

CONCEPT DEVELOPMENT PLAN
BOONE COUNTY PLANNING COMMISSION

Seven (7) copies of submitted drawings are required

An application consists of all fees paid in full, submitted drawings, and a completed application form

SECTION A: (To be completed by applicant)

- 1. Type of review (check one):
[ ] Concept Development Plan (includes Utilization of an Underlying Zone in a Planned Development)
[X] Change in an Approved Concept Development Plan
[ ] Long Range Planning Committee Review (as stated in the Houston-Donaldson Study)
[ ] Long Range Planning Committee Review (as stated in the Union Town Plan)
[ ] Zone Change Committee Review of previously approved Concept Development Plan Conditions or Zoning Map Amendment Conditions
[ ] Zoning Administrator Review (as stated in the Central Florence Strategic Plan, An Update of the Parkway Corridor Study)
[ ] Zoning Administrator Review (as stated in the Mall Road District Study)
[ ] Zoning Administrator Review (as stated in the I-275/Graves Road Interchange Study)

2. Name of Project: 7 Brew Coffee (Turfway)
3. Location of Project: 7303 Turfway Road
4. Total Acreage of Project: 0.56+/- ac.
5. Current Zoning of Property: C-3/CD
6. Date of previous zoning map amendment or Approved Concept Development Plan (if applicable): July 5, 2023 (R-23-022-A)

7. Is the site subject to a specialized Land Use Study approved by the Boone County Planning Commission [ ] Yes [X] No
If yes, indicate the name of the study:

8. Proposed Use(s) (specify each use):
Drive thru only coffee shop

9. Proposed Building Intensities (specify for each building):
540 sf for coffee stand and

10. Have you submitted a Concept Development Plan: [ ] Yes [X] No

11. Are you applying for any of the following (check all that apply):
[ ] Conditional Use Permit [X] Variance

12. Current Owner: Massive2.0, LLC

Address: 2260 Francis Lane

Cincinnati OH 45206
City State Zip Code

Phone Number: Fax Number:

Email:

13. Applicant: Brew Team KY, LLC

Address: 3108 Vestal Pkwy E  
Vestal NY 13850  
City State Zip Code  
Phone Number: 502-528-1798 Fax Number: \_\_\_\_\_  
Email: brian.evans@7brewteam.com

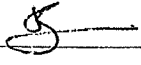
14. Are there any existing buildings on the site:  Yes  No  
If yes, indicate how many: \_\_\_\_\_
15. 1105 842 2034A  
Deed Book Page Number Group Number


16. Have you had a pre-application meeting with the BCPC staff:  Yes  No
17. Have you met or discussed your proposed development with any of the following organizations/agencies (check all that apply):

Prior to construction of improvements, the applicant is recommended to submit copies of the Site Plan to the appropriate organizations/agencies prior to approval by the Boone County Planning Commission.

- |   |   |
|---|---|
| <input type="checkbox"/> Boone County Building Department   | <input type="checkbox"/> Local Fire District                          |
| <input type="checkbox"/> Boone County Public Works Department   | <input type="checkbox"/> Local School District                        |
| <input type="checkbox"/> Boone County Water District  | <input type="checkbox"/> Northern Kentucky Health Department          |
| <input type="checkbox"/> Cincinnati Bell  | <input type="checkbox"/> Owen Cooperative Electric, Inc.              |
| <input type="checkbox"/> Cincinnati/Northern Kentucky International Airport (Kentucky Airport Zoning Commission for height restrictions near the airport) | <input type="checkbox"/> Sanitation District No. 1                    |
| <input type="checkbox"/> Duke Energy  | <input type="checkbox"/> USDA NRCS/Boone County Conservation District |
| <input checked="" type="checkbox"/> Florence Public Services Department   | <input type="checkbox"/> Other: _____                                 |
| <input type="checkbox"/> Kentucky Division of Water   |   |
| <input type="checkbox"/> Kentucky Transportation Cabinet  |   |

18. Concept Development Plan Jurisdiction/Location (check all that apply):  
 Unincorporated Boone  Florence  Walton  Union
19. Waiver of 60 Day Time Requirement by Originator for Final Planning Commission Action:  
In accordance with the provisions of KRS 100.211, the applicant(s) and property owner(s) or originator(s) hereby waive the 60 day time limit for the Boone County Planning Commission to take final action on my (our) Zoning Map Amendment/Concept Development Plan application. This time limit waiver is considered effective immediately upon receipt by the Boone County Planning Commission and expires on 3/20/25

Property Owner's Signature: 

Applicant's Signature: 

**SECTION B:** (To be completed by Planning Commission staff)

1. Date Received: 12/10/24 Fee Received: \$3636<sup>00</sup> Receipt #: 91814
2. Number of Copies Received: \_\_\_\_\_
3. Has the following been submitted (check all that apply):
  - Completed Application
  - Concept Development Plan
  - Legal Description
  - Names and Mailing Addresses of Adjacent Property Owners
4. Date the application is Administratively Complete (as defined in KRS 100.211): \_\_\_\_\_
5. Staff Reviewer: LAM GHO
6. Committee Chairperson: Corrin Grollick
7. Scheduled Public Hearing Date: 2/5/25
8. Boone County Planning Commission Action: \_\_\_\_\_ Date of Action: 3/5/25
  - \_\_\_\_\_ Approved
  - Approved with Conditions
  - \_\_\_\_\_ Denial
  - \_\_\_\_\_ Other

Boone County Planning Commission  
Boone County Administration Building  
2950 Washington Street, Room 317  
P.O. Box 958  
Burlington, Kentucky 41005  
Phone: 859-334-2196  
[plancom@boonecountyky.org](mailto:plancom@boonecountyky.org)  
[www.boonecountyky.org](http://www.boonecountyky.org)

# EXHIBIT

“A”

## STAFF REPORT

#3

Request of **Brew Team KY, LLC (applicant)** for **Massive 2.0, LLC (owner)** for a Change of Concept Development Plan and Variances in a Commercial Services (C-3) district, for an approximate 0.56 acre area lot located at 7303 Turfway Road, Florence, Kentucky. The request is for a Change of Concept Development Plan to allow the development of a 543 square foot drive-through only coffee shop and a 277 square foot remote storage/cooler accessory structure. The Variances are to: (1) reduce the front yard setback from fifty (50) feet to thirty-seven (37) feet; and (2) reduce the Buffer Yard width from ten (10) feet to seven (7) feet along the west property line, five (5) feet along the south property line, and eight (8) feet along the east property line.

February 5, 2025

### REQUEST

The request is for a Change in an Approved Concept Development Plan to allow a 7 Brew Coffee to develop on the subject 0.56-acre lot. The submitted Concept Development Plans shows the following improvements:

- A. An approximate 540 square foot drive-through only coffee shop.
- B. An approximate 280 square foot remote storage/cooler accessory structure.
- C. Two access points on shared driveways. These shared driveways currently provide access to Remke's, Frisch's, and KY 18.
- D. Twelve (12) parking spaces.
- E. Two 13' wide drive through lanes, each of which can accommodate 9 vehicles.
- F. Dumpster enclosure.
- I. Perimeter landscaping.

### PERTINENT HISTORY

- A. 1993 - A Change in Concept Development Plan application was approved to allow a supermarket and two speculative commercial uses to be added to the 11.99-acre Frisch's restaurant site. The speculative commercial uses were shown as lots 2 (current Chipotle site) and 3 (subject site) on the approved Concept Development Plan. Two conditions from this approval need to be modified to allow the proposed restaurant.

Condition 1 – The total building size for outparcels two and three shall be reduced not to exceed 12,500 square feet. Of this square footage no more than fifty percent shall be devoted to fast food restaurants.

Condition 2 – Development on parcels two and three shall provide its required parking.

- B. 1995 – A Site Plan was approved to allow the construction of a Krispy Kreme Doughnuts on the subject lot.
- C. 2016 to 2020 – The Krispy Kreme / Check Exchange building was demolished during this time.
- D. 2022 – A Site Plan was approved to allow a Chipotle restaurant, with drive through, to be constructed on lot 2.
- E. 2023 – A Change in Concept Development was approved to allow a Taco John's drive

through restaurant on the subject site.

#### APPLICABLE REGULATIONS

- A. Section 311 of the Boone County Zoning Regulations states that major amendments to the terms of an approved Zoning Map Amendment, including a Concept Development Plan, that involve substantial or significant changes in the development concept, uses, intensity, supplemental conditions of approval, or other plan elements of substantive effect must be submitted to the Planning Commission and shall conform to the procedure and requirements described in this article. Minor amendments to the approved Concept Development Plan that do not involve changes in the development concept, uses, intensity, supplemental conditions of approval, or other plan elements of substantive effect may be approved by the Zoning Administrator.
- B. Section 4000 of the Boone County Zoning Regulations defines a variance as a departure from dimensional terms of these regulations pertaining to the height, width, or location of structures, and the size of yards and open spaces where such departure meets the requirements of KRS 100.241 to 100.247.
- C. The Planning Commission should evaluate the requested variances as they relate to the criteria necessary for granting a Variance as stated in Section 204.D of the Boone County Zoning Regulations.
1. Before any variance is granted, the Board must find that the granting of the variance will not adversely affect the public health, safety or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations. In making these findings, the board shall consider whether:
    - a. The requested variance arises from special circumstances which do not generally apply to land in the general vicinity, or in the same district.
    - b. The strict application of the provisions of the regulations would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant.
    - c. The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulations from which relief is sought.
  2. Section 204.E of the Boone County Zoning Regulations state that the Board shall deny any request for a variance arising from circumstances that are the result of willful violations of the zoning regulation by the applicant subsequent to the adoption of the zoning regulation from which relief is sought.
- D. Section 311 of the Boone County Zoning Regulations states that major amendments to the terms of an approved Zoning Map Amendment, including a Concept Development Plan, that involve substantial or significant changes in the development concept,

uses, intensity, supplemental conditions of approval, or other plan elements of substantive effect must be submitted to the Planning Commission and shall conform to the procedure and as it was originally approved.

- E. Section 3155 of the Boone County Zoning Regulations applies to the application because a new drive-through facility is proposed. The following stacking standards apply:

Eating and Drinking Establishment: A minimum of four (4) stacking spaces, per drive through lane, prior to the menu board/ordering station, plus one (1) stacking space at the menu board/ordering station, plus a minimum of four (4) stacking spaces between the menu board/ordering station and the pick-up window.

The zoning administrator may modify the requirements of this subsection, based upon the submittal of a traffic/parking study.

- F. Section 3199 of the Boone County Zoning Regulations applies to the application because the site is located within the Turfway Park business district. The following standards apply:

1. Building Massing - All new building construction shall be of similar scale and massing to the mode of the buildings on the street. Multi-tenant structures which have individual, separate exterior entrances for different tenant spaces are to be designed to reflect individual buildings. If necessary, the use of projecting or recessed sections to reduce bulk sizes shall be used to avoid a continuous building line over one hundred (100) feet. All buildings shall be designed to have a pedestrian focus through the use of awnings, canopies, storefront windows, oversized doorways, etc. This includes adequate spacing for pedestrian entrances and safety.
2. Architectural Style and Detail - New construction of buildings or building additions may be either traditional in their architectural character or a contemporary expression of historically traditional styles and forms, thus respecting building scale, proportion, character, and materials. The use of special architectural elements such as, but not limited to towers, turrets, and corner cut-offs are to be used at major street corners to accent structures.
3. Primary Entrances - The primary entrance of a building shall be easily identifiable and face the primary street. Doors and entry ways shall follow traditional storefront design (a frame with differentiating infill material, usually recessed with an awning or overhang) and shall be compatible with the architectural style of the building.
4. Windows - The front elevation of commercial and office buildings shall provide a minimum of sixty (60) percent and a maximum of eighty-five (85) percent window transparency. The front building elevation and those facing a public road shall include windows.
5. Roofs - Roofs on primary and accessory buildings shall be pitched with overhanging eaves or be flat with articulated parapets and cornices. Roof materials shall be dimensional shingles or metal formed to resemble standing seams. If the

roof is pitched, then the use of fascias, dormers, and gables is encouraged to provide visual interest. Dormers should only be utilized when they will provide windows for interior occupied space and not as non-functional adornment. Mansard and gambrel roofs are prohibited.

6. Awnings - Awnings may be constructed from heavy canvas, matte finish vinyl, or fabric. A minimum eight (8) foot vertical clearance between the sidewalk and the lowest part of the awning shall be maintained. The color of the awning shall be an accent or complementary to the basic color of the building and shall not be illuminated. Sign copy on awnings is addressed in ARTICLE 34.
7. Building Materials - Exterior wall materials shall include stucco/EIFS, architectural grade CMU, stone, brick or precast concrete. Metal buildings are prohibited. It is recommended that no more than thirty (30) percent of the front and side of a building facing a street shall be made of stucco/EIFS. Concrete block materials may only be used on the rear portion of a building. Fiber cement siding, which resemble traditional wood siding materials, can be used but not to exceed thirty (30) percent of the total amount of building materials used. Metal and vinyl materials may be used for incidental elements such as fascias and soffits.
8. Building Lighting - Building lighting shall be provided for security and pedestrian safety. Building lighting shall be limited to architectural grade fixtures.
9. Building Color - Building colors shall be low reflective, subtle, natural, neutral or earth tones, or dark color brick. The earth tones include shades of red, brown, gray, and subtle shades of green, and blue. The use of high intensity, bright (sharp contrast), or metallic color shall be prohibited, unless it is used for trim purposes. Color schemes shall be comprehensive and directly relate to the architectural design. Exterior colors shall be paired with features such as differing building materials, openings, and/or three dimensional changes in the facades.
10. Loading Areas/Docks - Loading areas/docks shall be incorporated into the overall design of the building so that the visual and acoustical impacts are contained. Screening should be accomplished by wing walls which match the design and materials of the principal building or dense vegetation.
11. Mechanical Equipment - All mechanical equipment shall be screened, either with landscaping or a parapet wall designed to be compatible with the existing or proposed building material. This includes roof top and ground-mounted mechanical equipment.
12. Building Signage - Building signage shall be incorporated into the architectural design and the selection of building materials. Internally lit box cabinet sign, board signs, and signs or graphics painted directly on the exterior building walls are prohibited and individual channel letters are acceptable signs.

