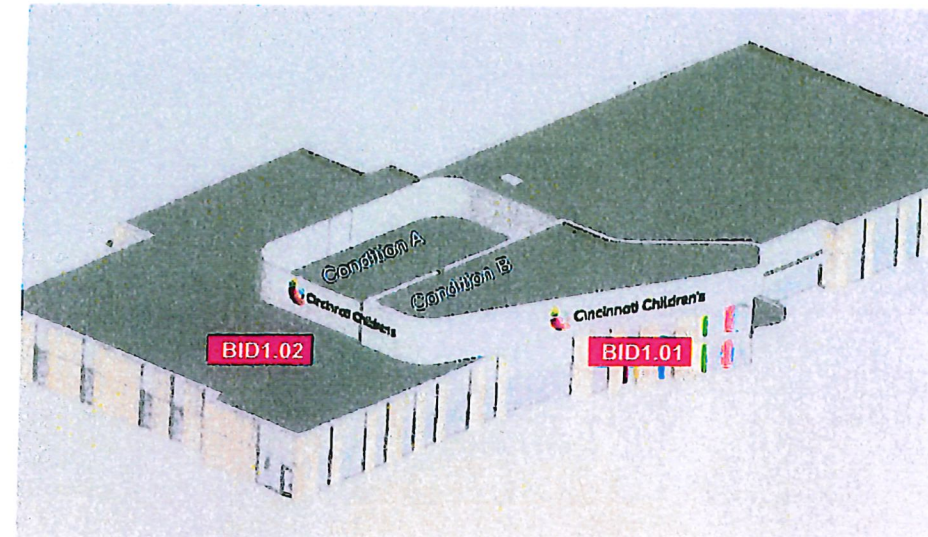
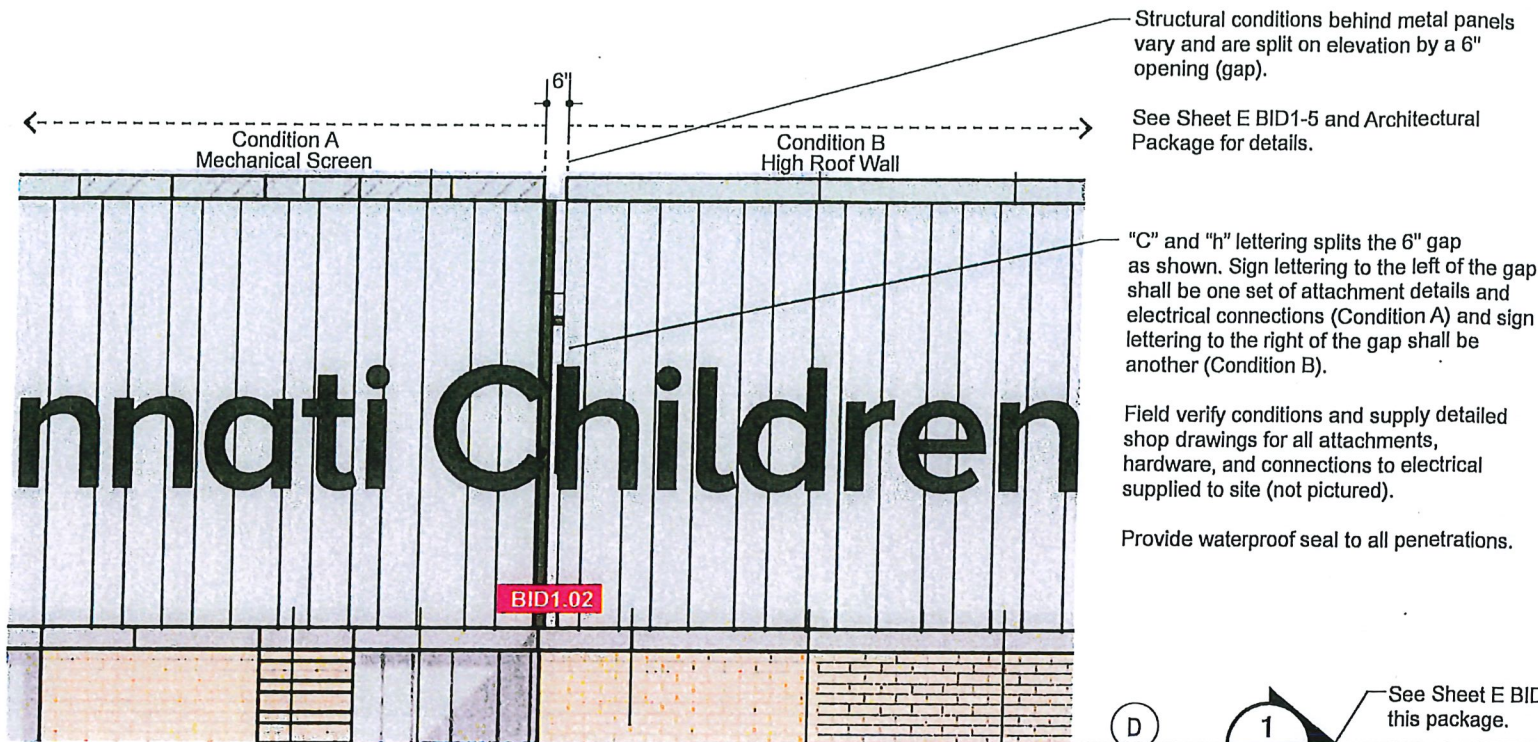
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Drawn By: HA
Checked By: JFK

Sign Type BID1
Building ID
Elevations

Sheet
E BID1-1



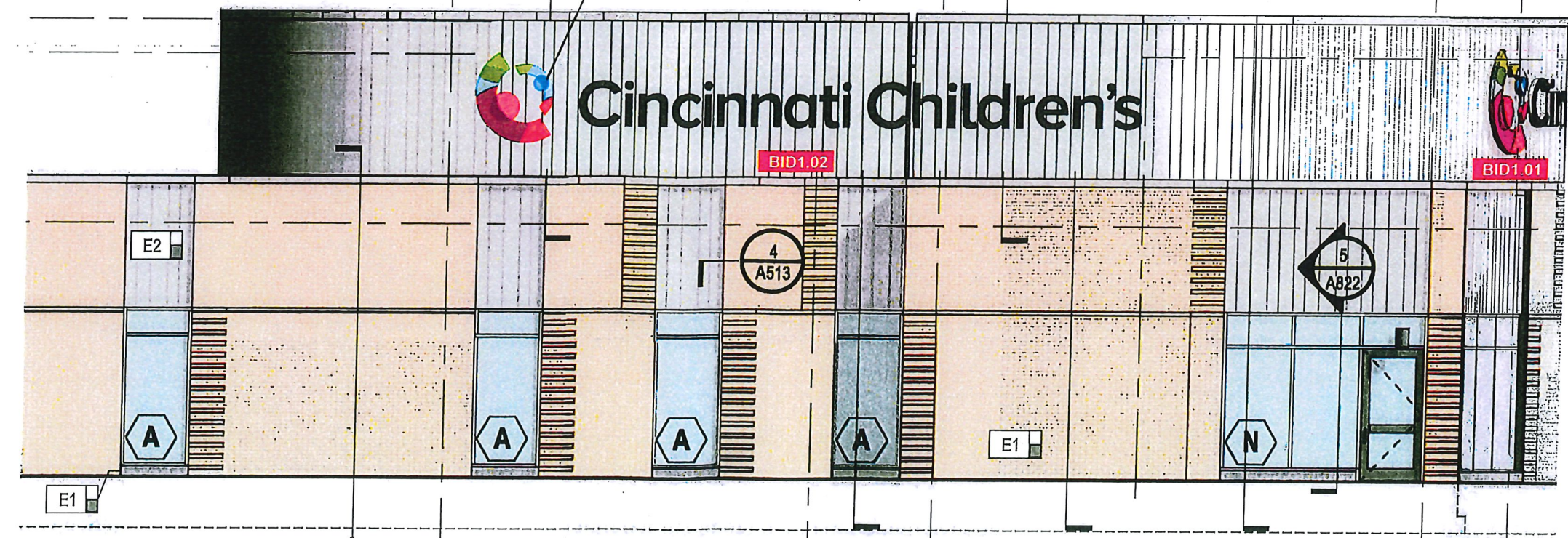
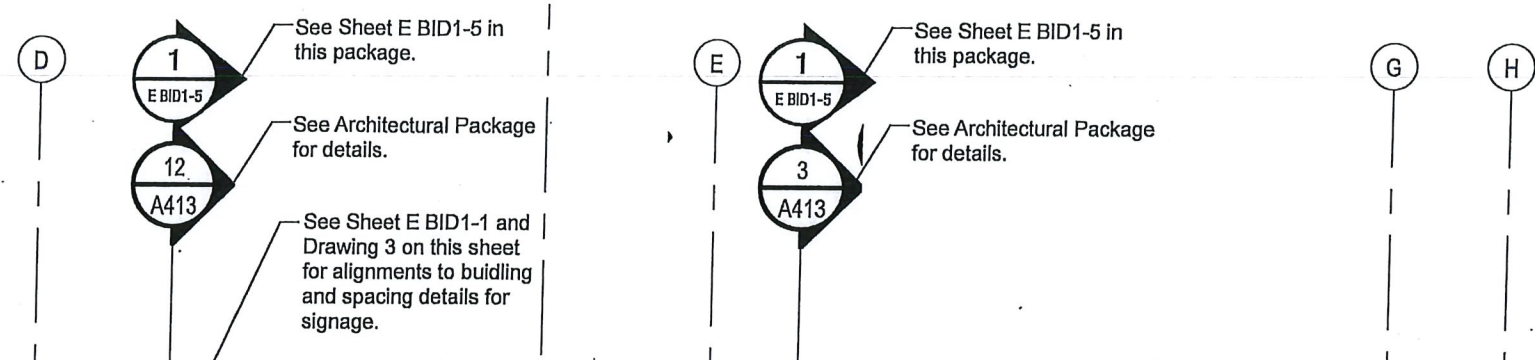
2 Rooftop Aerial Rendered View – For Reference Only
NTS

Artwork will be provided. Coordinate all field surveys with CM.

All structural components, anchors, connections and fasteners shall be engineered, documented and stamped by a Kentucky registered structural engineer.

COORDINATION NOTE: Sign fabricator to coordinate with CM all locations for tie-ins and connections to the electrical infrastructure. Electrical (120 V) shall be provided to the site by Others.