Specific, individual requirements in this section may be modified by the Zoning Administrator if he determines a proposal will create an equivalent or superior solution to the requirement in question and the proposal does not diminish design character which would otherwise be created by the normal requirement.

- G. Section 3111 of the Boone County Zoning Regulations states that the minimum front yard setback in the C-3 zoning district shall be fifty (50) feet.
- H. Section 3645.B.8 of the Boone County Zoning Regulations require a Buffer Yard A, having a minimum width of ten (10) feet, between properties that are zoned C-3.

#### SITE CHARACTERISTICS

- A. The 0.56-acre property does not have any road frontage and is an outlet within the Remke's parking lot.
- B. The parking lot and storm system which served Krispy Kreme and the check cashing business remains but the building was demolished between 2016 and 2020.
- C. Landscaping and light poles from the previous development remain.
- D. Access to the site is provided from the Remke's parking lot and Frisch's parking lot.
- E. Topographically, the site has been graded for the previous building and parking areas.

#### ADJACENT LAND USES AND ZONING

Northeast: Turfway Road, Turfway Ridge Office Park (O-2/PD/CD)

Northwest: Shared Driveway and Chipotle (C-3/PD/CD)

Southeast: Frisch's (C-3/CD)

Southwest: Remke's (C-3/PD/CD)

#### RELATIONSHIP TO COMPREHENSIVE PLAN

- A. The 2040 Future Land Use Plan designates the site for Commercial uses. This designation is described as "retail, corporate and professional office, interchange commercial, indoor commercial recreation, restaurants, services, etc."
- B. The following Our Boone County Plan 2040 Goals and Objectives apply to this application:
  - 1. Land uses and zoning decisions shall strive to balance the rights of landowners with the rights of neighbors and the community (Overall Goal A, Objective 4).
  - 3. Provide appropriate services, housing, employment, and shopping opportunities in order to meet the needs of the population in all geographic areas of the County (Demographics Goal A, Objective 4).
  - 4. Development shall utilize existing topography and vegetation (including mature trees) and preserve the existing character of the land (Environment, Objective 7).

5. Boone County businesses are developed in appropriate locations and are compatible with surrounding land uses (Economy, Goal B).
6. Compact, efficient development patterns shall be encouraged for industrial, commercial, and office uses with appropriately sized and well maintained buffer spaces between the business use and other land uses (Economy Goal B, Objective 1).
7. Commercial uses shall be designed and located to coordinate with the surrounding land uses and shall have safe access and adequate parking (Economy Goal B, Objective 3).

C. The following excerpts from Our Boone County Plan 2040 relate to the application:

The Parkway Corridor Study, which was originally developed for this area, was updated and replaced by the Central Florence Strategic Plan in 2008. The intent of this plan was to further develop the city's central neighborhoods and to link existing and/or planned business, civic, recreational, entertainment, and residential attributes of the study area together to create a vibrant, inter-related city center (Land Use, Description and Purpose of Land Use Maps, 16 Florence South, pg. 129).

Developments in Boone County should give consideration to the overall design of the area. Site, landscape, and building design should be a primary concern at the early stages of the development, with an emphasis on the aesthetic impact of the proposed use (Future Land Use Development Guidelines, Design, Signs and Cultural Resource Preservation, pg. 97).

STAFF COMMENTS

- A. The applicant has provided a Project Narrative providing a description of the development and the reasons for the requested Variances and modifications to the required Design Standards.
- B. The property is located within the Turfway Road business district and is subject to design guidelines, which can be found in Section 3199 of the Boone County Zoning Regulations (see applicable regulations). These requirements can be modified by the Zoning Administrator, Planning Commission, or the City of Florence if they find the proposal creates an equivalent or superior solution to the requirement in question and does not diminish the design character which would otherwise be created by the normal requirement.

Staff has the following comments:

1. Primary entrance – There is no traditional primary entrance, as customers do not enter the coffee shop. The existing employee entrances and exits do not face Turfway Road.
2. Windows – Applicant should provide building material percentages to confirm, but the front elevation does not appear to provide a minimum of sixty (60) percent window transparency.
3. Building materials – Staff would like the applicant to provide building material

percentages for each building elevation. This would allow the percentage of brick, fiber, cement siding, aluminum panels, and window area to be analyzed.

4. Building Colors – Use of high intensity, bright (sharp contrast), or metallic color is only permitted for trim purposes. The submitted plan shows that the building will be light and dark grey in color and that the canopy will be a contrasting pacific blue in color.

C. The applicant has provided a Trip Generation Memorandum indicating the following:

1. Trip generation for the previously approved (1,900 sf restaurant with drive through) use generates 96 am peak hour trips and 97 pm peak hour trips.
2. Trip generation for the proposed use will generate 52 am peak hour trips and 22 pm peak hour trips.
3. Trip generation between the existing and proposed use will decrease by 44 am peak hour trips and 75 pm peak hour trips.
4. Because the proposed use is expected to generate fewer peak hour trips than the previously approved use, no traffic analysis should be required.
5. Since no new curb cuts are proposed on Turfway Road and the proposed development will result in a net decrease of trips during peak hours, no additional access management analysis is warranted.
6. Because no additional access is being proposed along Turfway Road, adjacent access spacing will not change from the current conditions. In addition, the proposed development will result in a net decrease in peak hour trips, no additional distance analysis is warranted.
7. Because no additional access is being proposed along Turfway Road, the intersection sight distance will not change from the current condition. In addition, the proposed development will result in a net decrease in peak hour trips, no additional sight distance analysis is warranted.
8. That the proposed queuing on the site meets their queue analysis.

D. Staff sent out an Agency Memo to the City of Florence and the Florence Fire Department and their comments are attached.

### STAFF CONCERNS

A. The following are exceptions to the regulations that are being requested:

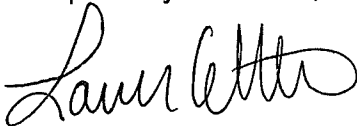
1. Not having the entrance to the building facing Turfway Road.
2. Not meeting the required window transparency on the front façade of sixty (60) to eighty (80) percent.

3. Use of a contrasting pacific blue color.
- B. While the submitted plan indicates potential signage, this was not evaluated as signage is reviewed by a separate application.
1. It should be noted that the submitted plan indicates that LED lighting will be provided along roof lines and canopy lines. Such lighting is considered signage under the zoning regulations and will be regulated as such.

### CONCLUSION

This request needs to be evaluated by the Boone County Planning Commission and Florence City Council in terms of Article 3 of the Boone County Zoning Regulations, the appropriate planning documents noted herein, and the potential impacts on existing and planned uses in the area.

Respectfully submitted,



Lauren M. Elliott  
Planner

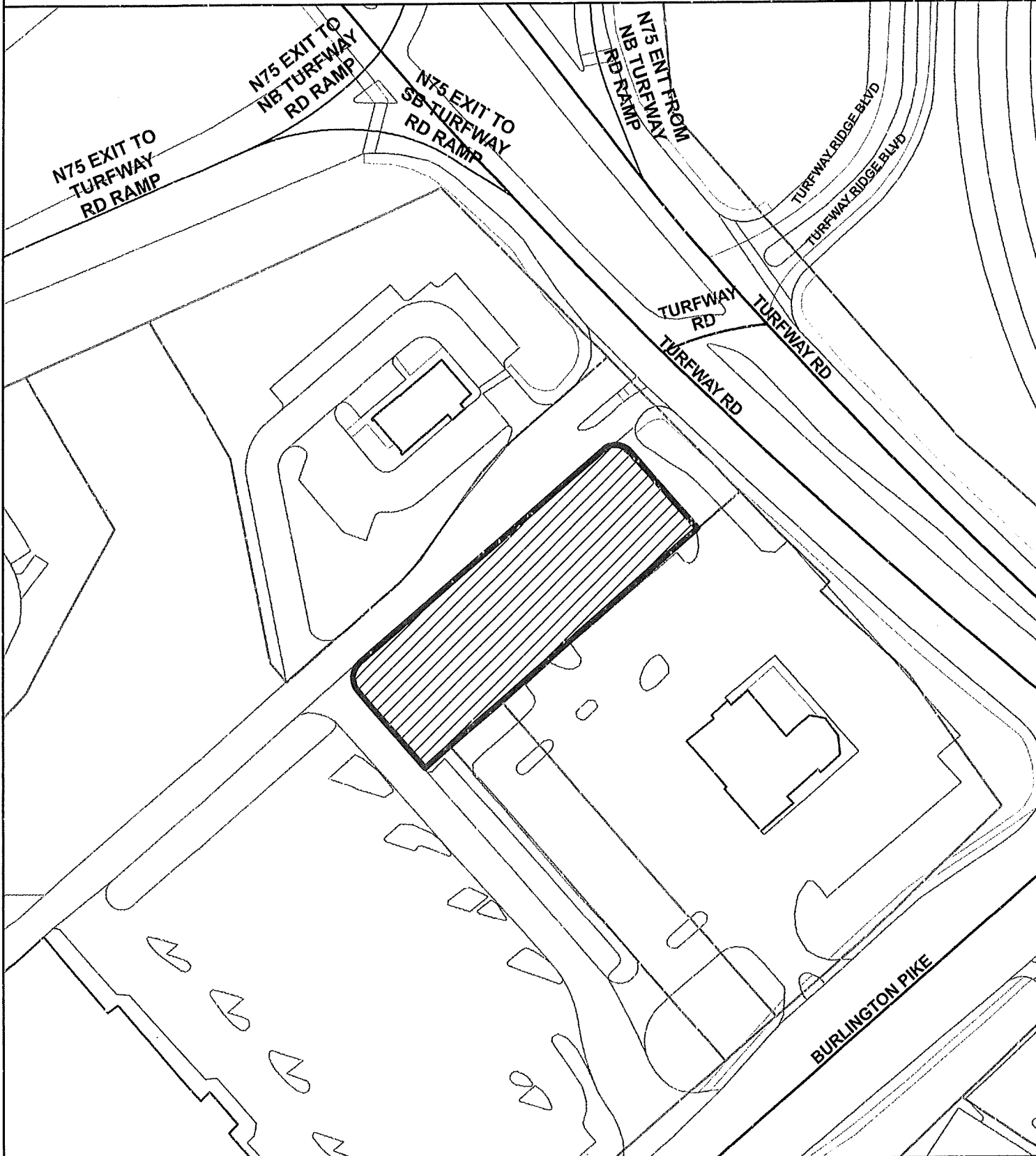
LME/ss

Attachments:

- \*Site Vicinity Map
- \*Aerial Map
- \*Topographical Map
- \*Zoning Map
- \*2040 Future Land Use Map
- \*Application
- \*Project Narrative
- \*Trip Generation Memorandum
- \*Concept Development Plan
- \*Inter-departmental Emails

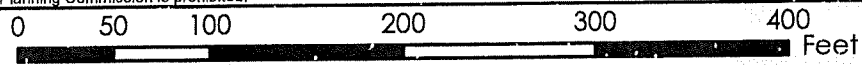
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1 inch = 100 feet



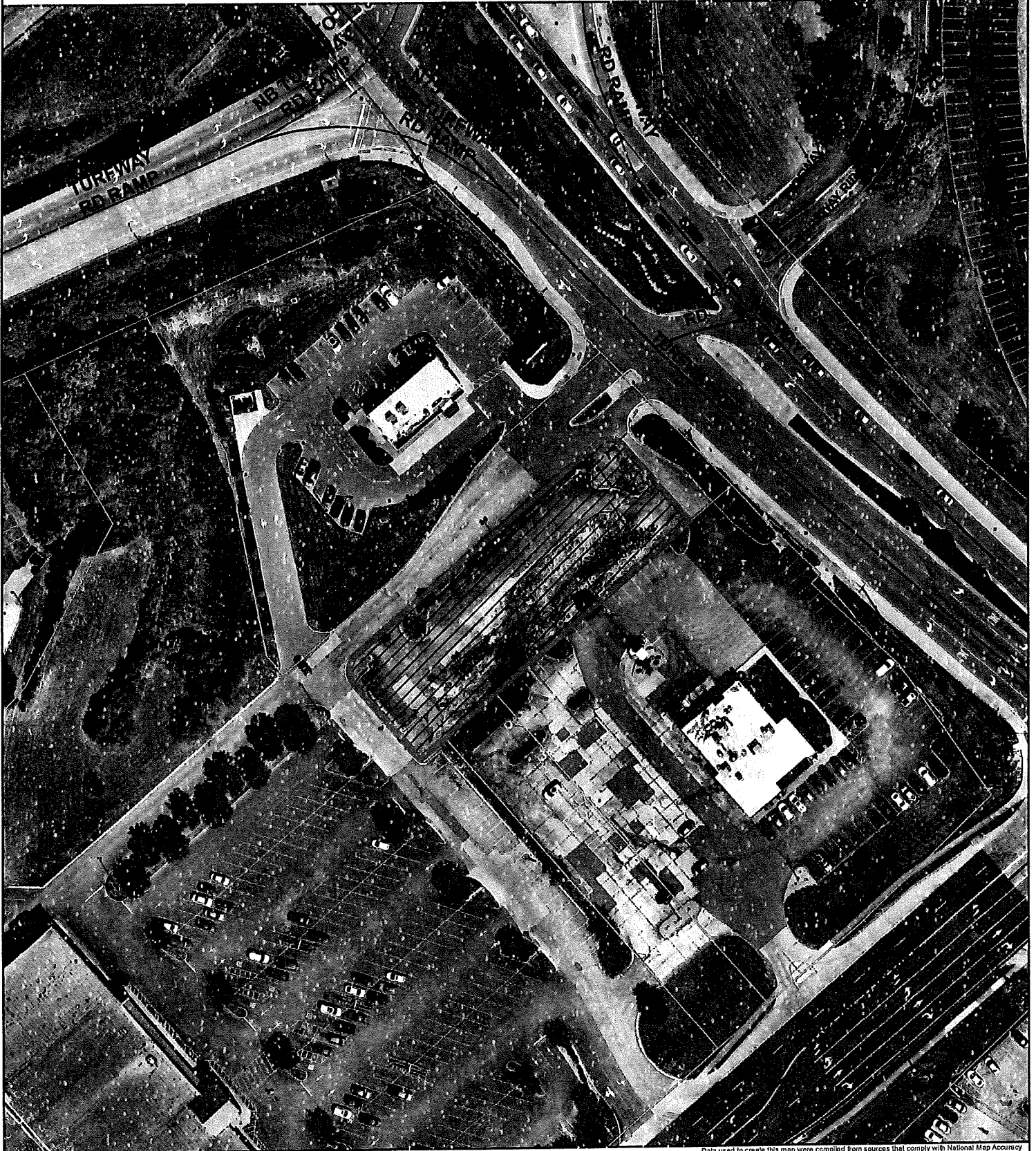
**Boone County GIS - Putting Northern Kentucky on the Map**