3 Building Detail at Sign BID1.02 – Architectural Panel Split Conditions
1/4" = 1'-0"



1 Building Sign View at Sign BID1.02 – Architectural Detail 4, Sheet A302 (For Reference Only)
1/8" = 1'-0"

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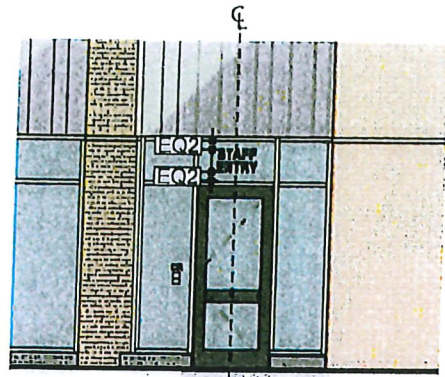
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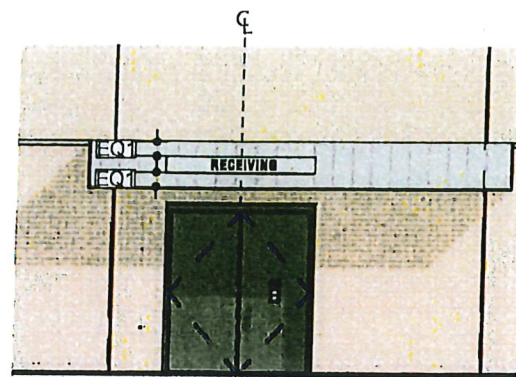
Issued: 06-30-23
Drawn By: HA
Checked By: JFK

Sign Type BID1
Building ID
Wall Details

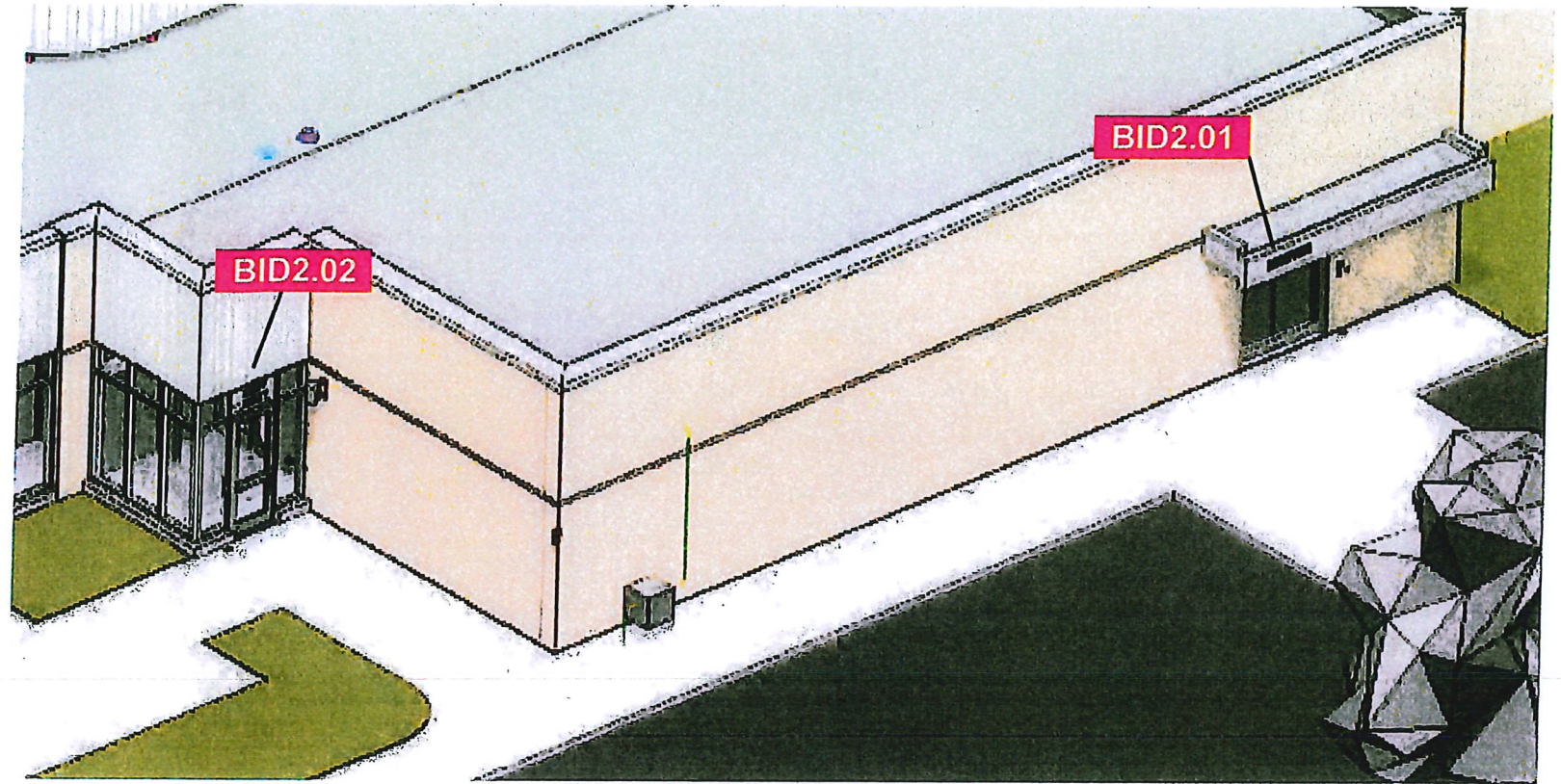
Sheet
E BID1-4



5 BID2.02
Scale: 1/8" = 1' - 0"



4 BID2.01
Scale: 1/8" = 1' - 0"



3 BID2 – Building ID At Entrances - Staff & Receiving Entry Locations
Scale: NTS



Sign BID2.02

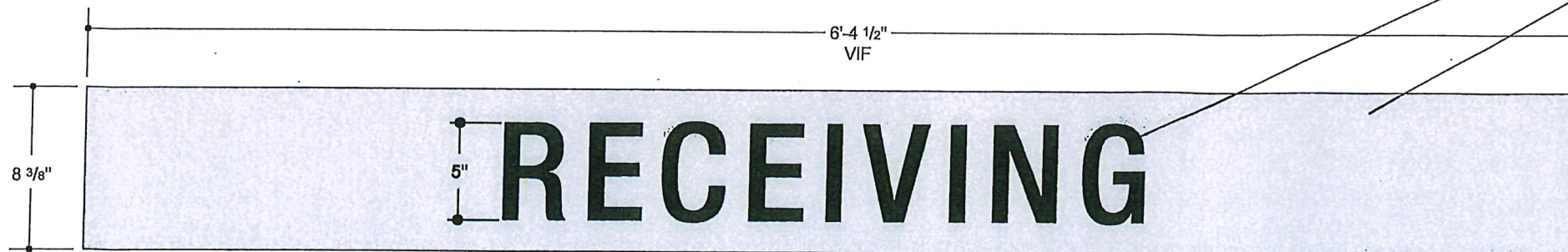
1/4" PVC cut-out letters painted white on all sides, mounted first surface to glass using exterior grade full coverage adhesives.

On interior second surface of glass, cut reverse shapes of each letterform out of Dark Grey vinyl and mount in alignment with PVC letters on the front (to hide adhesive visible through glass).

Note: Fabricator to provide field measurements of doors and mullions. Signage consultant to provide final layout based on field verifications.

Artwork files to be provided.

2 BID2.02 – Building ID Staff Entrance - Front Elevation
Scale: 1 1/2" = 1' - 0"



1/4" PVC cut-out letters painted Dark Grey on all sides, mounted to metal backer panel.

Metal backer panel painted to match architectural canopy. Field verify colors and submit sample for approval. Panel to match width of double door frame below and center vertically on canopy fascia.

Backer panel to pin mount through metal fascia into plywood behind. Provide waterproof seal to all penetrations. Allow backer panel to hold off slightly from fascia to allow for water to escape / run off. See Architectural Package for details.

Note: Fabricator to provide field measurements of canopy and metal panels. Signage consultant to provide final layout based on field verifications.

Artwork files to be provided.

1 BID2.01 – Building ID At Receiving Canopy - Front Elevation
Scale: 1 1/2" = 1' - 0"

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Checked By: HA

**Sign Type BID2
Building IDs at
Entrances**

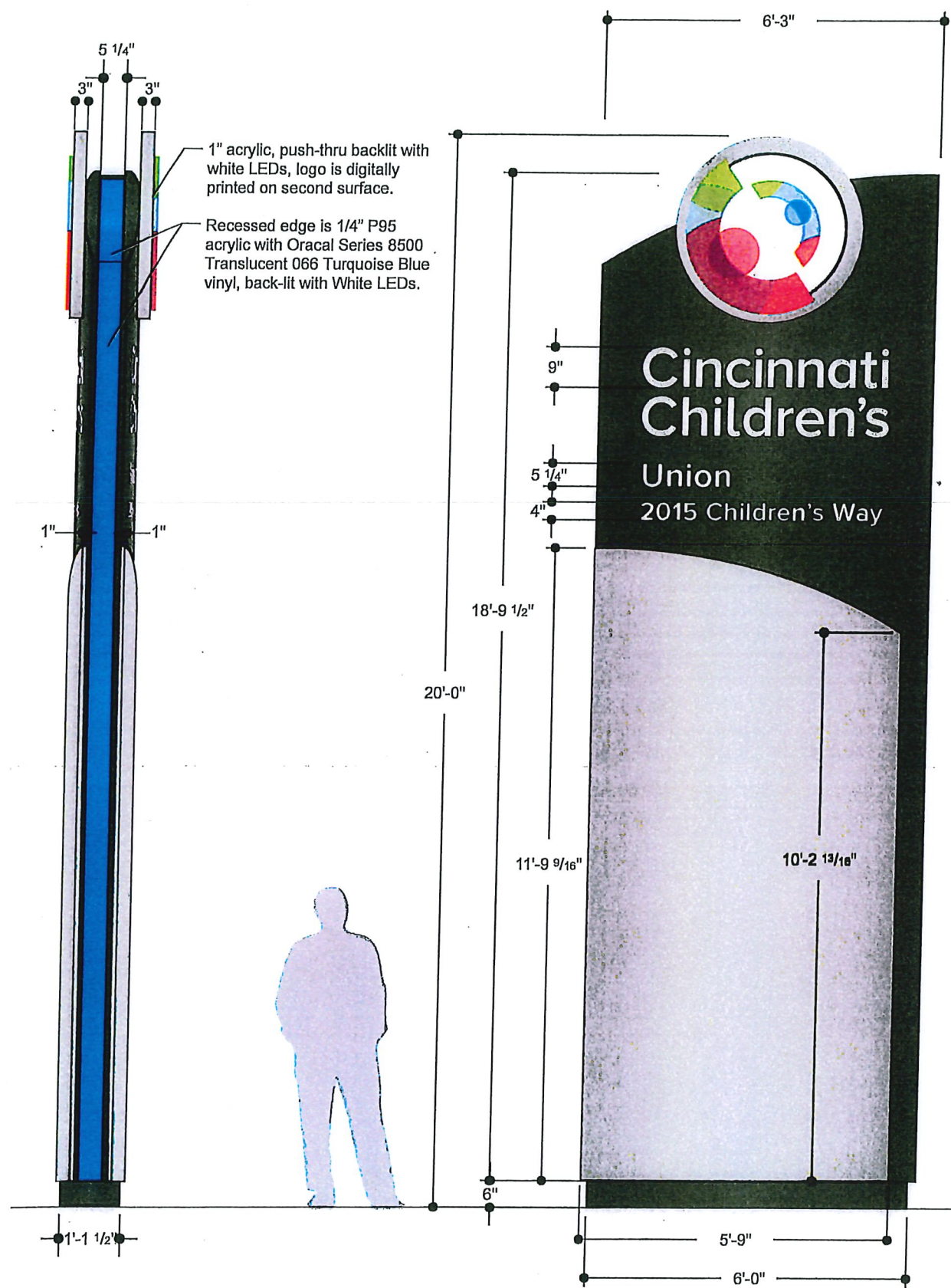
Sheet

E BID2

Artwork will be provided. Coordinate all field surveys with CM.

All structural components, anchors, connections and fasteners shall be engineered, documented and stamped by a Kentucky registered structural engineer.

OVERALL SIZE:
125 Square Feet, Double Sided



Dimensional Disc is 3" deep, internally illuminated 1/8" aluminum sign cabinet (1 per sign face) with push thru acrylic logomark and 2nd surface translucent colors. See Sheets E EX1-2 and E EX1-3 for more details and specifications.

1/8" Rolled aluminum sign cabinet, painted Dark Grey. Provide aluminum internal structure as required. See Sheet E EX1-2 for top view.

White translucent acrylic push-thru letters, flush to face. Letters are backlit with white LEDs.

Note: All internal illumination and connections to electric to be provided by Fabricator. Coordinate access to electric on site with CM.

1" thick, raised aluminium panel, painted Silver on face and returns. See Sheet E EX1-2 for top view.

Note: Sign should receive exterior / up illumination to wash face of sign on a timer. For sites with lot or other building lighting, tie into or coordinate with existing timer so lights come on at the same time. Coordinate external lighting and access to electric on site with CM.

6" minimal skirting at bottom of sign to "lift" the sign off the ground, painted Dark Gray. Skirting should follow the slope of the ground and height will vary accordingly. Field verify conditions.

Provide Foundation as required (not shown).

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Issued: 06-30-23
Drawn By: HA
Checked By:

**Sign Type EX1
Pylon Sign
Front Elevations**

Sheet
E EX1-1

4 Side View – Street Side
Scale: 3/8" = 1'- 0"

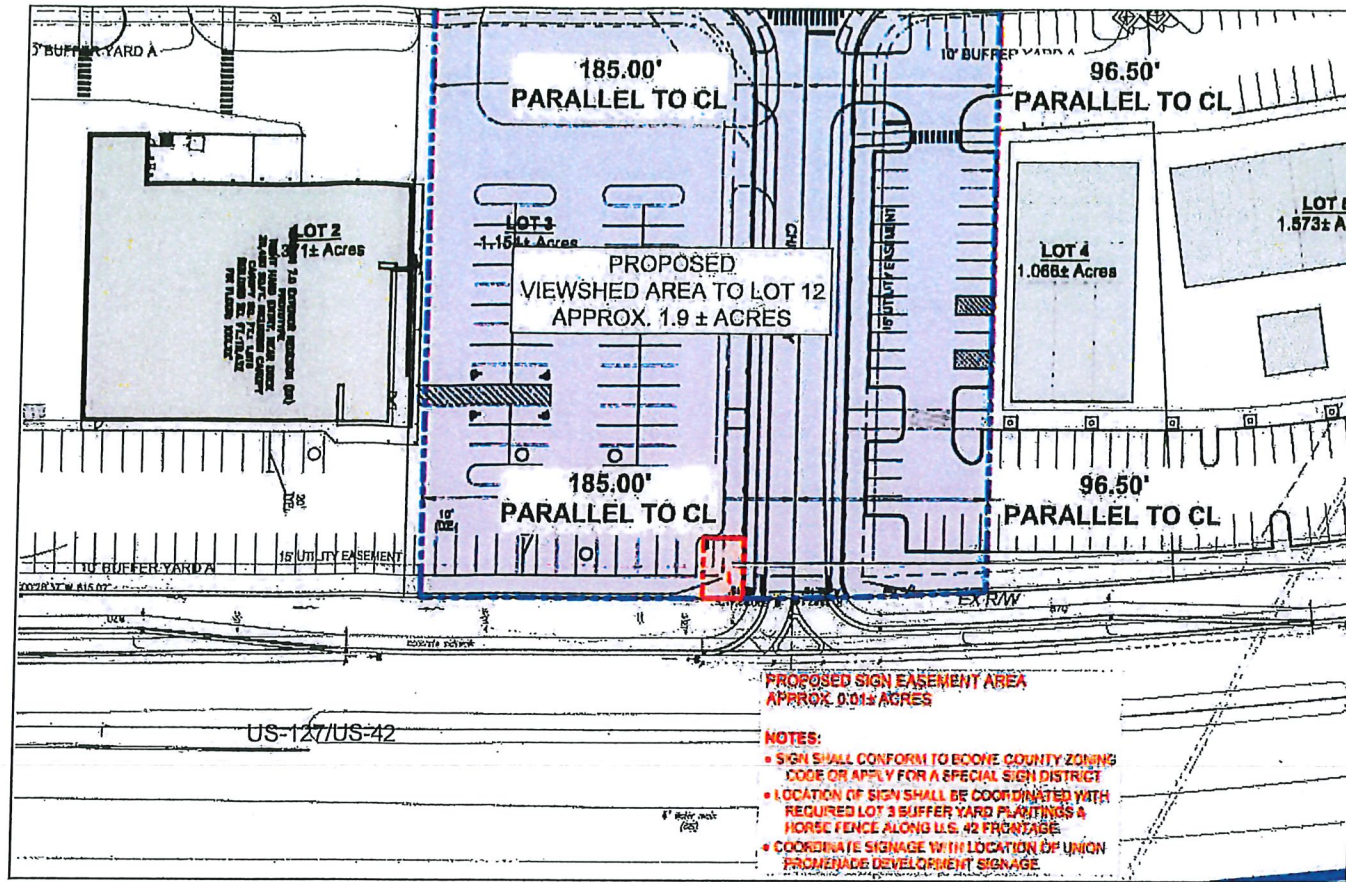
3 EX1 Front Elevation, Side A
Scale: 3/8" = 1'- 0"

2 Side View – Interior Side
Scale: 3/8" = 1'- 0"

1 EX1 Front Elevation, Side B
Scale: 3/8" = 1'- 0"



3 EX1 Location Rendering – For Representation Only
NTS



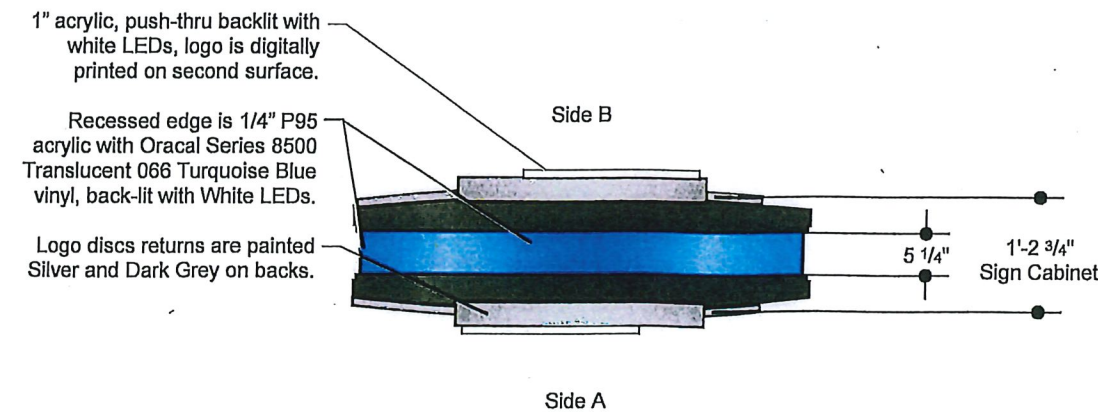
Artwork will be provided. Coordinate all field surveys with CM.

All structural components, anchors, connections and fasteners shall be engineered, documented and stamped by a Kentucky registered structural engineer.

COORDINATION NOTE:
Sign fabricator to coordinate with GC all locations for tie-ins and connections to the required electrical infrastructure. Electrical shall be provided to the site by Others.

Additional placement studies will be required / provided.

2 Sign EX1 – Location Plan View Reference
NTS



1 EX1 Pylon Sign – Plan View
Scale: 1/2"=1'-0"

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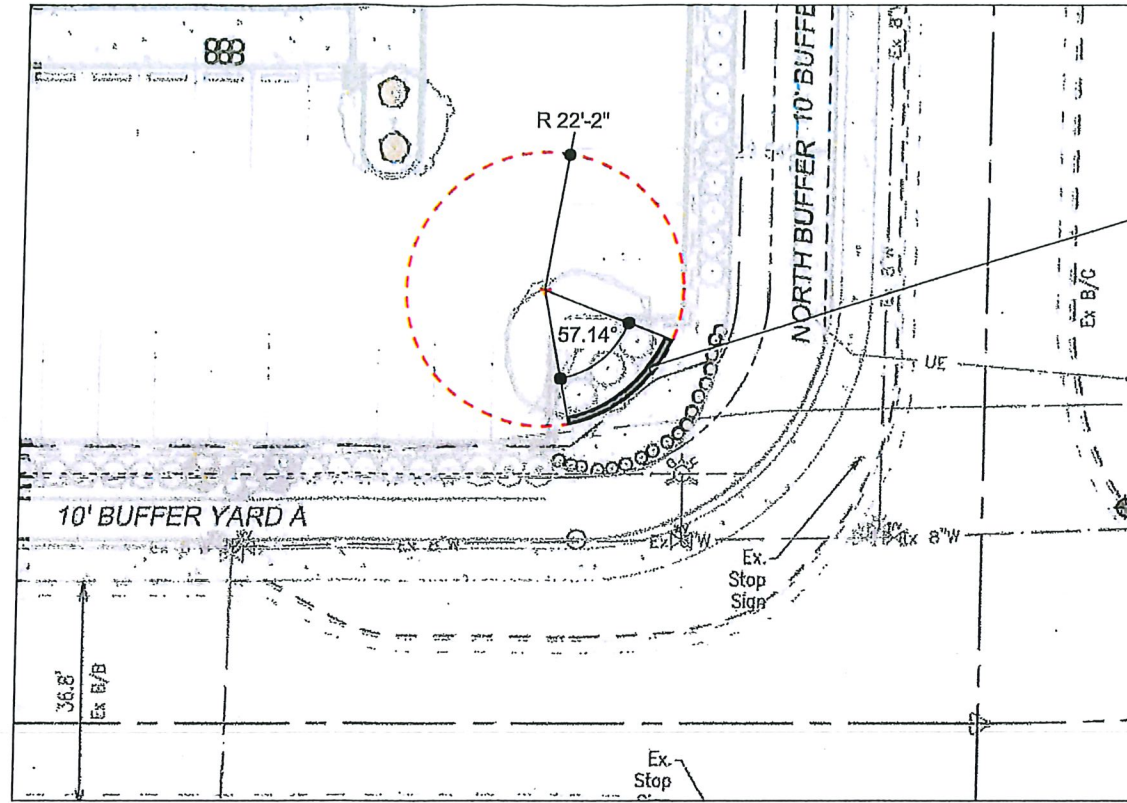
**Sign Type EX1
Pylon Sign
Top Elevation and
Details**

Sheet

E EX1-2



3 EX2 Location Rendering – For Representation Only
NTS



2 Location Plan View
Scale: 1" = 30'-0"

Landscaper to coordinate plantings with curvature and height of corner monument sign.