Map Created: xx/xx/2022  
ArcMap Document: \*.mxd

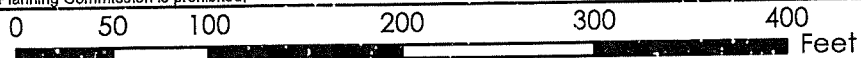
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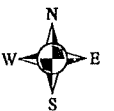
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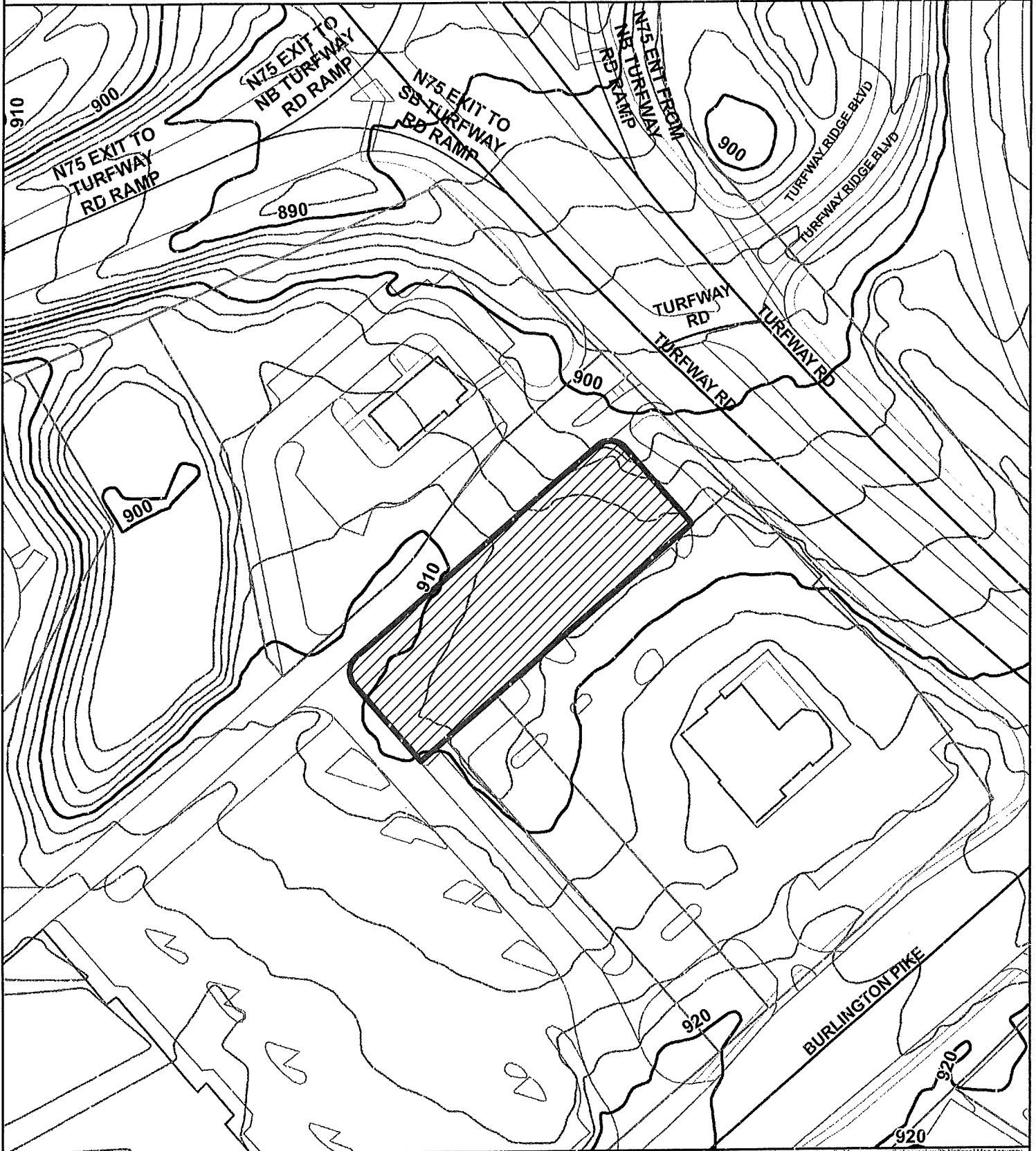


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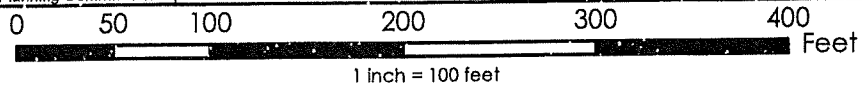


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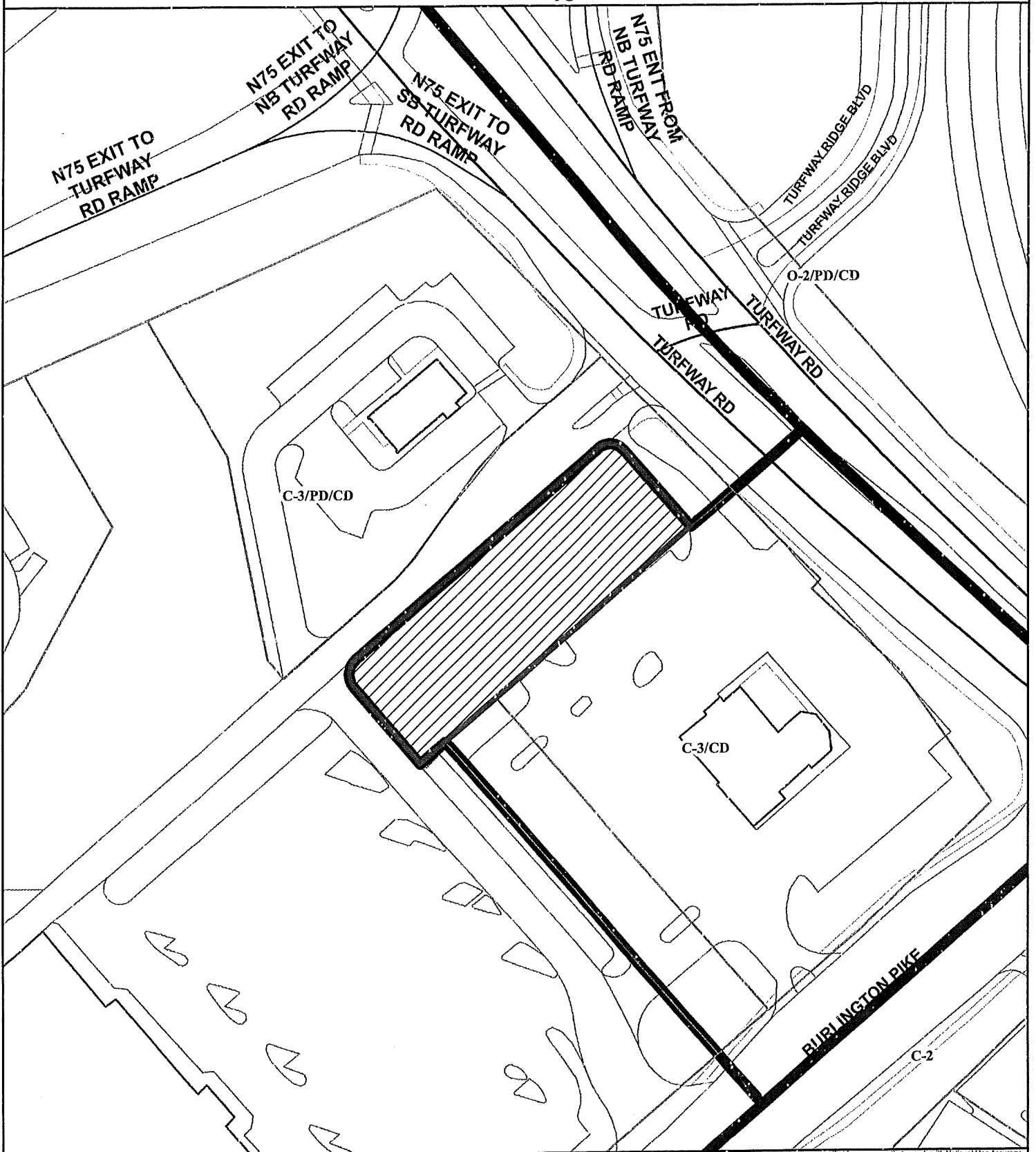


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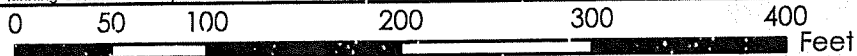
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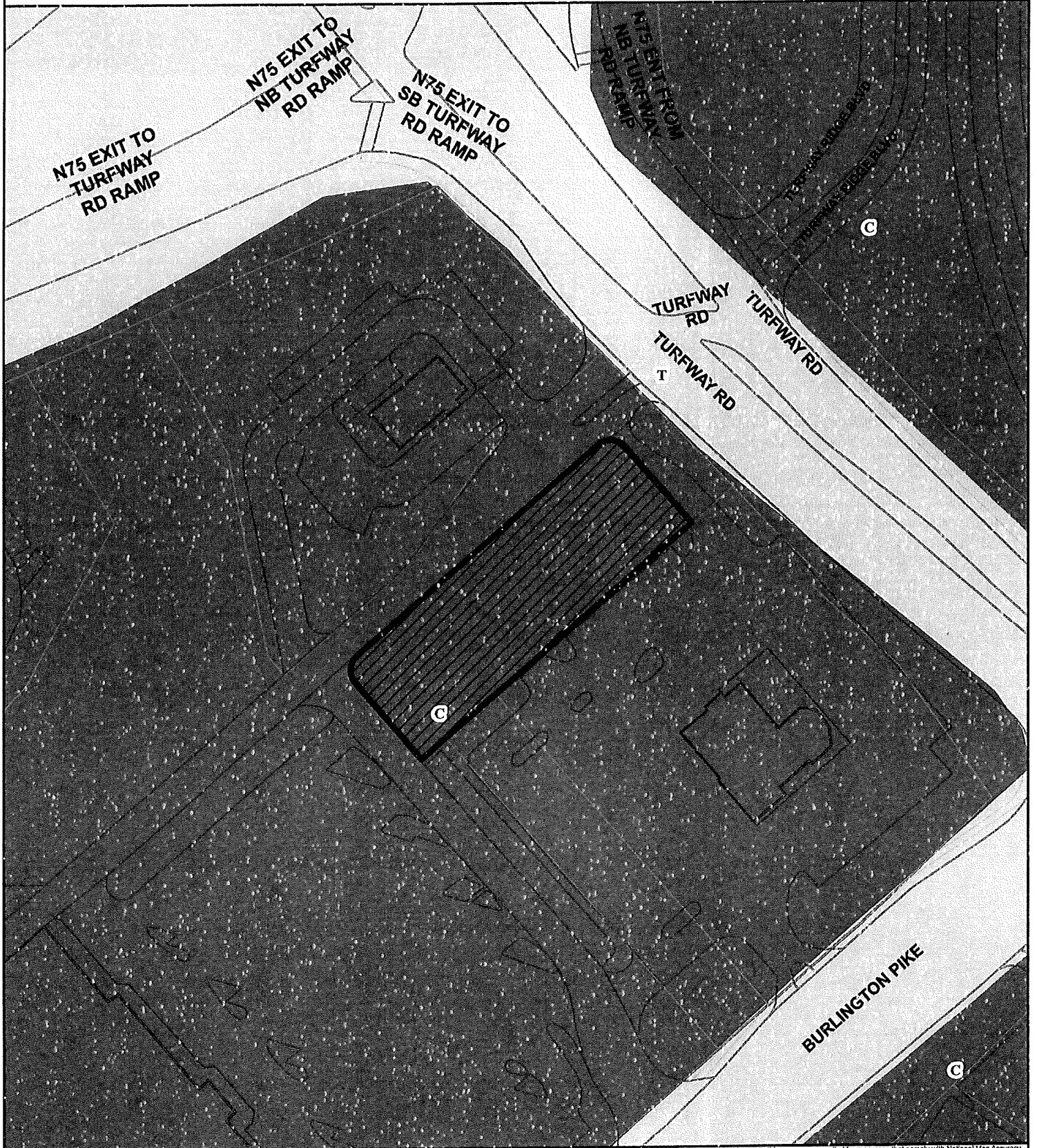


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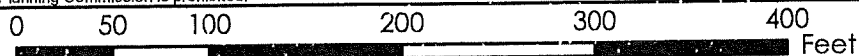
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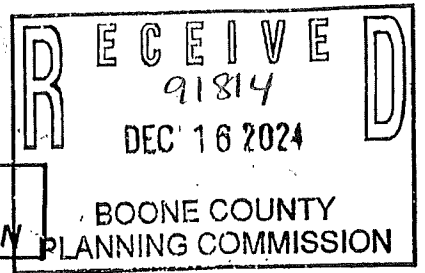


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12. Current Owner: Massive2.0, LLC

Address: 2260 Francis Lane

Cincinnati OH 45206
City State Zip Code

Phone Number: Fax Number:

Email:

13. Applicant: Brew Team KY, LLC

Address: 3108 Vestal Pkwy E  
Vestal NY 13850  
City State Zip Code  
Phone Number: 502-528-1798 Fax Number: \_\_\_\_\_  
Email: brian.evans@7brewteam.com

14. Are there any existing buildings on the site:  Yes  No  
If yes, indicate how many: \_\_\_\_\_  
15. 1105 842 2034A  
Deed Book Page Number Group Number

16. Have you had a pre-application meeting with the BCPC staff:  Yes  No


17. Have you met or discussed your proposed development with any of the following organizations/agencies (check all that apply):

Prior to construction of improvements, the applicant is recommended to submit copies of the Site Plan to the appropriate organizations/agencies prior to approval by the Boone County Planning Commission.

- |   |   |
|---|---|
| <input type="checkbox"/> Boone County Building Department   | <input type="checkbox"/> Local Fire District                          |
| <input type="checkbox"/> Boone County Public Works Department   | <input type="checkbox"/> Local School District                        |
| <input type="checkbox"/> Boone County Water District  | <input type="checkbox"/> Northern Kentucky Health Department          |
| <input type="checkbox"/> Cincinnati Bell  | <input type="checkbox"/> Owen Cooperative Electric, Inc.              |
| <input type="checkbox"/> Cincinnati/Northern Kentucky International Airport (Kentucky Airport Zoning Commission for height restrictions near the airport) | <input type="checkbox"/> Sanitation District No. 1                    |
| <input type="checkbox"/> Duke Energy  | <input type="checkbox"/> USDA NRCS/Boone County Conservation District |
| <input checked="" type="checkbox"/> Florence Public Services Department   | <input type="checkbox"/> Other: _____                                 |
| <input type="checkbox"/> Kentucky Division of Water   |   |
| <input type="checkbox"/> Kentucky Transportation Cabinet  |   |

18. Concept Development Plan Jurisdiction/Location (check all that apply):  
 Unincorporated Boone  Florence  Walton  Union

19. Waiver of 60 Day Time Requirement by Originator for Final Planning Commission Action:  
In accordance with the provisions of KRS 100.211, the applicant(s) and property owner(s) or originator(s) hereby waive the 60 day time limit for the Boone County Planning Commission to take final action on my (our) Zoning Map Amendment/Concept Development Plan application. This time limit waiver is considered effective immediately upon receipt by the Boone County Planning Commission and expires on 3/20/25

Property Owner's Signature: 

Applicant's Signature: 

**SECTION B:** (To be completed by Planning Commission staff)

1. Date Received: 12/10/24 Fee Received: \$3636<sup>00</sup> Receipt #: 91814
2. Number of Copies Received: \_\_\_\_\_
3. Has the following been submitted (check all that apply):
  - Completed Application
  - Concept Development Plan
  - Legal Description
  - Names and Mailing Addresses of Adjacent Property Owners
4. Date the application is Administratively Complete (as defined in KRS 100.211): \_\_\_\_\_
5. Staff Reviewer: \_\_\_\_\_
6. Committee Chairperson: \_\_\_\_\_
7. Scheduled Public Hearing Date: \_\_\_\_\_
8. Boone County Planning Commission Action: \_\_\_\_\_ Date of Action: \_\_\_\_\_
  - \_\_\_\_\_ Approved
  - \_\_\_\_\_ Approved with Conditions
  - \_\_\_\_\_ Denial
  - \_\_\_\_\_ Other

Boone County Planning Commission  
Boone County Administration Building  
2950 Washington Street, Room 317  
P.O. Box 958  
Burlington, Kentucky 41005  
Phone: 859-334-2196  
[plancom@boonecountyky.org](mailto:plancom@boonecountyky.org)  
[www.boonecountyky.org](http://www.boonecountyky.org)



Brew Team KY, LLC | 7 Brew Franchisee | 3108 Vestal Pkwy E – Vestal, NY 13850

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12/13/24

**Boone County Planning Commission**  
**2950 Washington St**  
**Burlington, KY 41005**  
**Attn: Michael Schwartz – Director, Zoning Services**

**RE: Proposed 7 Brew Coffee –7303 Turfway Rd**  
**Change of Concept Plan Narrative**

### **Project Narrative**

Seven Brew is a drive thru only coffee concept that serves beverages and no food. We serve a variety of made to order drinks, including coffees, teas, Italian sodas, smoothies, shakes, energy drinks, and hot chocolate. Customers are welcomed at their vehicle by an energetic barista, who take their order via an ipad. This personal interaction cultivates a unique customer experience and allows for ultra-fast processing. Drinks are made to order and delivered to the customer's vehicle quickly allowing them to get in and out to tackle their day.

The site was once developed with a 1,900 sf drive thru restaurant. The structure has been demolished, but a portion of the site contains the paved area that supported the restaurant. We propose to develop the site with a prefabricated 510 square foot drive thru only coffee shop and a 280 sf remote storage/cooler accessory structure. Canopies will extend from both sides of the building to provide cover from the elements over the drive thru pick up area and at the access point to the remote cooler.

The site and all surrounding properties are zoned C-3.

Access to the site is proposed by the private drive to the west of the site as well as the private drive to the north of the site. A Trip Generation Memorandum is included with the application materials further describing trip generation, warrant analysis, and on-site queuing.

As there are no accommodations for indoor or outdoor seating, on-site parking is provided for staff only. There will be (12) on-site parking spaces, of which (1) will be handicapped accessible. There will also be (4) bicycle parking spaces.

The proposed development will maintain the existing drainage pattern and will slightly decrease the impervious surface from the pre development condition.





Brew Team KY, LLC | 7 Brew Franchisee | 3103 Vestal Pkwy E -- Vestal, NY 13850

## Variance Requests

1. The Applicant requests a variance of Section 1003.5 to provide a 37' front setback instead of the required 50' front setback. The proposed structure faces Turfway Road, but there is an approximately 40' wide finger of the adjoining Remke's Market property separating this property from the right of way of Turfway Road. This finger serves as an access point between the property located at 6808 Turfway Road and the primary driveway to Turfway Road. The proposed setback when taken in full context is in line with the approximate setback distances of the existing structures to the north and south.
2. The Applicant requests a variance of Section 3645.A to reduce the required 10' buffers yards to 7' along the west private drive, 5' along the south private drive, and 8' along the east property line. All required planting are being provided.

## Section 3199 Design Standards

1. Building Massing: Existing building massing along Turfway Road range from approximately 25' wide (7126 Turfway Road) to approximately 250' wide (7107-7129 Turfway Road). When taken in full context, the 7 Brew massing including the Building and Storage cooler is 25'9" wide and is 50' wide including the canopy structure.
2. Architectural Style and Detail: Most buildings along this commercial corridor are of 1 story construction, with mostly flats roofs with varying elements creating architectural relief (such as raised corner gables, parapets, etc.). Seven Brew has a combination of a barrel roof and flat roof that provides visual interest and breaks up the roof line.
3. Primary Entrances: As a drive thru only business, there are not interior public spaces in a 7 Brew, and thus there is not a traditional primary entrance. Employees enter the building through an access door at the rear that is under a canopy. Although 99 percent of order occur in the drive thru, pedestrian traffic can order at a sliding glass door that is on the west elevation of the building and is under a canopy. Likewise, drinks are delivered to customers vehicles thru (2) sliding glass doors on the east side of the building. These delivery areas are also under a canopy. We request a modification to not have a primary entrance facing the street.
4. Windows: The front elevation of the building facing the private drive fronting Turfway road consist of (3) 1" insulated tempered thermal windows w/Low-E glass that are clear.
5. Roofs: The front portion of the roof on the main building is a standing seam metal that slopes from front to back with a rear flat roof that has a parapet wall. The standing seam roof shields rooftop equipment from the street, with wall structure shielding them from both sides. To the rear, the mechanical units are further shielded with parapet walls.
6. Awnings: Awnings are not used on a 7 Brew building.
7. Building Materials: Existing materials along the corridor include (but are not limited to) block, split





Brew Team KY, LLC | 7 Brew Franchisee | 3108 Vestal Pkwy E --Vestal, NY 13850

face block, brick, metal siding, and fiber cement siding. The 7 Brew building will utilize a two tone Nichiha fiber cement product that mimics the appearance of brick. The Nichiha panel is a solid high-density fiber composite panel with weather-resistant high-performance architectural coatings. Traditionally used as an accent material due to cost, the small scope of the 7 Brew building allows the entire building to be clad with Nichiha. The aesthetic and durable characteristics of Nichiha meet the intent of the building materials and therefore we request a modification of this requirement.

8. Building Lighting: The majority of the building lighting is provide via under canopy LED surface mounted lights. Flex LED rope lighting is used to accent the canopies and roof metal seam roof structure.
9. Building Color: The Nichiha façade is a combination of Modernbrick in both "Midnight" and "Shale Brown" colors, accented with Pacific Blue break metal on the canopies and roof.
10. Mechanical Equipment: All mechanical equipment is located on the roof and is screened.
11. Building Signage: Seven Brew stand branding package includes the use of internally lit box cabinet signs and we request a modification to this requirement. Signage will be similar in nature to other businesses in the immediate vicinity.

I look forward to working with you through the development process and am excited to be bringing the 7 Brew concept to Florence.

Should you have any questions, please don't hesitate to contact me at 502-528-1798 or by email at [brian.evans@7brewteam.com](mailto:brian.evans@7brewteam.com)

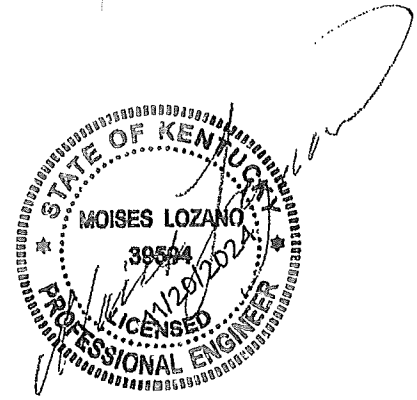
Best

Brian Evans  
Director of Entitlements





1550 East Republic Road  
 Springfield, MO 65804  
 tothassociates.com  
 417.888.0645



11.20.2024

Justin D. Finke – Business Development Director  
 City of Florence

RE: 7-Brew – Florence (Turfway) - Trip Generation Memorandum

Dear Mr. Finke,

Please accept this letter as documentation of our trip generation memorandum for the proposed 7-Brew at 7303 Turfway Road in Florence KY.

- Location Description:** The site of the proposed 7-Brew Coffee is located on the south side of Interstate 71 along Turfway Road, in between the off ramp and Burlington Pike.
- Land Use – Existing and Proposed:** The proposed 7-Brew Coffee shop will be constructed on currently vacant land where prior use was a restaurant with a drive thru. The property is zoned C-3 “Commercial Services”. The prior development had a 1,900 S.F. building. The site will be developed to accommodate a 510 S.F. drive through only coffee restaurant. Access to the current site consists of two access points along the private drive of the Remke Market shopping center, the new development will keep two access points. A two-way ingress driveway will be 36-ft wide. The one-way egress driveway will be an existing 13-ft wide right turn only. Drive-thru stacking/queueing for the proposed 7-Brew site will be contained within the site footprint and will not spill into the public right of way.
- Trip Generation Estimate:** Utilizing the 11<sup>th</sup> edition of the ITE Trip Generation Manual, Table 3.1 below represents trips generated for original land use (1,900 S.F. Restaurant with drive through). Table 3.2 shown below represents the trips generated for the proposed land use for the 7 Brew Coffee Shop. Table 3.3 below compares the existing use with the proposed use and depicts the net change of trips between the two.

**Table 3.1: Trip Generation Summary Table – Fast-Food Restaurant with Drive-thru Window**

ITE LAND USE CODE	DESCRIPTION OF ITE CODE	UNITS	EXPECTED UNITS Ind. Variable	WEEKDAY AM PEAK HOUR			WEEKDAY PM PEAK HOUR		
				In	Out	Total	In	Out	Total
934	Fast-Food Restaurant with Drive-thru Window	1000 SF GFA	1.9	50	46	96	50	47	97

**Table 3.2: Trip Generation Summary Table – Proposed 7 Brew**



ITE LAND USE CODE	DESCRIPTION OF ITE CODE	UNITS	EXPECTED UNITS Ind. Variable	WEEKDAY AM PEAK HOUR			WEEKDAY PM PEAK HOUR		
				In	Out	Total	In	Out	Total
937	Coffee/Donut Shop with Drive-Through Window	1000 SF GFA	0.51	26	26	52	11	11	22

Table 3.3: Trip Generation Net Change – Trips

ITE LAND USE CODE	DESCRIPTION OF ITE CODE	UNITS	EXPECTED UNITS Ind. Variable	WEEKDAY AM PEAK HOUR			WEEKDAY PM PEAK HOUR		
				In	Out	Total	In	Out	Total
934	Existing Fast-Food Restaurant with Drive-thru Window	1000 SF GFA	1.9	50	46	96	50	47	97
937	Proposed Coffee/Donut Shop with Drive-Through Window	1000 SF GFA	0.51	26	26	52	11	11	22
	Net Change			-24	-20	-44	-39	-36	-75

Based on Table 3.3 above, the proposed 7-Brew is not anticipated to increase the total number of new peak hour trips, during the peak hour, to levels beyond what could have reasonably been expected from the previously fast-food restaurant with drive-thru, as depicted above. Furthermore, the anticipated new trips generated from the proposed 7-Brew are significantly less than the new trips generated by the existing restaurant.