Sign Plan View. See Sheet E EX2-2 for more details and specifications.

Artwork will be provided. Coordinate all field surveys with CM.

All structural components, anchors, connections and fasteners shall be engineered, documented and stamped by a Kentucky registered structural engineer.

OVERALL SIZE:
118 Square Feet

COORDINATION NOTE:
Sign fabricator to coordinate with CM all locations for tie-ins and connections to the required electrical infrastructure. Electrical shall be provided to the site by Others.

Colored logomark is acrylic, push-thru 1" from aluminum face with clear returns returns rotary polished with an emery disc. Multiple unique Brand Colors digitally printed on second surface White Translucent vinyl. Backlit with White LEDs.

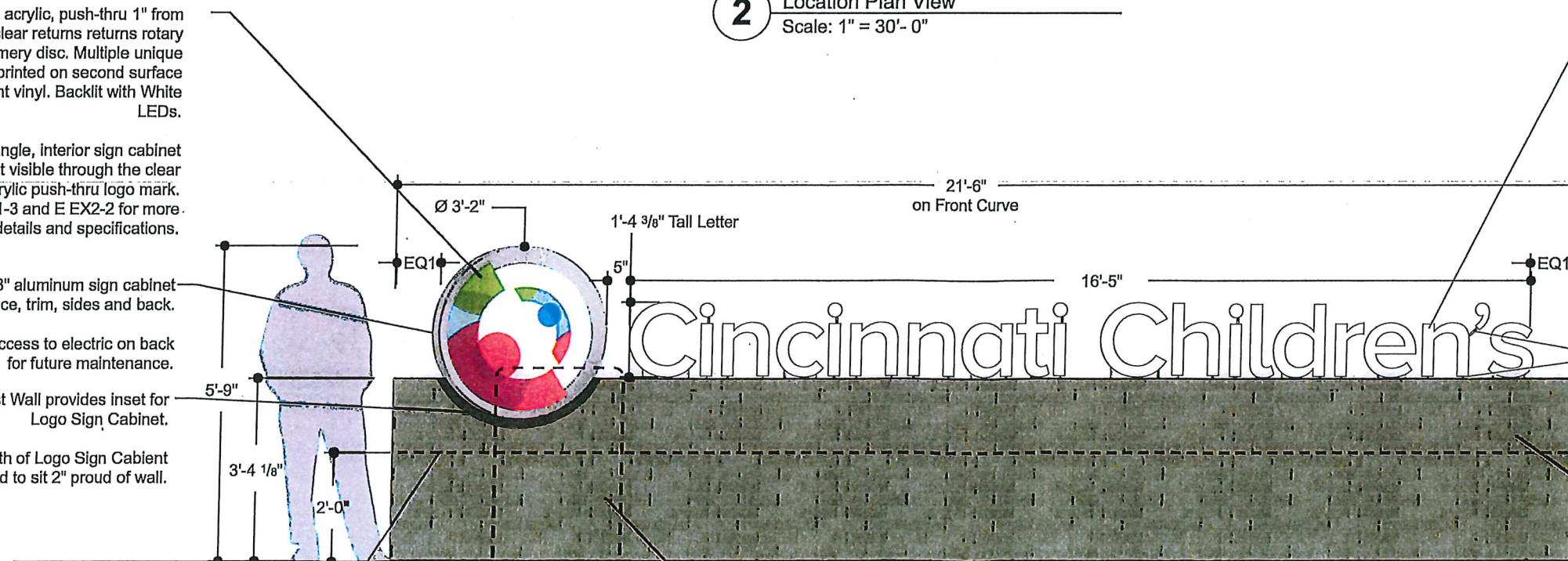
Ensure that from any angle, interior sign cabinet and mechanics are not visible through the clear acrylic push-thru logo mark. See Sheets E EX1-3 and E EX2-2 for more details and specifications.

7" deep, 1/8" aluminum sign cabinet is painted Silver on face, trim, sides and back.

Provide removable access to electric on back for future maintenance.

Precast Wall provides inset for Logo Sign Cabinet.

Depth of Logo Sign Cabinet designed to sit 2" proud of wall.



Proposed height of landscaping (bushes) in front of sign

Provide one (1) internal feeder location for electric to Logomark Cabinet and Sign Letters. Confirm location and connections in shop drawing. Any exposed conduit will need to be painted to match base materials / finishes. Provide access to internal electric for future maintenance.

Verify grade in the field. Provide Foundation as required (not shown). Coordinate with Architect/CM as necessary.

(1) Set of internally illuminated, 4" deep channel letters on custom curved raceways. Faces are translucent White acrylic, backlit with white LEDs.

A curved baseplate for leveling of Channel Letters is recessed into a "trough" that will be precast into the top of the concrete base. Round letters will appear flush to top of the wall. Ensure the bottoms of the round letters are visible above curved baseplate and top of wall.

Returns and backs painted MP18214 Grey Patina Metallic with White trim caps.

1" Square spacers/standoffs painted brushed aluminum tie into raceway. See Sheet E EX2-2 for more details and specifications.

Fabricator provides precast curved concrete base with simulated or stamped stone textured exterior. Exact texture of simulated stone to be coordinated with Kolar and Architect. Color to match SimTek Ecostone Gray Granite simulated stone product.

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Drawn By: HA
Checked By:

Sign Type EX2
Corner Monument
Front Elevations

Sheet
E EX2-1

1 EX2 Front Elevation, Curved
Scale: 3/8" = 1'-0"

Artwork will be provided.
Coordinate all field surveys
with CM.

All structural components,
anchors, connections and
fasteners shall be engineered,
documented and stamped by a
Kentucky registered structural
engineer.

OVERALL SIZE:
47 Square Feet (ea.)

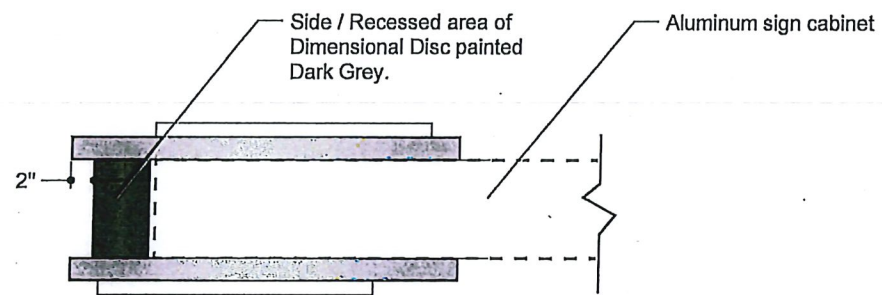
QUANTITY:
2 signs, unique locations

COORDINATION NOTE:
Sign fabricator to coordinate with
GC all locations for tie-ins and
connections to the required
electrical infrastructure. Electrical
shall be provided to the site
by Others.

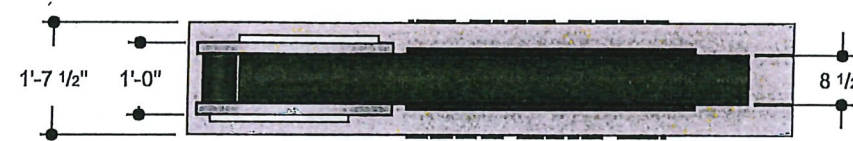


See Sheet E EX3-2 for
more location information.

5 Location EX3.01 Rendering – For Representation Only
NTS



4 Dimensional Disc Detail
Scale: 3/4" = 1'-0"



3 Plan View
Scale: 3/8" = 1'-0"

Dimensional Disc is 1'-0" deep, internally
illuminated 1/8" aluminum sign cabinet with
push thru acrylic logomark and 2nd
surface translucent colors (both sides).
Logo cabinet assembly is fixed to side of
internal sign cabinet.

Aluminum sign cabinet, painted Dark Grey.
Provide internal structure and anchor to
sign base as required.

Internally illuminated letters, with White
LEDs. Project a maximum of 1" from face
of sign. Letter faces are translucent White
acrylic and letter returns are painted Dark
Grey (opaque).

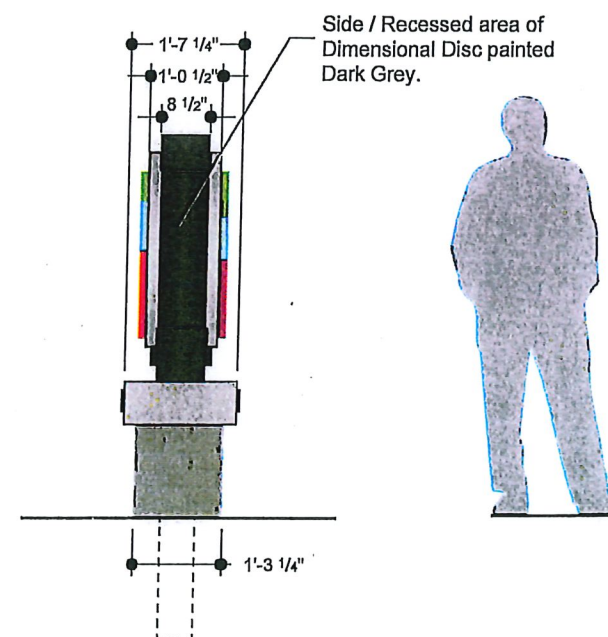
1/2" thick acrylic letters
painted Black (subject to
change). Fabricator to study and
advise on final color of address
letters so that there is sufficient
contrast between color of colored
concrete in both dry and wet
conditions.