4. **Warrant Analysis:** Based on the criteria found in the Traffic Study Policy for the Boone County Planning Commission, A traffic analysis is not required for this development. Please see below for a summary of the warrants:

The Boone County Planning Commission should use the following table in making its determination:



TRAFFIC GENERATED BY PROPOSED DEVELOPMENT (peak hour)	ANALYSIS LEVEL
Less than 50 trips	No Analysis
50 - 75 trips	Traffic Analysis
75 - 100 trips	Intermediate Traffic Impact Study
More than 100 trips	Full Traffic Impact Study

5. **Access Management Review:** Because no additional access is being proposed along the public right-of-way, access management will not change from the current conditions. In addition, the proposed 7 Brew Coffee will result in fewer new trips during the peak hour from what would have reasonably been expected to have been generated from the existing restaurant, therefore, no additional access management analysis is warranted.
  
6. **Adjacent Access Spacing -- Upstream & Downstream:** Because no additional access is being proposed along the right-of-way, adjacent access spacing will not change from the current conditions. In addition, the proposed 7 Brew Coffee will result in fewer new trips during the peak hour from what would have reasonably been expected to have been generated from the existing restaurant, therefore, no additional adjacent access spacing analysis is warranted.
  
7. **Intersection Sight Distance:** Because no additional access is being proposed to US HWY 42, the Intersection sight distance will not change from the current conditions. In addition, the proposed 7 Brew Coffee will result in fewer new trips during the peak hour from what would have reasonably been expected to have been generated from the existing restaurant, therefore, no additional intersection sight distance analysis is warranted.
  
8. **On-Site Vehicle Queueing Analysis:**

**8.1 On-Site Vehicle Queueing - Calculations**

According to the City of Florence Land Development Code, drive-through facilities, such as a fast-food restaurant are required to provide 4 spaces per drive-through lane. The site provides a total of 23 stacking spaces and is required to provide 8 stacking spaces, thereby complying with the City's code.

Toth and Associates seek to meet or exceed the queueing requirements laid out in the land development code. Although the minimum requirement of 8 stacking spaces is met, a queueing analysis will be performed and is described below.

Arrival rates and service rates are from the ITE trip generation manual. The 7-Brew arrival rates are based on average orders per hour. Computations were performed using the Stochastic Queueing Analysis method. Traffic Intensity and average vehicle queue length are computed as follows:



$$\rho = \frac{\lambda}{\mu} \text{ (Eq. 1)}$$

Where:

$\rho$  is the traffic intensity

$\lambda$  is the mean arrival rate (vehicles per hour)

$\mu$  is the mean service rate (vehicles per hour)

The average vehicle queue is then calculated as follows:

$$E(n) = \frac{\rho}{1 - \rho} \text{ (Eq. 2)}$$

Where:

$E(n)$  is the average vehicle queue in the drive-through lane.

The mean arrival rate described in Equation 1 primarily depends on projected trip generation, which has been estimated by reviewing ITE trip generation estimates.

The ITE trip generation rate is 52 vehicles per hour (of which 26 are mean arrivals and 26 are mean departures), derived from the weekday AM peak hour volume.

The mean service rate described in Equation 1 depends on the total time spent at the final window. For the 7-Brew development, this is the time required for a vehicle operator to stop, pay, and receive the order. Orders are received by employees who walk to the location of a stopped vehicle. This method of service reduces the average wait for placing an order, compared to a development with a static order window. The value used for mean service rate is discussed below, using estimates from 7-Brew and records from a similar coffeehouse.

The service rate attained by 7-Brew for single-drink orders can be as low as 30 seconds per vehicle, and the service rate attained for nearly 100% of orders is 45 seconds per vehicle. A coffeehouse in Council Bluffs, IA (similar to 7-Brew Coffee) recorded an average service rate of 38 seconds per vehicle for the peak hour. The service rate for this development is therefore considered to be in the range of 30 to 45 seconds per vehicle. An average of these values yields a mean service rate of 37.5 seconds per vehicle.

Using Equations 1 and 2, and averages of the available data, the expected vehicle queues for each peak hour are shown in Table 7.1.3 below.



Table 7.1.3: Queueing Analysis Results

	Mean Arrival Rate [ $\lambda$ ] (veh/hr)	Mean Service Rate [ $\mu$ ] (veh/hr)	Intensity [ $\rho$ ] (dimensionless)	Queue (vehicles)
Peak Hour	52	96	0.542	2

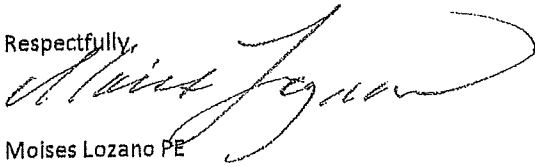
The site provides a total of 23 stacking spaces and is required to provide 8 stacking spaces, thereby complying with the City's code.

9. **Recommended Improvements:** Since the proposed 7 Brew Coffee generates less trips than the prior approved restaurant, no recommended improvements have been provided.

In summary, construction of the proposed 7 Brew Coffee at 7303 Turfway Road will not have a negative impact on traffic flow, over-and above, what was previously approved for this site. Future additions to this site would warrant additional traffic generation memoranda, for consideration and review by City Staff.

If you have any additional comments or questions, please don't hesitate to call me at 417-888-0645.

Respectfully,



Moises Lozano PE  
Project Manager  
Toth and Associates, Inc.



# Fast-Food Restaurant with Drive-Through Window (934)

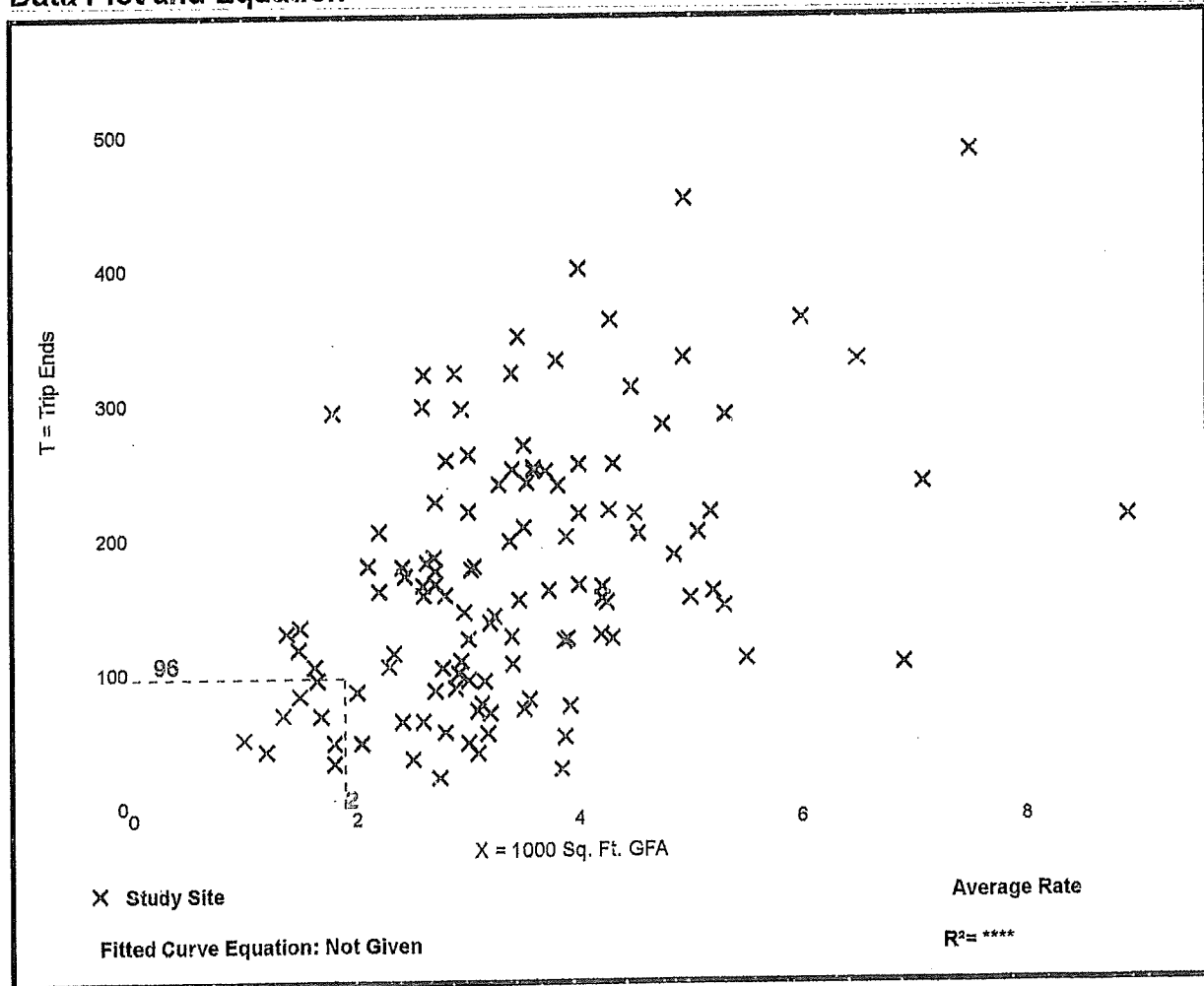
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**AM Peak Hour of Generator**

**Setting/Location: General Urban/Suburban**  
 Number of Studies: 118  
 Avg. 1000 Sq. Ft. GFA: 3  
 Directional Distribution: 52% entering, 48% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
50.57	7.28 - 164.25	25.99

## Data Plot and Equation



# Fast-Food Restaurant with Drive-Through Window (934)

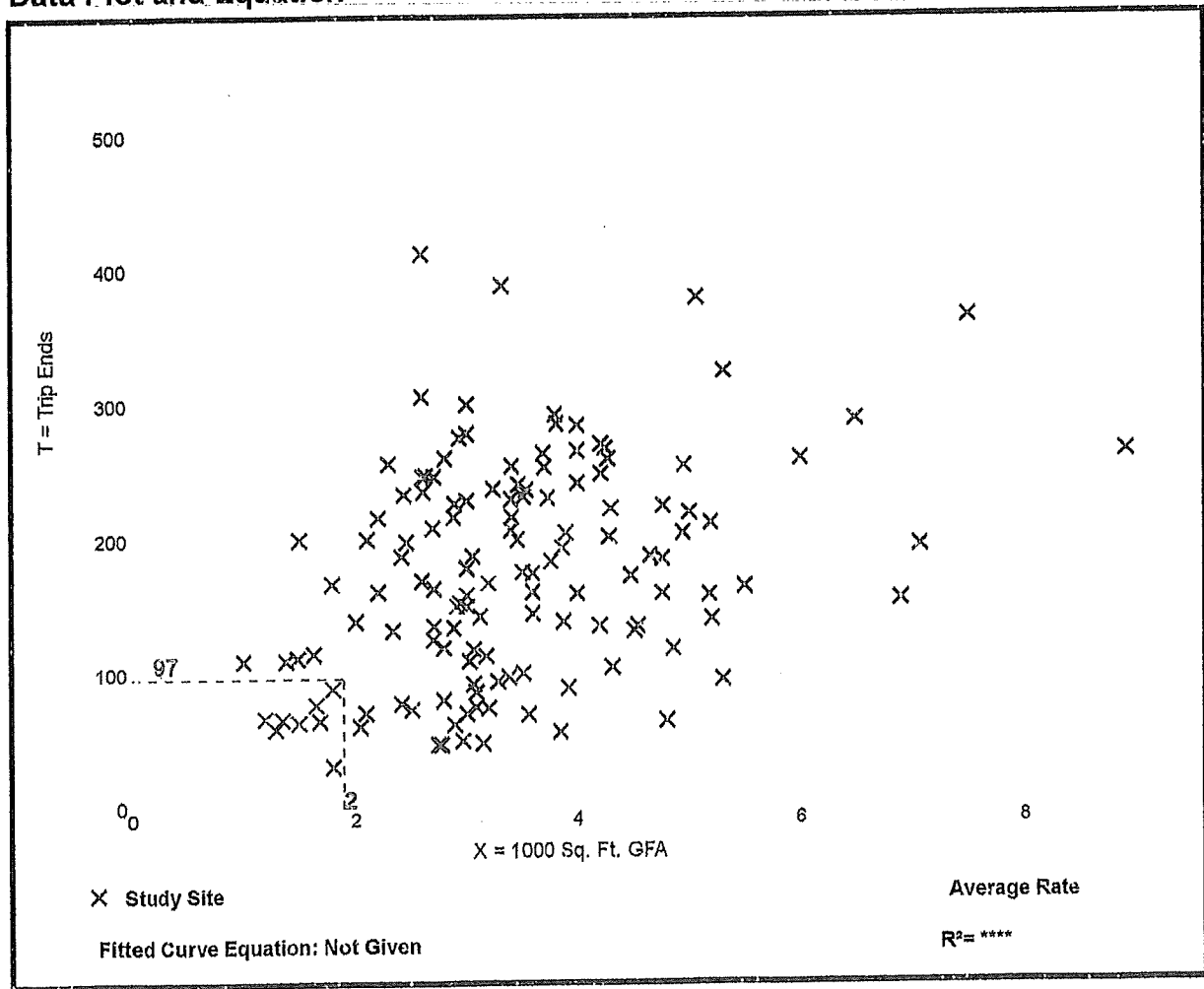
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
On a: Weekday,  
PM Peak Hour of Generator