Colored concrete cap with
Masonry base to match brick on
building. Coordinate brick color /
type with Architect and GC.

Note: Signs should receive
exterior / up illumination to wash
face of sign on a timer. For sites
with lot or other building lighting,
tie into or coordinate with existing
timer so lights come on at the
same time. Coordinate external
lighting and access to electric on
site with CM.



3 SignEX3 - Building ID, Ground Sign - Side A Elevation
Scale: 3/8" = 1'-0"



2 Side View at Logo Disc
Scale: 3/8" = 1'-0"



1 SignEX3 - Building ID, Ground Sign - Side B Elevation
Scale: 3/8" = 1'-0"

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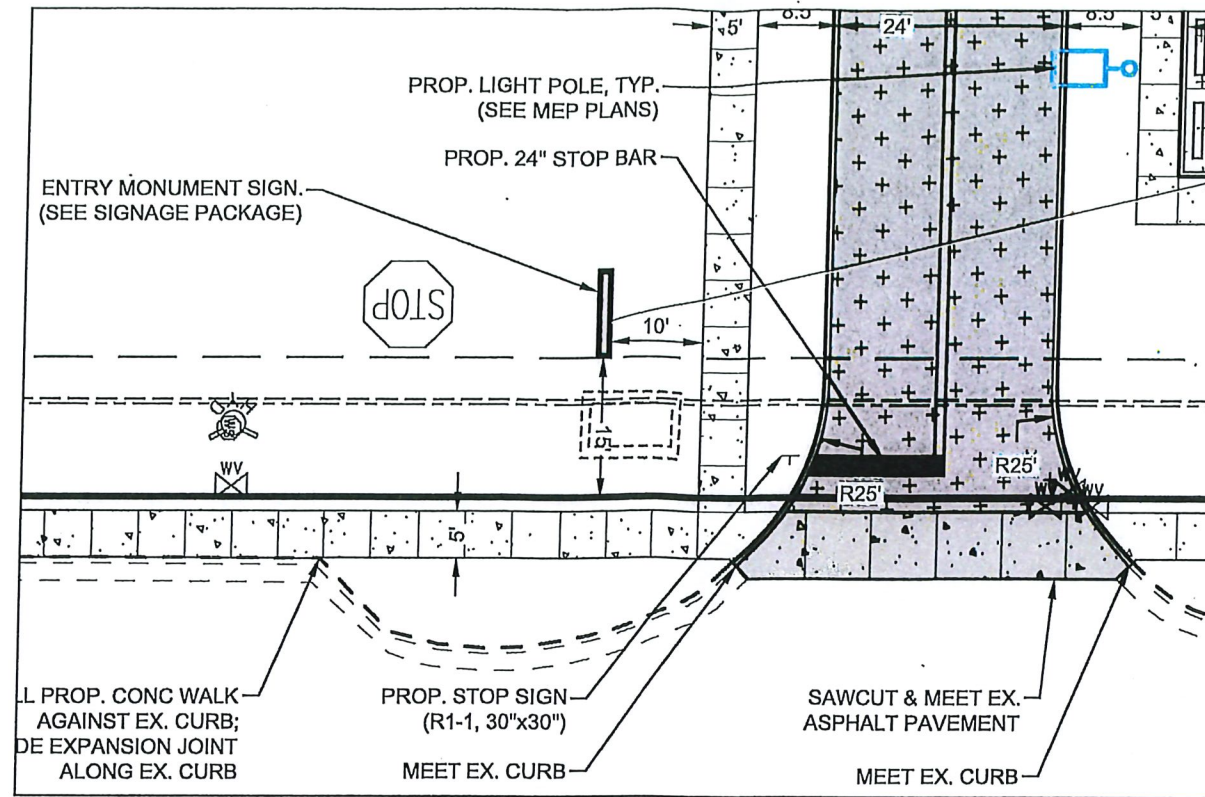
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Exterior Sign Package
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Issued: 06-30-23
Drawn By: HA
Checked By: MD

**Sign Type EX3
Entry Monument**

Sheet
E EX3-1



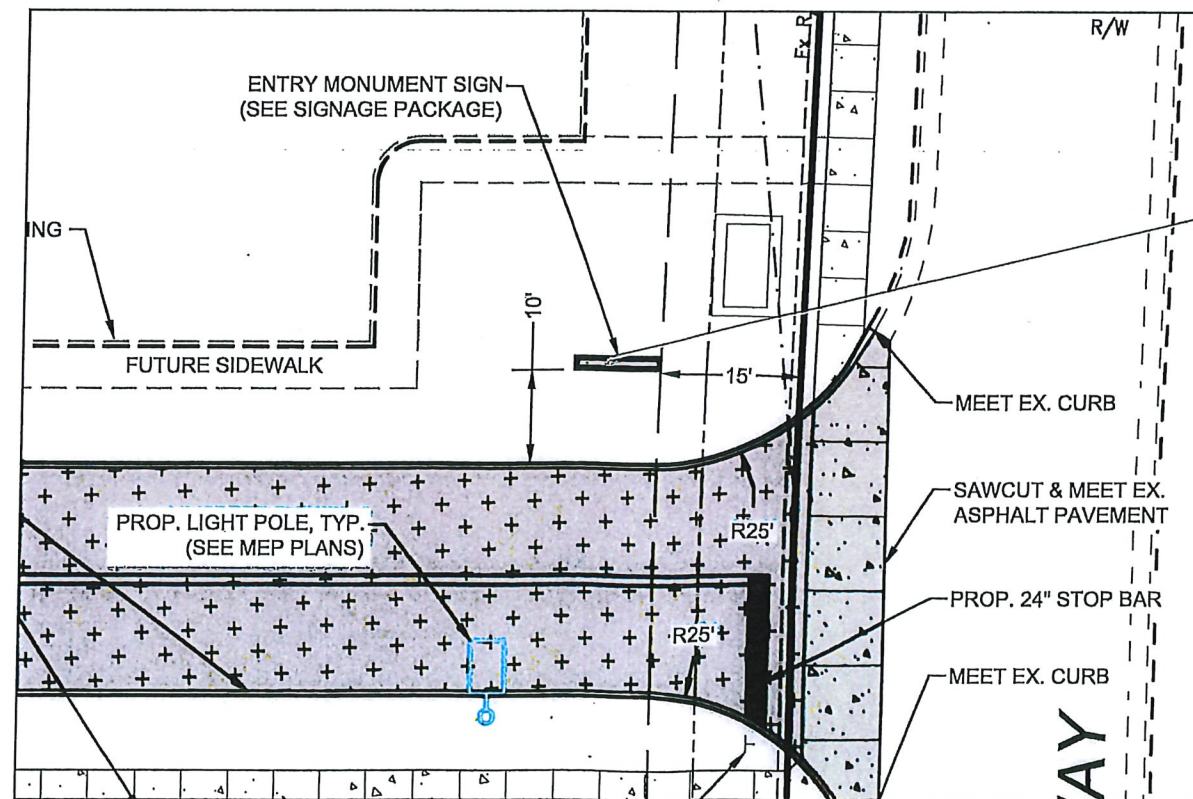
Landscaping / utility plan to coordinate with position and height of entry monument sign.

Artwork will be provided. Coordinate all field surveys with CM.

All structural components, anchors, connections and fasteners shall be engineered, documented and stamped by a Kentucky registered structural engineer.

COORDINATION NOTE: Sign fabricator to coordinate with GC all locations for tie-ins and connections to the required electrical infrastructure. Electrical shall be provided to the site by Others.

2 Sign EX3.02 – Location Plan View Reference – Civil Sheet C 300
Scale: 1" = 30'-0"



Landscaping / utility plan to coordinate with position and height of entry monument sign.

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**Sign Type EX3
Entry Monument
Location Plan Views**

1 Sign EX3.01 – Location Plan View Reference – Civil Sheet C 300
Scale: 1" = 30'-0"

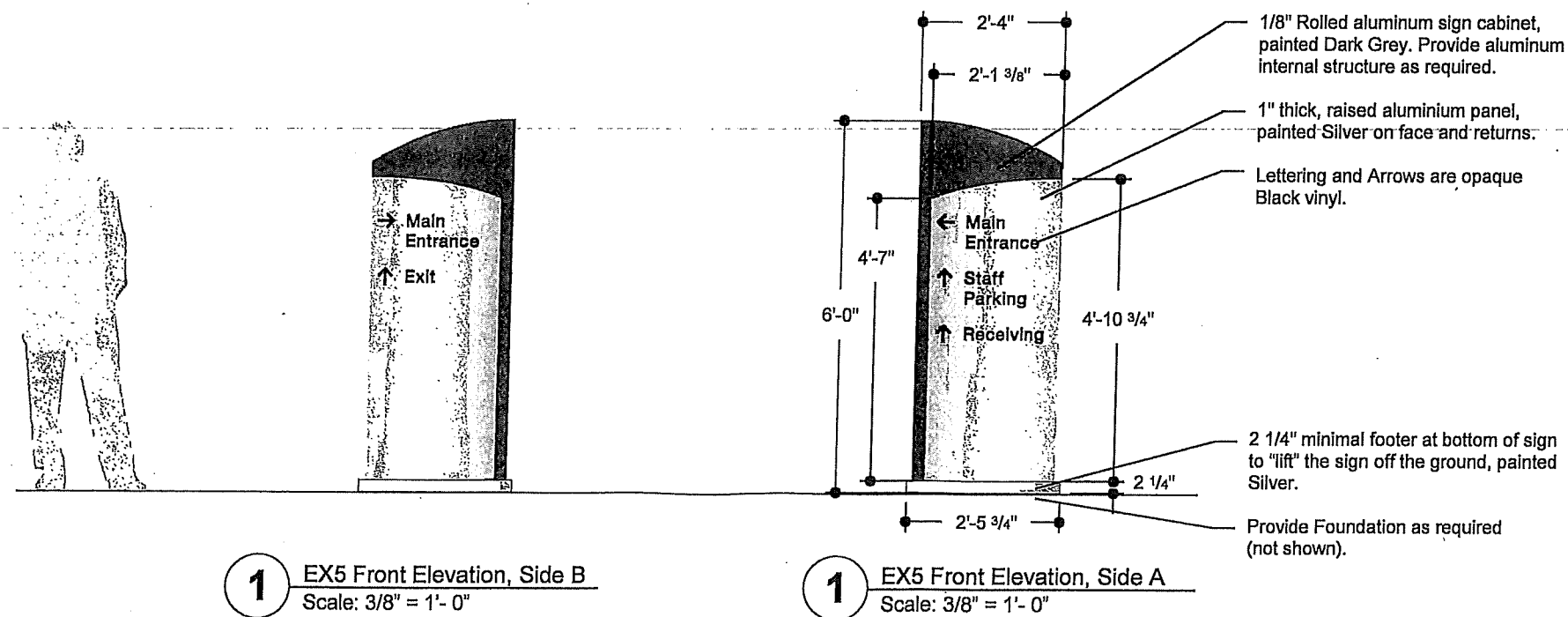
Sheet

E EX3-2

Artwork will be provided.
Coordinate all field surveys
with CM.