Setting/Location: General Urban/Suburban  
Number of Studies: 135  
Avg. 1000 Sq. Ft. GFA: 3  
Directional Distribution: 51% entering, 49% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
50.94	13.36 - 159.07	24.91

## Data Plot and Equation



# Coffee/Donut Shop with Drive-Through Window (937)

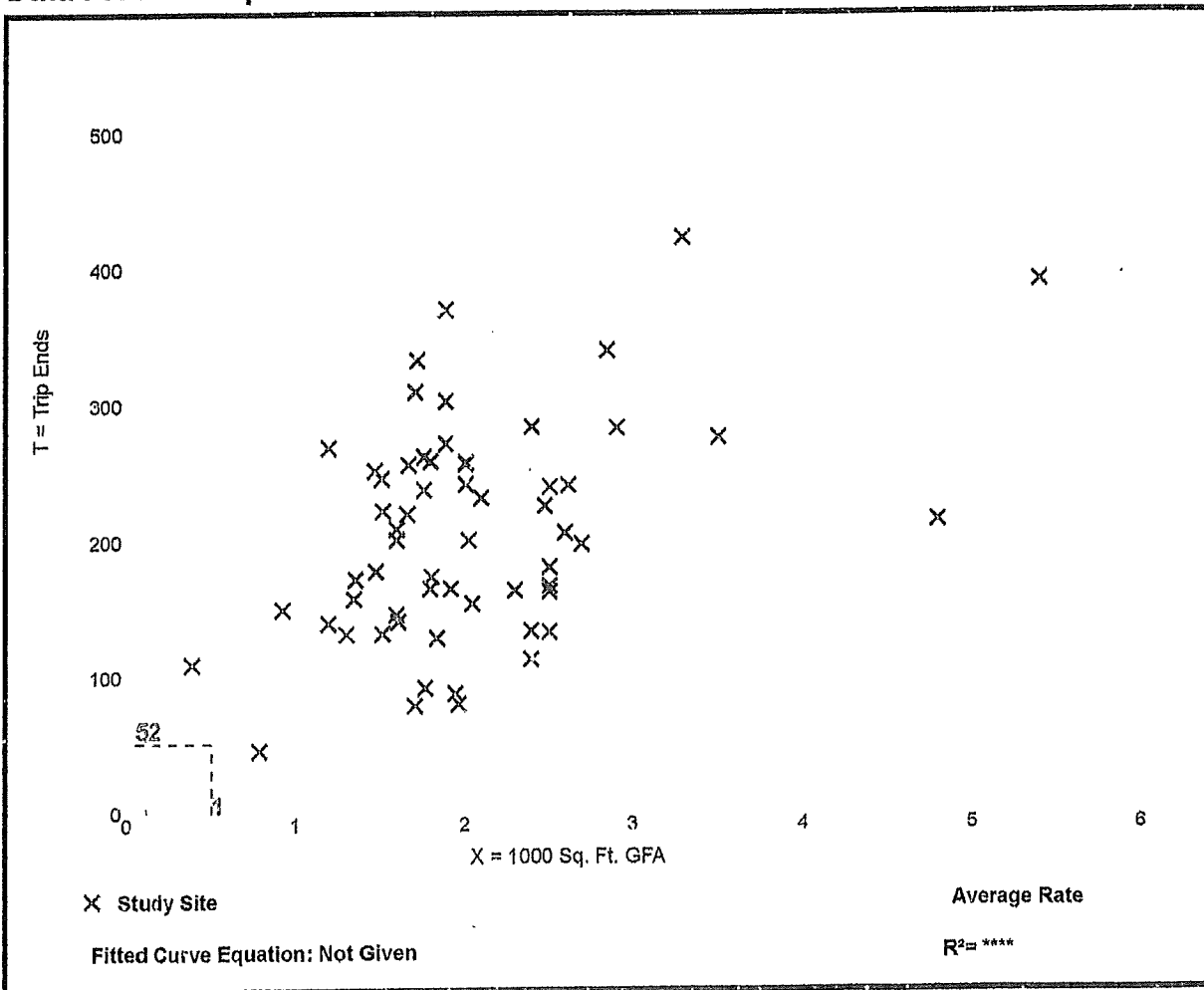
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
On a: Weekday,  
AM Peak Hour of Generator

Setting/Location: General Urban/Suburban  
Number of Studies: 62  
Avg. 1000 Sq. Ft. GFA: 2  
Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
101.27	40.82 - 282.05	41.74

## Data Plot and Equation



# Coffee/Donut Shop with Drive-Through Window (937)

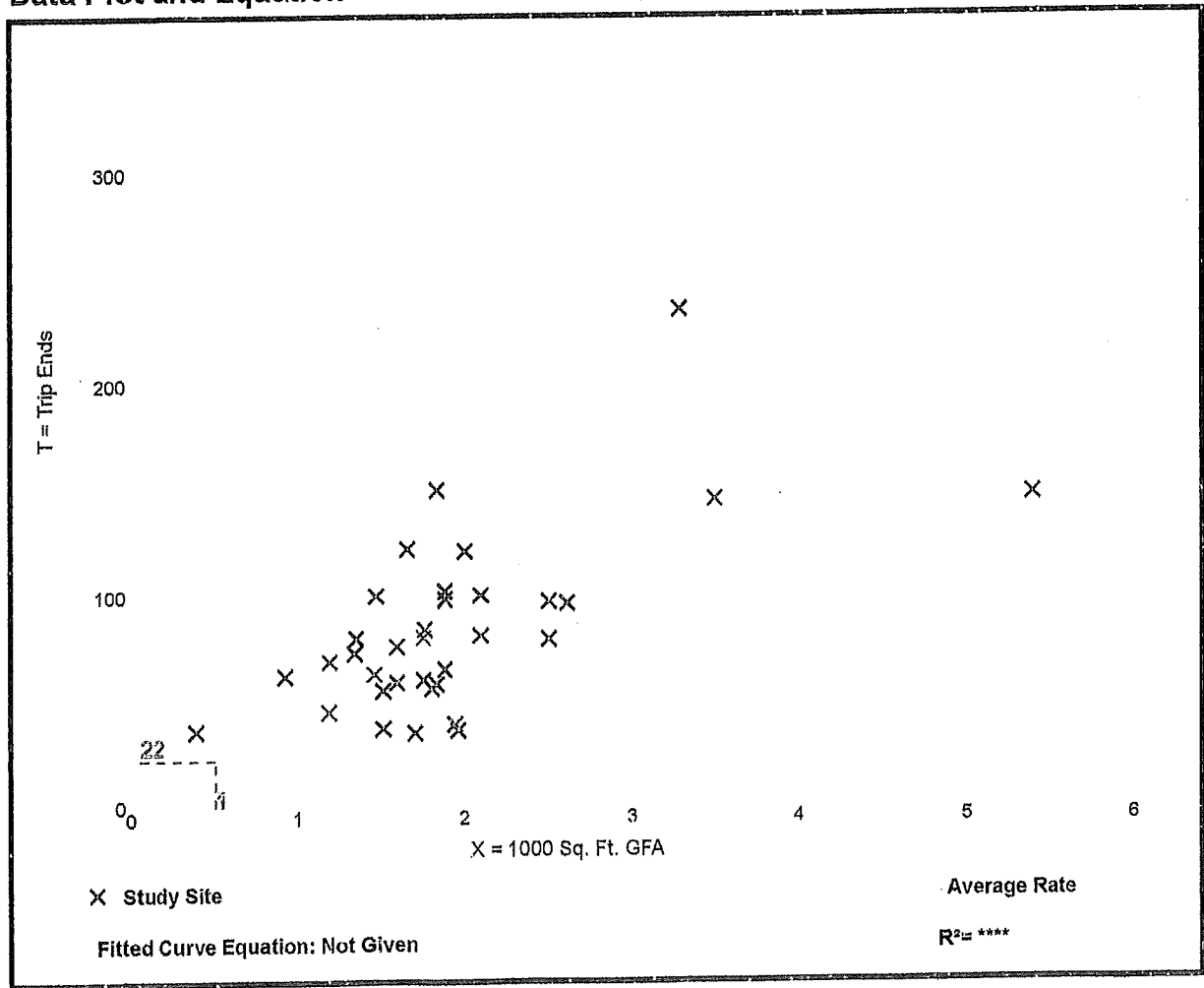
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**PM Peak Hour of Generator**

**Setting/Location: General Urban/Suburban**  
 Number of Studies: 34  
 Avg. 1000 Sq. Ft. GFA: 2  
 Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

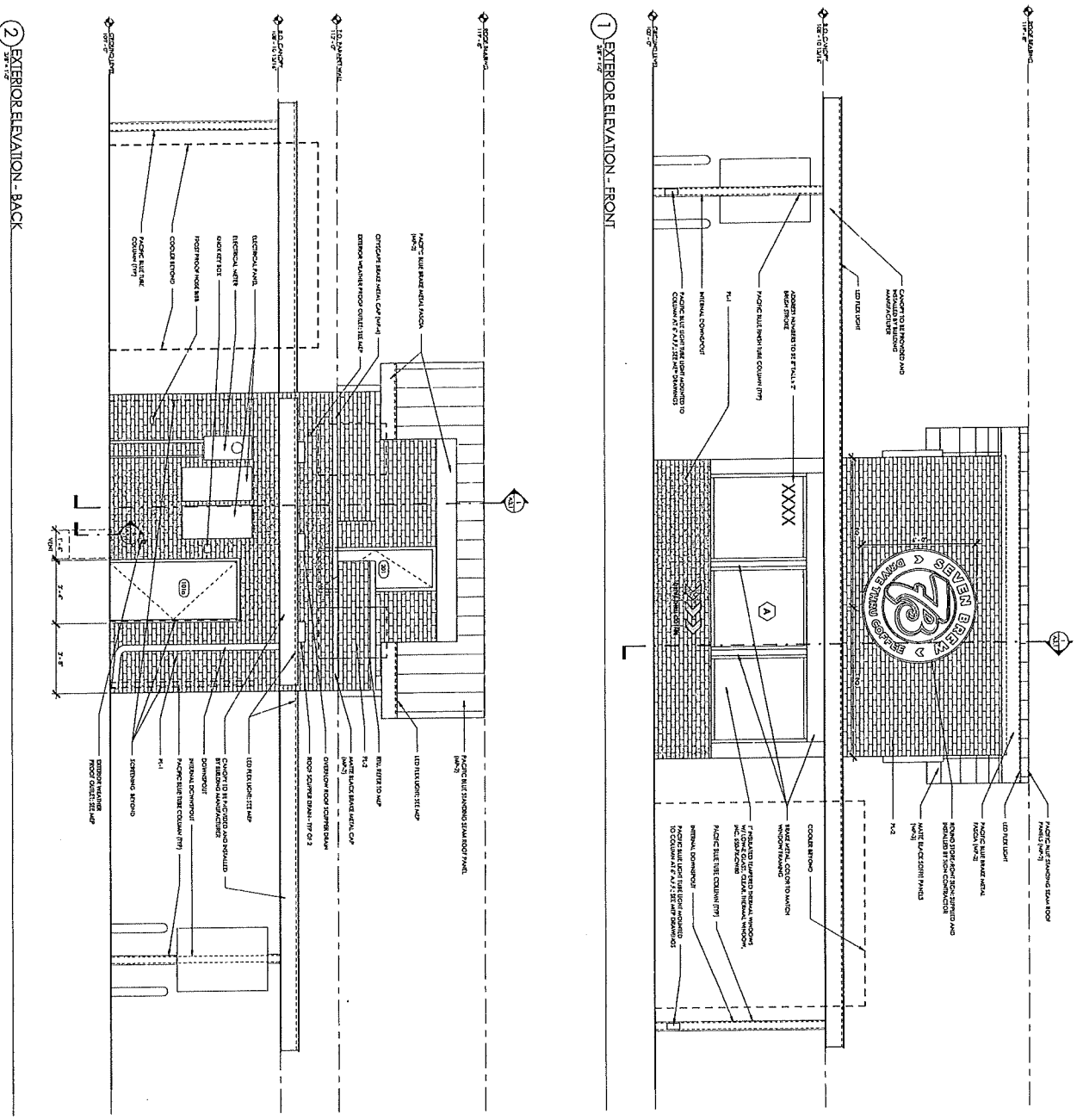
Average Rate	Range of Rates	Standard Deviation
43.65	18.37 - 92.31	16.74

## Data Plot and Equation









1 EXTERIOR ELEVATION - FRONT

2 EXTERIOR ELEVATION - BACK

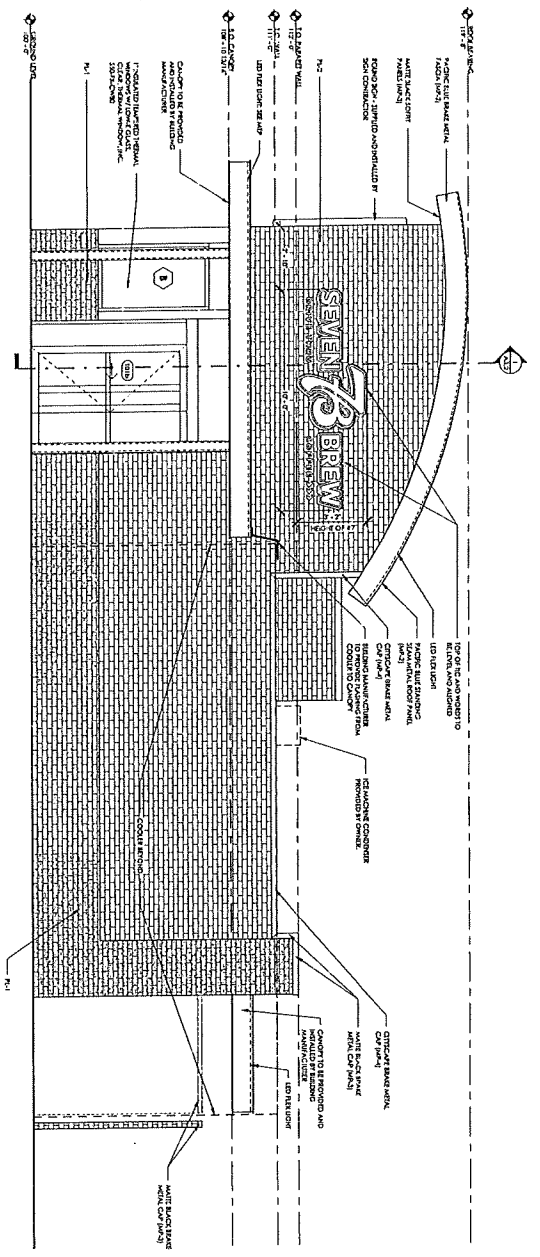


ARCHITECT OF RECORD  
 NAME: ADAM GIBSON  
 LICENSE NO. 10000  
 PROJECT NUMBER: 2016-1012  
 VERSION:

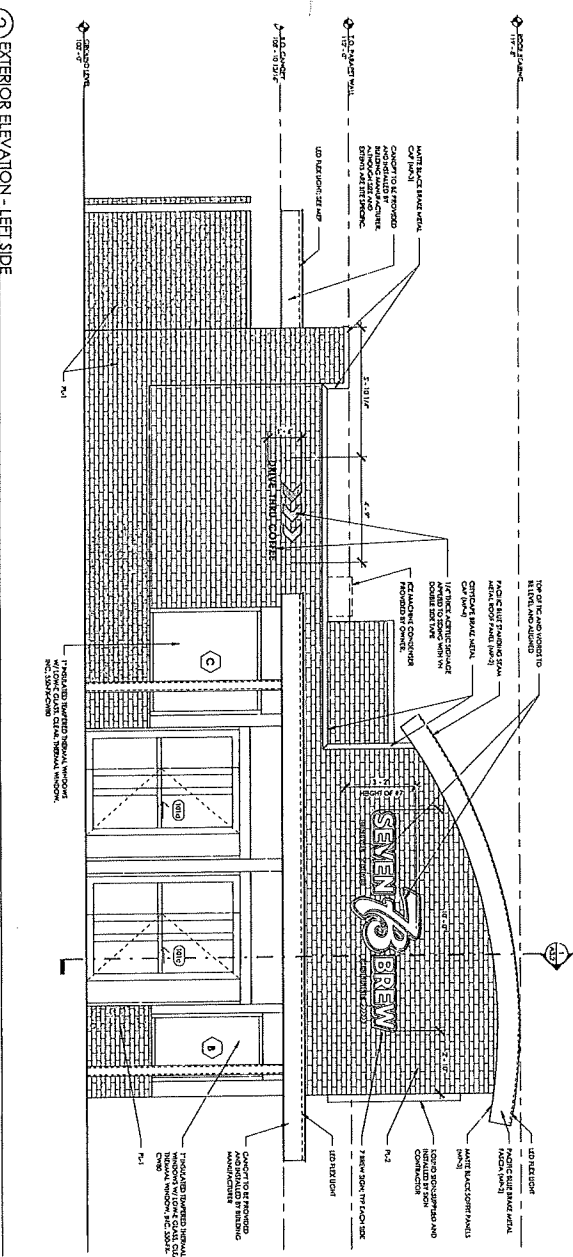
7 BREW COFFEE  
**FLORENCE, KY #2**  
 7303 TURFWAY ROAD,  
 FLORENCE, KY 41042

**A2.1**  
 EXTERIOR ELEVATIONS

DATE: NOVEMBER 14, 2016



1 EXTERIOR ELEVATION - RIGHT SIDE



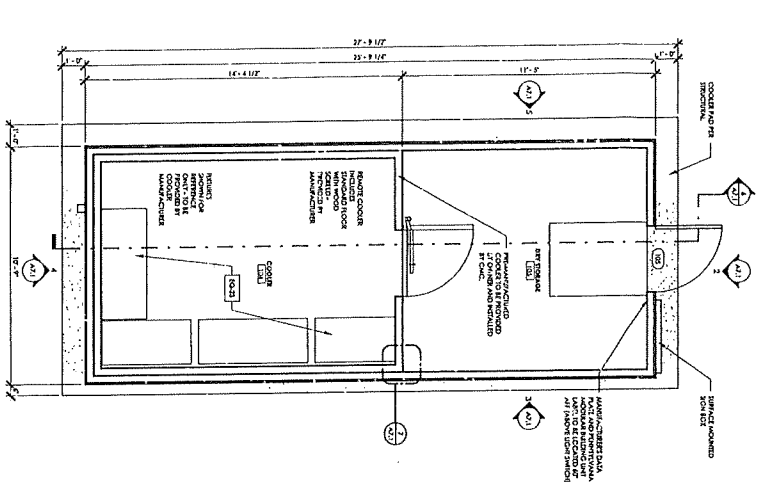
2 EXTERIOR ELEVATION - LEFT SIDE



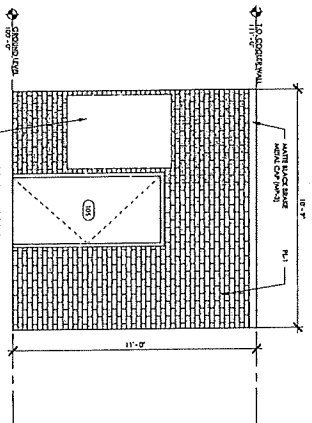
ARCHITECT OF RECORD  
NAME: ADAM ZEMER  
LICENSE NO. 7077  
PROJECT NUMBER: 2016-1723  
EXTENSION:

7 BREW COFFEE  
FLORENCE, KY #2  
7303 TURFWAY ROAD,  
FLORENCE, KY 41042

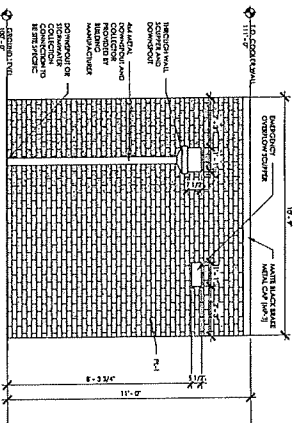




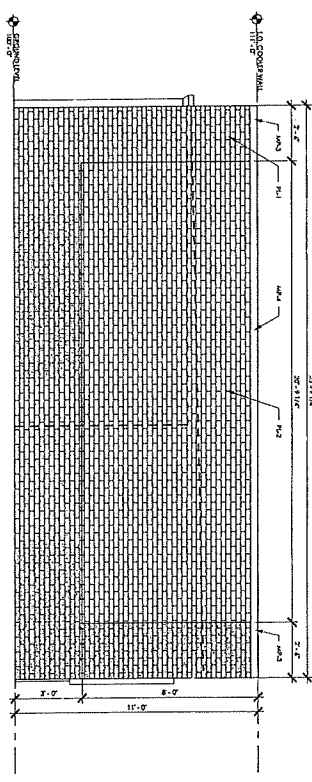
1 REMOTE COOLER PLAN  
1/8\"/>



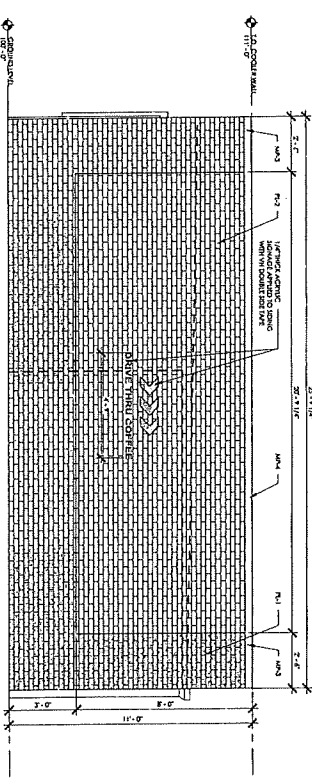
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1/8\"/>



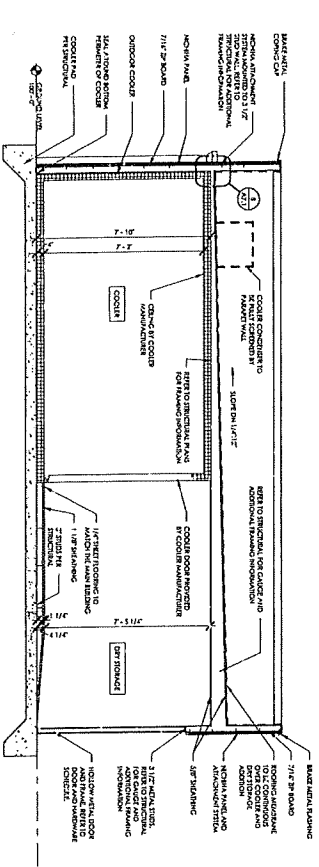
4 COOLER ELEVATION - REAR  
1/8\"/>



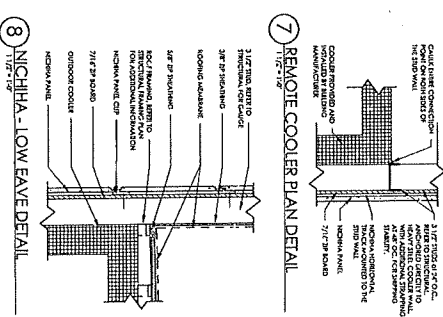
3 COOLER ELEVATION - RIGHT  
1/8\"/>



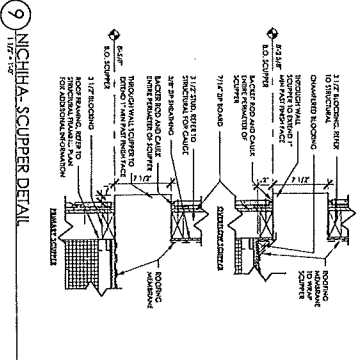
5 COOLER ELEVATION - LEFT  
1/8\"/>



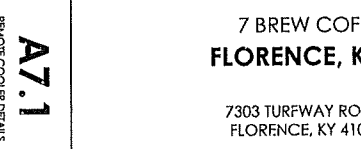
6 COOLER SECTION  
1/8\"/>



7 REMOTE COOLER PLAN DETAIL  
1/8\"/>



8 NICHIA - LOW EAVE DETAIL  
1/8\"/>



9 NICHIA - SCUPPER DETAIL  
1/8\"/>

**KINETIC**  
DESIGN • DEVELOPMENT

2215 W CHESTERFIELD BLVD, SUITE D1 - SPRINGFIELD, MO 65807 • P (417) 530-4321

ARCHITECT OF RECORD  
MARK SCHAEFER  
LICENSE NO. 207

PROFESSIONAL SEAL

7 BREW COFFEE  
FLORENCE, KY #2

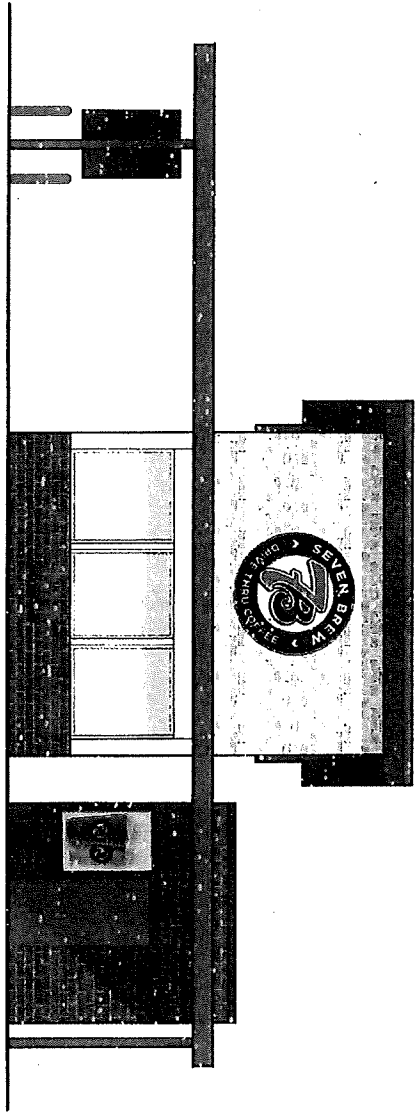
7303 TURFWAY ROAD,  
FLORENCE, KY 41042

DATE: NOVEMBER 14, 2014

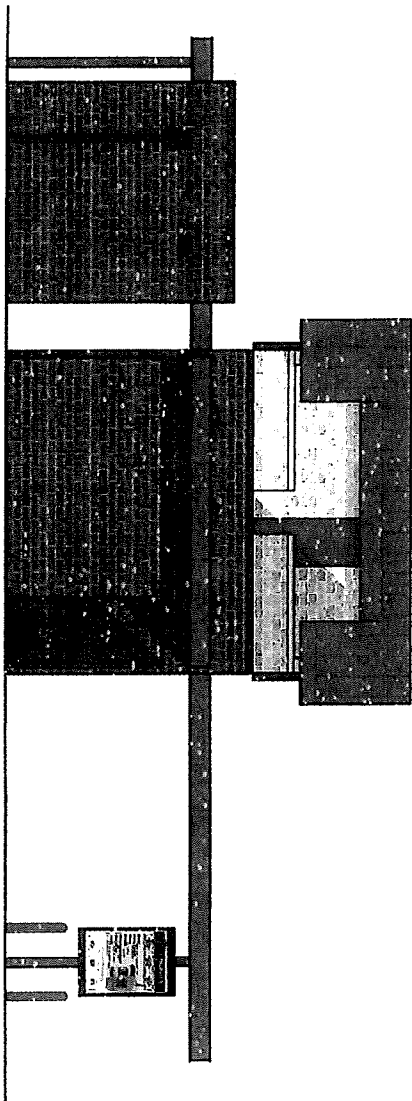
REMOTE COOLER DETAILS

**A7.1**
























① EXTERIOR ELEVATION - FRONT



② EXTERIOR ELEVATION - BACK

EXTERIOR FINISH LEGEND

-  NICHINA
-  MODERNBRICK
-  MIDNIGHT
-  NICHINA
-  CANYON BRICK
-  SHALEBROWN
-  PAC-CLAD
-  STANDING SEAM/PANEL
-  PACIFIC BLUE
-  BRAKE METAL
-  COLOR TO MATCH
-  STORERSONT FRAMES
-  BRAKE METAL
-  PACIFIC BLUE
-  BRAKE METAL
-  MATTIE BLACK
-  DOORS
-  HONORABLE BLUE
-  SW6811