All structural components,
anchors, connections and
fasteners shall be engineered,
documented and stamped by a
Kentucky registered structural
engineer.

OVERALL SIZE:
14 Square Feet



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Issued: 06-30-23
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Checked By:

**Sign Type EX5
Directional: Small**

Sheet

E EX5



Accessible Parking

Locations
R2.01, R2.02, R2.03, R2.04
R2.05, R2.08, R2.09, R2.10
R2.11



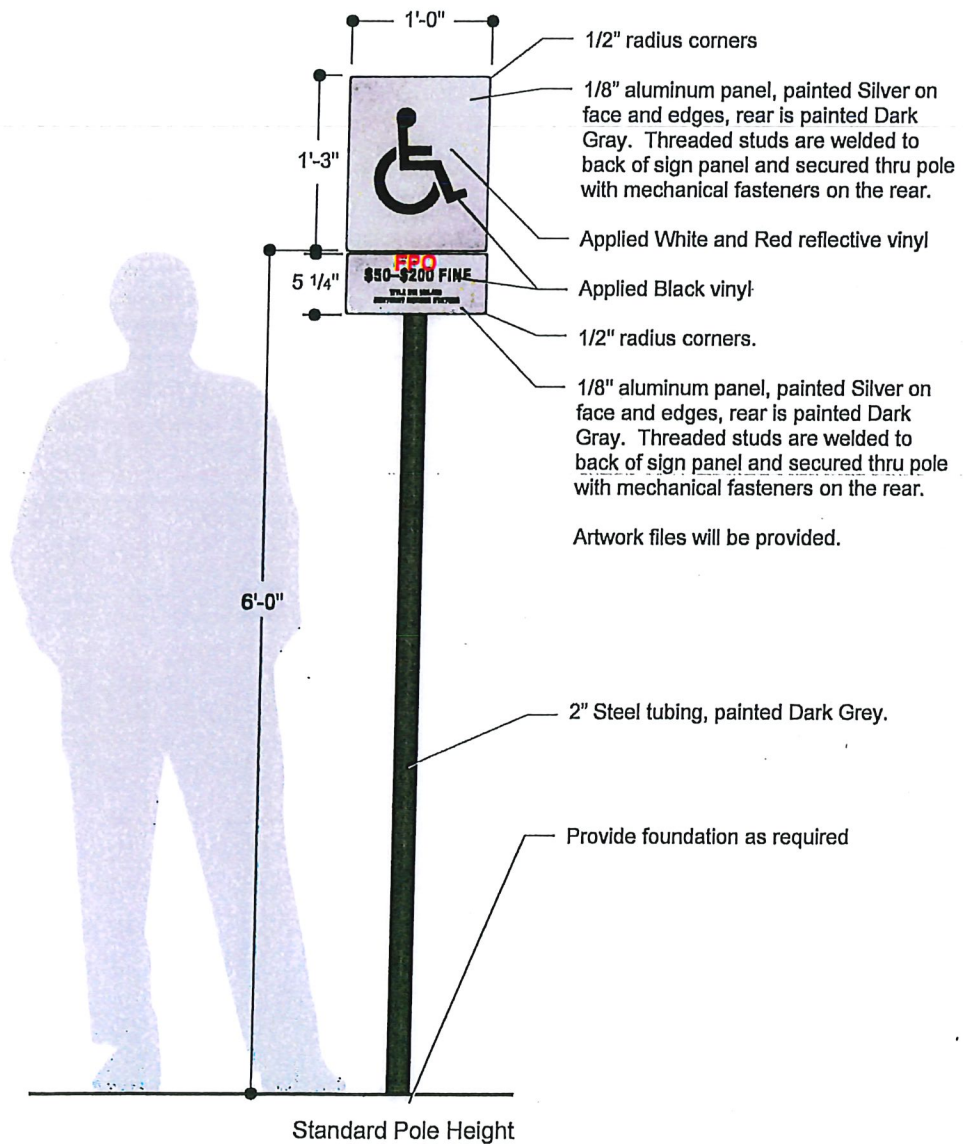
Van Accessible Parking

Locations
R2.06, R2.07, R2.12

4 Message Variations
Scale: 1 1/2" = 1'-0"

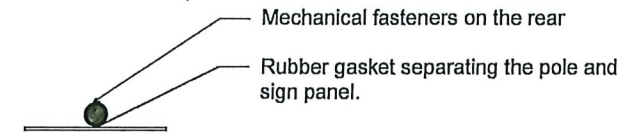


2 Sign Type R2 - Side Elev.
Scale: 3/4" = 1'-0"



1 Sign Type R2 - Pole Mtd Signs - Front Elevation
Scale: 3/4" = 1'-0"

3 Sign Type R2 - Plan View
Scale: 3/4" = 1'-0"



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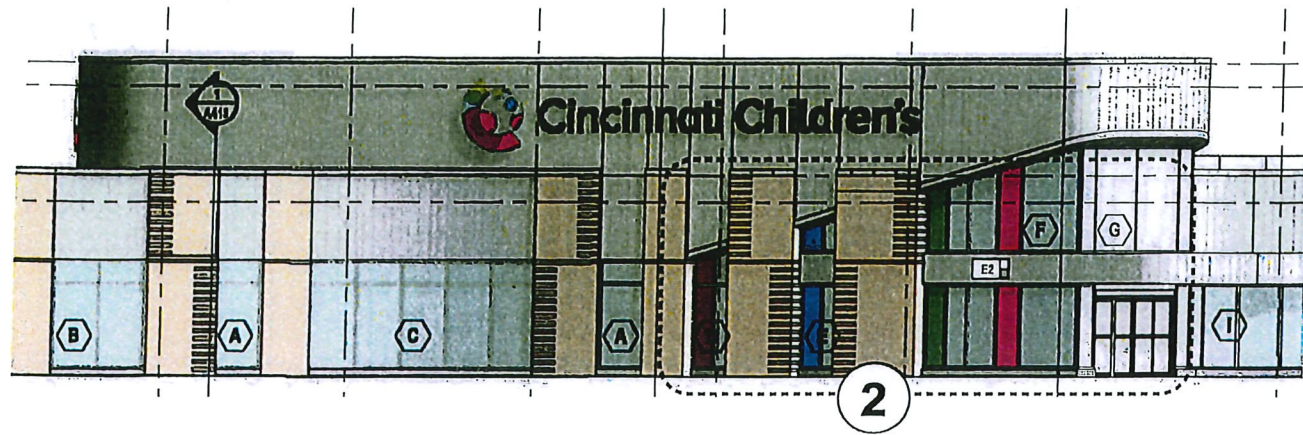
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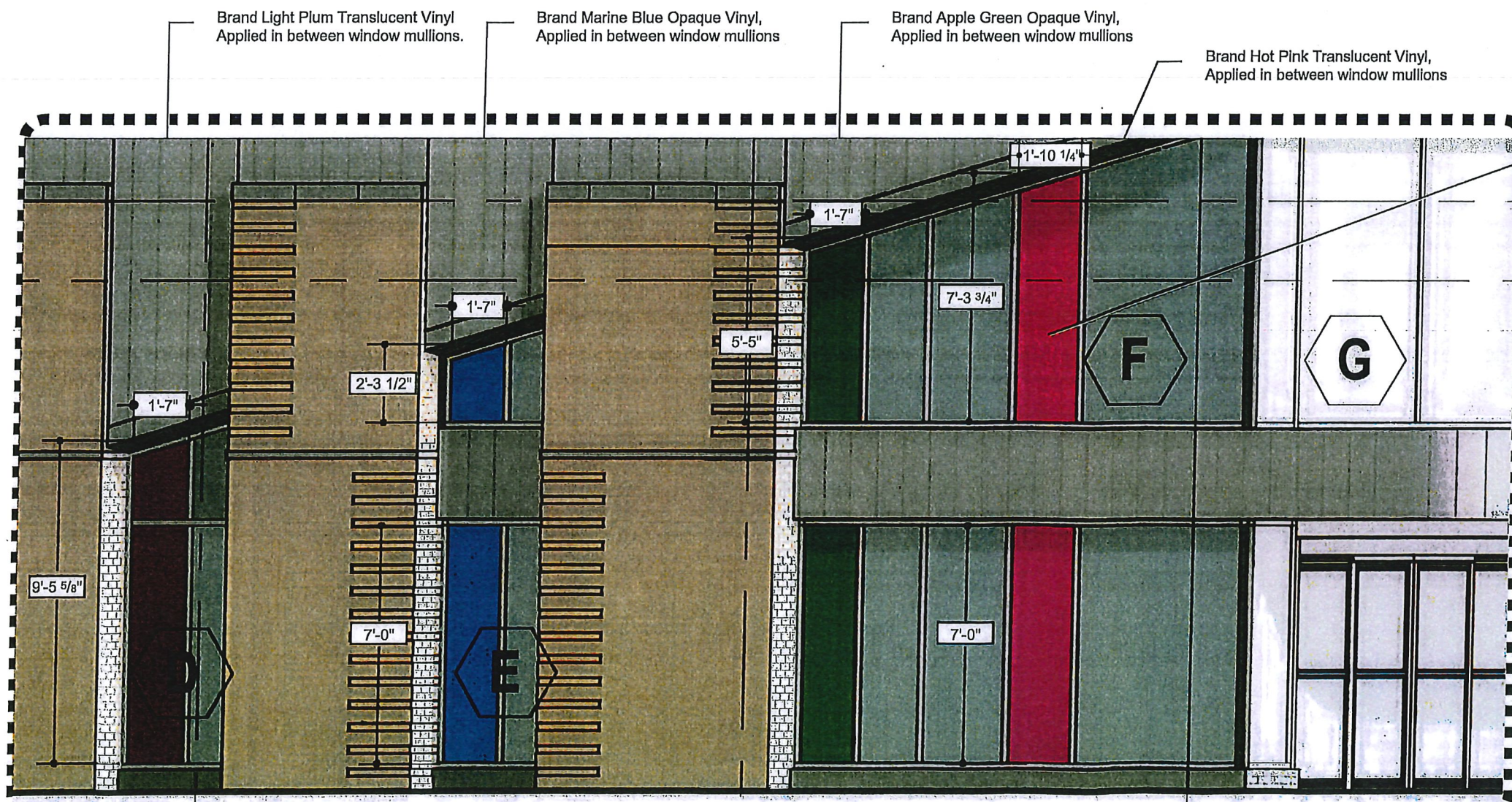
Issued: 06-30-23
Drawn By: SH
Checked By: HA

**Sign Type R2
Regulatory Signs -
Pole Mounted Signs**

Sheet
E R2



1 VB Exterior Vinyl Bands Elevation – Building Entrance (Northeast)
Scale: 1/16" = 1'-0"



Exterior Grade Translucent Vinyl / Film applied to first surface (exterior face) of architectural glass.

There are a total of 4 columns of windows to be covered on the Northeast elevation of the building. Vinyl colors will alternate.

Thoroughly clean the glass. Install the vinyl so it is free of dust, dirt, fingerprints, rips, bubbles, and wrinkles.

Refer to sheet E 003 for standard color specifications.

Color samples shall be tested in the field with Designer and Architect present. Vinyl stock colors, subject to change.

Field verify all dimensions.

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Checked By: HA

**Sign Type VB
Vinyl Bands**

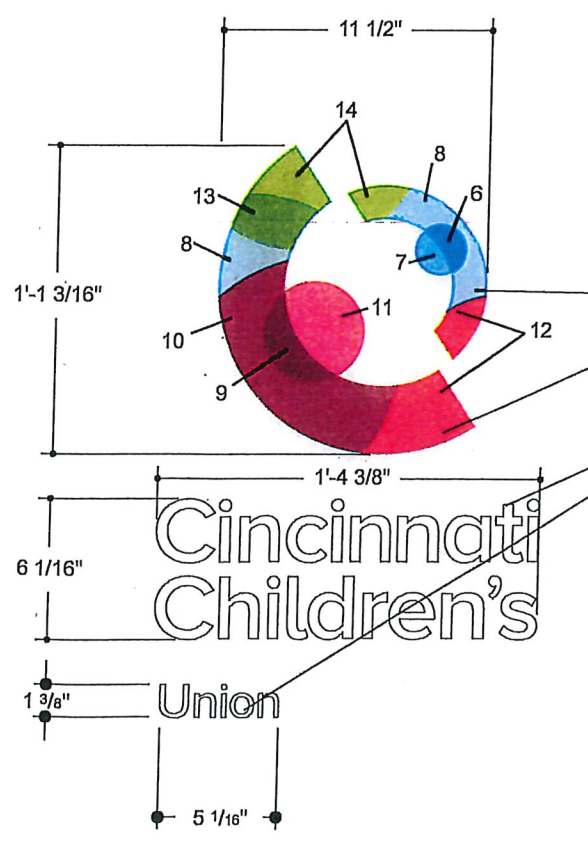
2 VB Exterior Vinyl Bands Elevation – Building Entrance (Northeast)
Scale: 1/4" = 1'-0"

Sheet

E VB



2 Sign Type VL - Vinyl Logo Graphics - Location Elevation
Scale: 1/2" = 1'-0"



1 Sign Type VL - Vinyl Logo Graphics - Vertical Large
Scale: 1 1/2" = 1'-0"

Colors are direct digitally printed on opaque White vinyl, which is applied to glass first surface. Sheet E 003 for Color Standards Specifications.

Opaque White vinyl letters, applied to glass first surface.

Thoroughly clean the glass. Install the vinyl so it is level and free of bubbles, wrinkles, and tears.

Field verify glass dimensions prior to fabrication and installation.

Artwork files to be provided.



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Medical Center**

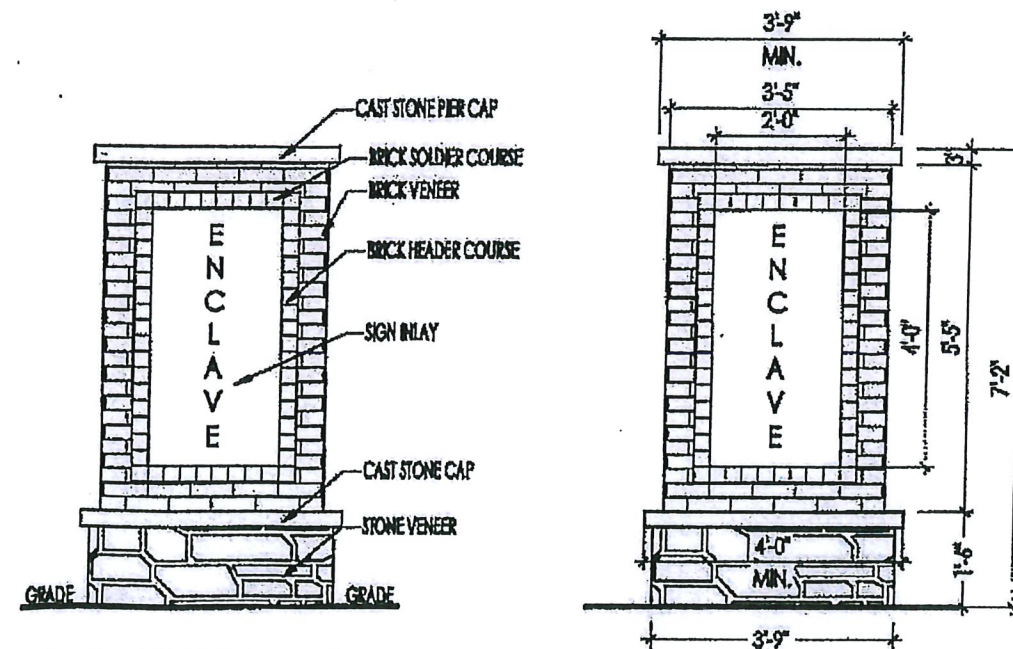
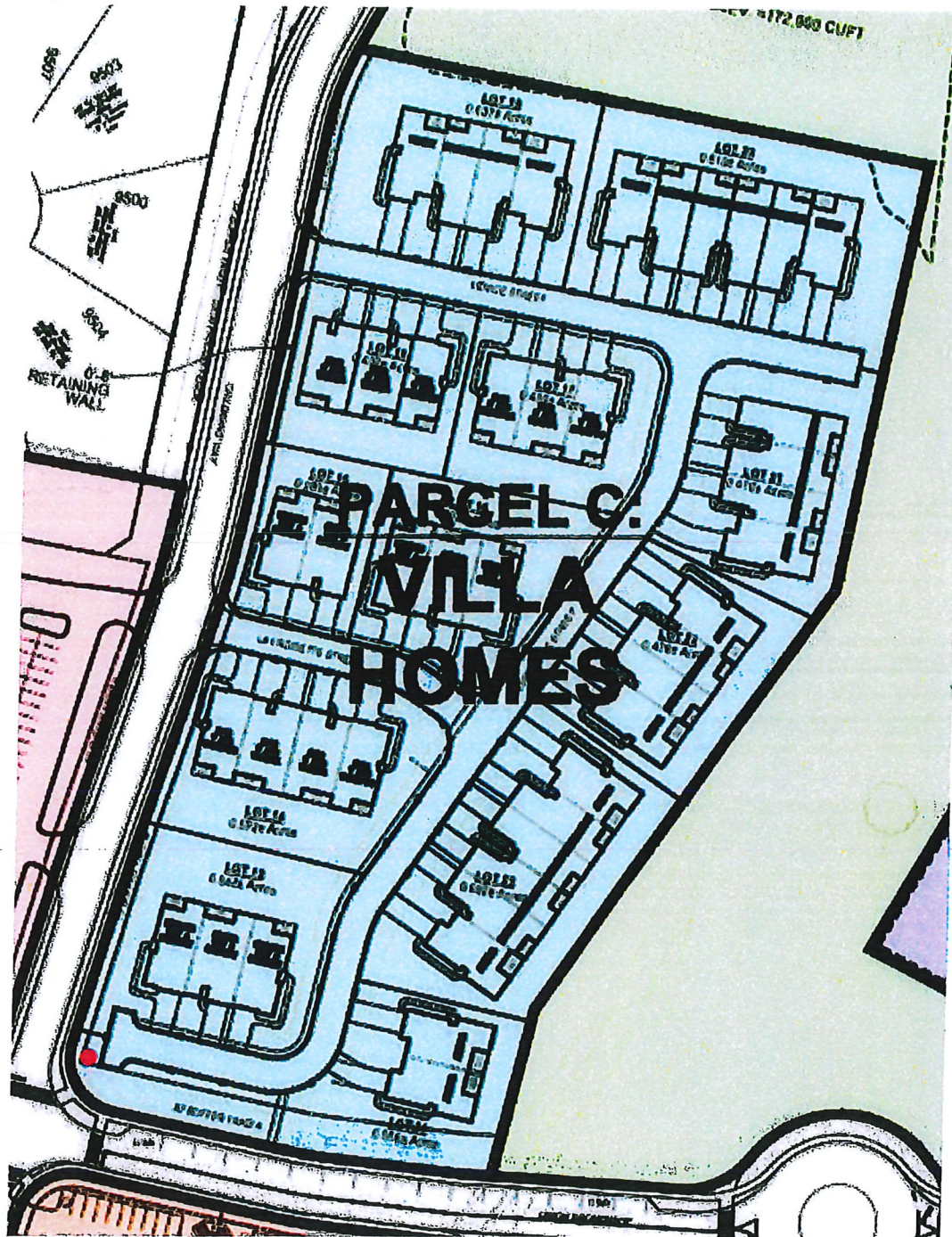
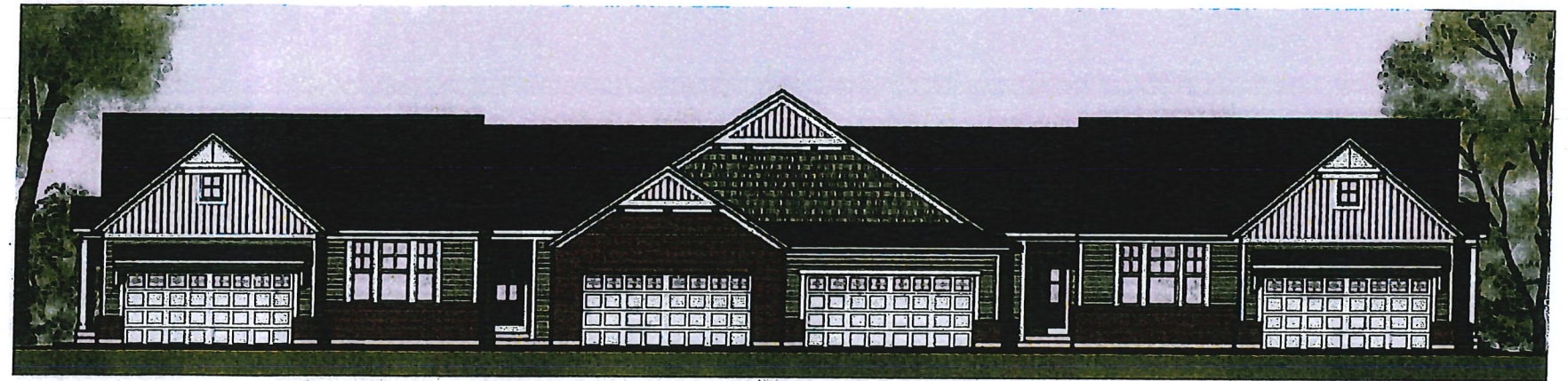
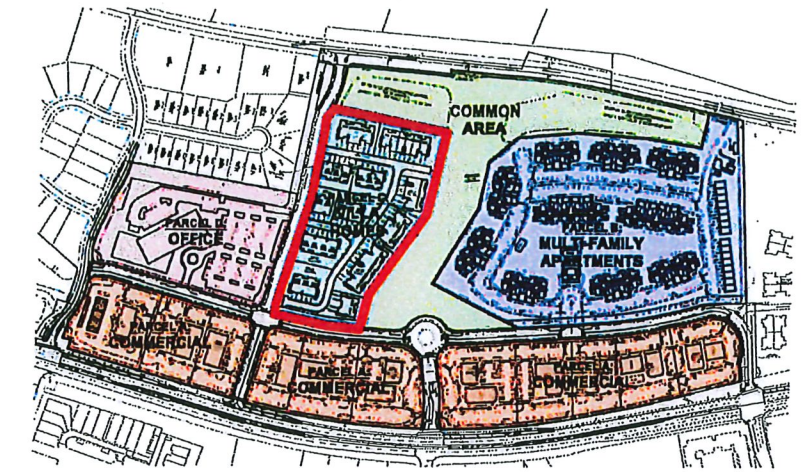
Union MOB
Exterior Sign Package
100% Design Intent

Issued: 06-30-23
Drawn By: SH
Checked By: HA

**Sign Type VL
Vinyl Logo**

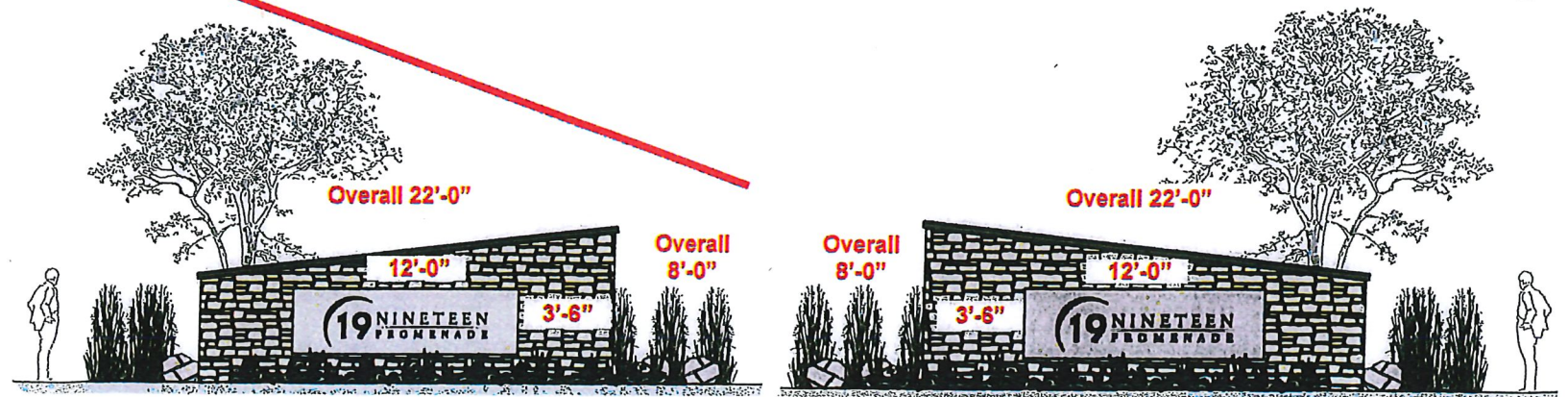
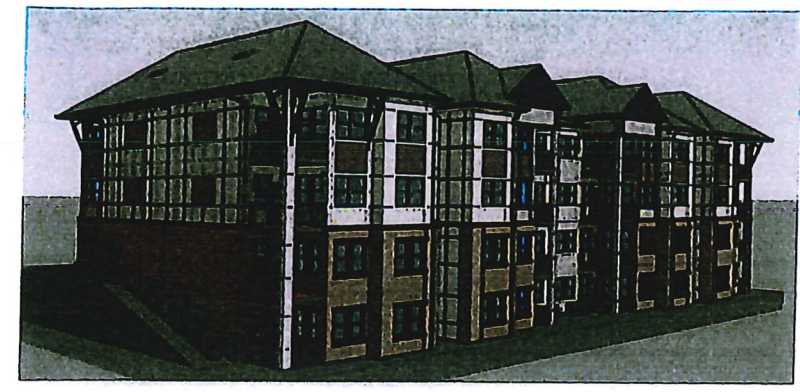
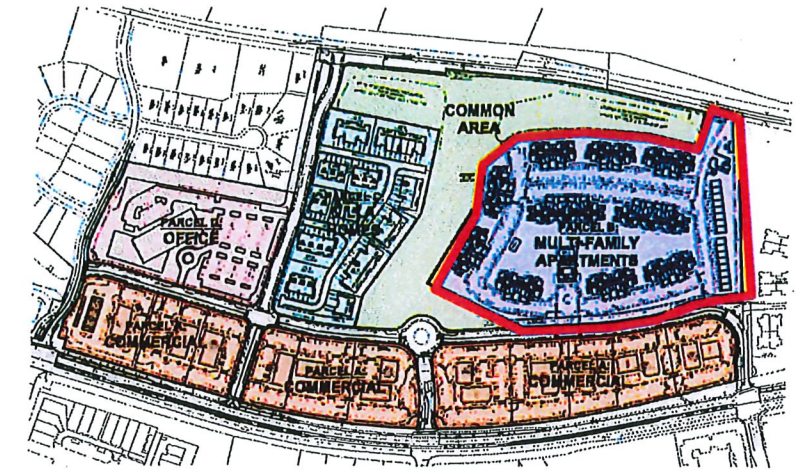
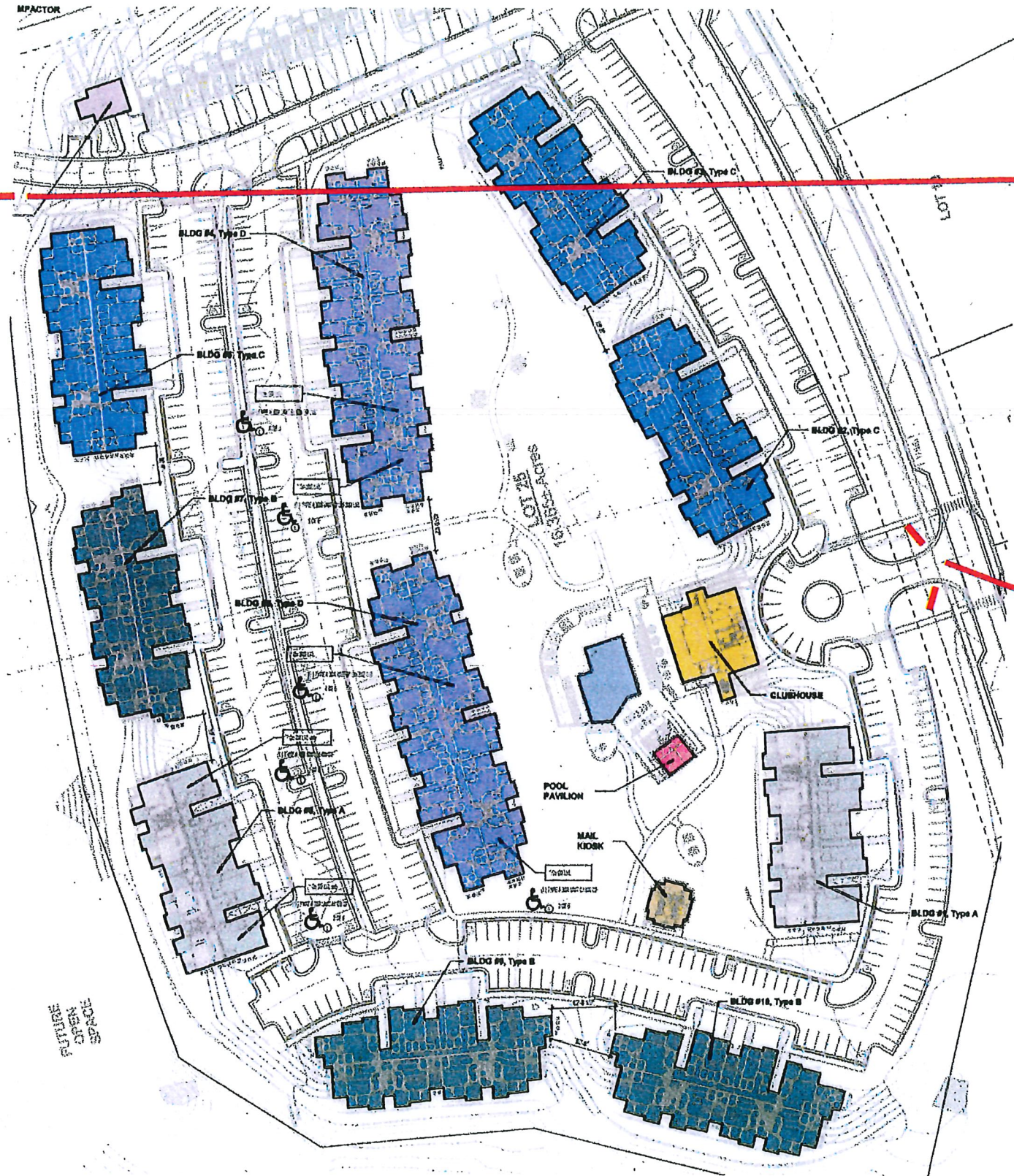
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Union Promenade | Suburban Residential Three (SR-3)



Section 3408.7 Entrance Signs

Union Promenade | Urban Residential Three (UR-3)



Section 3408.7 Entrance Signs

Section 3408.7 Entrance Signs