**KINETIC**

DESIGN • DEVELOPMENT

123 1st Street, Suite 100, Nashville, TN 37203

**ARCHITECT OF RECORD**  
 NAME: KINETIC  
 ADDRESS: 123 1st Street, Suite 100, Nashville, TN 37203  
 PHONE: (615) 259-1234  
 FAX: (615) 259-1234  
 WWW: www.kinetic.com

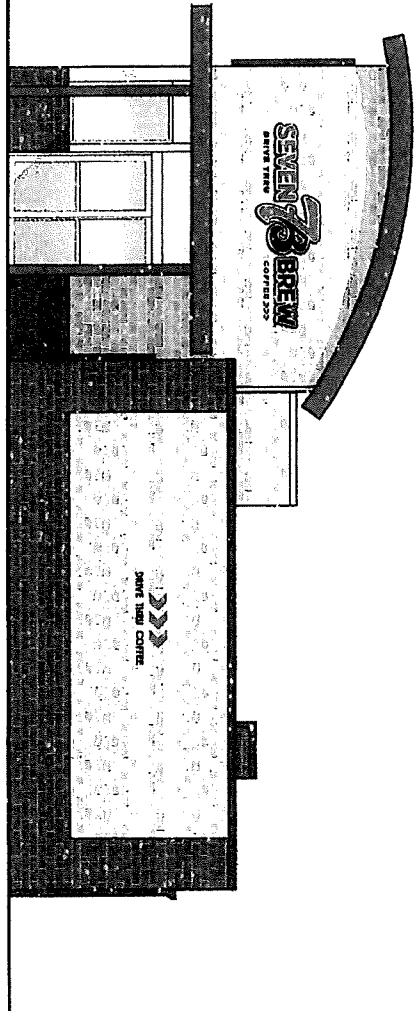
**PROJECT NUMBER:** 123-456  
**DATE:** 12/15/2023

**7 BREW COFFEE**  
**FLORENCE, KY**

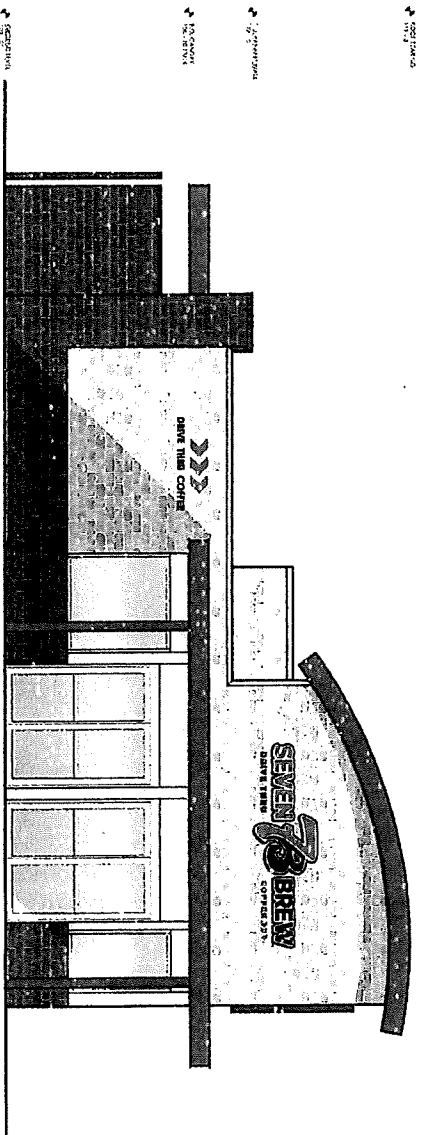
8111 US HWY 42,  
 FLORENCE, KY 41042

**A2.1**  
 EXTERIOR ELEVATIONS

DATE: 02/15/23 9:12A



① EXTERIOR ELEVATION - RIGHT SIDE



② EXTERIOR ELEVATION - LEFT SIDE

EXTERIOR FINISH LEGEND

	NICHIA MODERNBRICK MIDNIGHT
	NICHIA GRAND BRICK SHALE BROWN
	PAC-CLAD STANDING SEAM PANEL PACIFIC BLUE
	BRAKE METAL COLOR TO MATCH STOBERONT FRAMES
	BRAKE METAL PACIFIC BLUE
	BRAKE METAL MATTIE BLACK
	DOORS HONORABLE BLUE SV4811

KL ETIC

DESIGN & DEVELOPMENT

2715 W. COLLETT BLVD. SUITE 100, FLORENCE, KY 41042

**DESIGN, DEVELOPMENT, CONSTRUCTION**  
 2715 W. COLLETT BLVD. SUITE 100, FLORENCE, KY 41042  
 TEL: 502.261.1111 FAX: 502.261.1112  
 WWW.KLETIC.COM

ARCHITECT OF RECORD  
 NAME: A22/22A  
 LICENSE NO.: 220  
 PROJECT NUMBER: 220/22A  
 DATE: 12/2011

7 BREW COFFEE  
 FLORENCE, KY

8111 US HWY 42,  
 FLORENCE, KY 41042

**A22.2**  
 EXTERIOR ELEVATIONS

DATE: 12/2011 220

## Lauren Elliott

---

**From:** Todd Morgan <todd.morgan@florence-ky.gov>  
**Sent:** Thursday, January 30, 2025 10:46 AM  
**To:** Lauren Elliott  
**Cc:** Justin Finke  
**Subject:** RE: 7303 Turfway Rd - Change of Concept Development

### EXTERNAL MESSAGE

Lauren,

Justin and I looked over the narrative and plans and have the following comments:

1. Has the applicant verified that access easements exist which provide legal access to the lot?
2. The applicant should address which type of vehicles will make deliveries and where they will park.
3. We would like the applicant to analyze some turning movements.
  - A. Can a large pickup truck comfortably make the turn in the front parking lot?
  - B. Can a large pickup truck stay in its lane when it turn outs of the northwest egress point? Should any adjustments be made to the landscaping island?
4. Sidewalks are located along Turfway Road and terminate on the Remke lot. We would like the applicant to analyze if a sidewalk connection could be made which would tie the subject lot to the existing sidewalk system.
5. For pedestrian safety, we suggest that a curb be added to separate the drive through lane from the striped pedestrian walkway.
6. We did not see dumpster elevations. The dumpster enclosure needs to be constructed with brick which matches the building and include steel gates.
7. We don't have any issues with the proposed Variances due to the size of the lot.
8. We have the following signage comments:
  - A. We recommend the oval building mounted sign on the front façade follow Section 3199 of the Zoning Regulations. Channel letter signs, routed signs, and other signs as determined by the Zoning Administrator would be permitted.
  - B. The sign shown on the rear elevation drawing cannot overhang the canopy column per Section 3402 of the Zoning Regulations.
  - C. The elevation drawings we received do not show the proposed LED flex lighting. We would like to confirm that building mounted signage is only proposed on three facades.

Let me know if you have any questions.

Thanks,

Todd K. Morgan, AICP  
Director of Community Development  
City of Florence  
(859) 647-8147

**From:** Lauren Elliott <llelliott@boonecountyky.org>  
**Sent:** Wednesday, January 29, 2025 3:11 PM

**To:** Todd Morgan <todd.morgan@florence-ky.gov>

**Subject:** 7303 Turfway Rd - Change of Concept Development

**Lauren M. Elliott**

Planner, Boone County Planning Commission

[l Elliott@boonecountyky.org](mailto:l Elliott@boonecountyky.org)

859-334-2196

859-334-2264 (fax)

## Lauren Elliott

---

**From:** Randy Childress <Randy.Childress@Florence-KY.gov>  
**Sent:** Thursday, January 30, 2025 10:40 AM  
**To:** Lauren Elliott  
**Subject:** RE: 7 Brew Coffee

### EXTERNAL MESSAGE

Ok sorry. I looked at it and is almost identical to the Biggby setup. That what I get for assuming. It is a very small footprint. No issues with this plan.

**From:** Lauren Elliott <lelliott@boonecountyky.org>  
**Sent:** Thursday, January 30, 2025 10:29 AM  
**To:** Randy Childress <Randy.Childress@Florence-KY.gov>  
**Subject:** RE: 7 Brew Coffee

I believe the Biggby is remaining. They are taking over the currently-vacant former Krispy Kreme site, which was approved for a Taco John's last year.

**From:** Randy Childress <Randy.Childress@Florence-KY.gov>  
**Sent:** Thursday, January 30, 2025 10:25 AM  
**To:** Lauren Elliott <lelliott@boonecountyky.org>  
**Subject:** RE: 7 Brew Coffee

### EXTERNAL MESSAGE

Looks like they are taking over the existing Biggby and adding a dumpster enclosure. I have no comments on this plan.

**From:** Lauren Elliott <lelliott@boonecountyky.org>  
**Sent:** Thursday, January 30, 2025 10:12 AM  
**To:** Randy Childress <Randy.Childress@Florence-KY.gov>  
**Subject:** RE: 7 Brew Coffee

Hi Randy,

To clarify, there are two different 7-Brew Coffee applications, one on US 42 and one on Turfway Rd. It seems like there was an issue delivering the original email I sent a few weeks ago, so it's likely you never received the second one. I'm attaching the site plan again, just in case. I apologize for the short notice, but would you be able to have comments (if you have any) to me by Wednesday the 5<sup>th</sup>?

Thank you,

**Lauren M. Elliott**  
Planner, Boone County Planning Commission  
[lelliott@boonecountyky.org](mailto:lelliott@boonecountyky.org)  
859-334-2196  
859-334-2264 (fax)

**From:** Randy Childress <[Randy.Childress@Florence-KY.gov](mailto:Randy.Childress@Florence-KY.gov)>

**Sent:** Thursday, January 30, 2025 10:03 AM

**To:** Steve Lilly <[steve.lilly@boonecountyky.org](mailto:steve.lilly@boonecountyky.org)>; Todd Morgan <[todd.morgan@florence-ky.gov](mailto:todd.morgan@florence-ky.gov)>; Lauren Elliott <[lelliott@boonecountyky.org](mailto:lelliott@boonecountyky.org)>

**Subject:** 7 Brew Coffee

**EXTERNAL MESSAGE**

I apologize. I thought I have responded to that plan. I have no issues with the 7 Brew Coffee. Thanks. Sorry for the delay.

*Randy Childress*

Fire Marshall/Battalion Chief

**CITY OF FLORENCE, KENTUCKY**

1152 Weaver Rd | Florence, KY 41042

**P:** 859.647.5660 | **E:** [randy.childress@florence-ky.gov](mailto:randy.childress@florence-ky.gov)

[florence-ky.gov](http://florence-ky.gov)



**EXHIBIT**

**“B”**

**ZONE CHANGE/CONCEPT PLAN COMMITTEE REPORT**

**TO:** Boone County Planning Commission

**FROM:** Corrin Gulick, Chair

**DATE:** March 5, 2025

**RE:** Request of **Brew Team KY, LLC (applicant)** for **Massive 2.0, LLC (owner)** for a Change of Concept Development Plan and Variances in a Commercial Services (C-3) district, for an approximate 0.56 acre area lot located at 7303 Turfway Road, Florence, Kentucky. The request is for a Change of Concept Development Plan to allow the development of a 543 square foot drive-through only coffee shop and a 277 square foot remote storage/cooler accessory structure. The Variances are to: (1) reduce the front yard setback from fifty (50) feet to thirty-seven (37) feet; and (2) reduce the Buffer Yard width from ten (10) feet to seven (7) feet along the west property line, five (5) feet along the south property line, and eight (8) feet along the east property line.

**REMARKS:**

1. We, the Committee Members were present at the Committee Meeting and voted on the above request or else were absent from voting. Further, based upon the vote, the Committee directs the Staff to draft the finding of fact and conditions, if deemed necessary, to complete the Committee Report.
2. We, the Committee, recommend approval of the above referenced Change of Concept Development Plan based on the following findings of fact:

**FINDINGS OF FACT (Change of Concept Development Plan):**

1. The Committee concluded the request is in general agreement with the Boone County Comprehensive Plan for the following reasons:
  - A. The 2040 Future Land Use Map designates the site for Commercial (C) uses. This future land use classification is defined as "retail, corporate and professional office, interchange commercial, indoor commercial recreation, restaurants, services, etc." (pg. 98).

The development of a drive-through coffee shop meets the definition of commercial use.
  - B. The proposal is in agreement with the following Goals and Objectives:
    1. Land uses and zoning decisions shall strive to balance the rights of landowners with the rights of neighbors and the community (Overall Goal A, Objective 4).
    2. Provide appropriate services, housing, employment, and shopping opportunities in order to meet the needs of the population in all geographic

areas of the County (Demographics Goal A, Objective 4).

3. Development shall utilize existing topography and vegetation (including mature trees) and preserve the existing character of the land (Environment, Objective 7).
  4. Boone County businesses are developed in appropriate locations and are compatible with surrounding land uses (Economy, Goal B).
  5. Compact, efficient development patterns shall be encouraged for industrial, commercial, and office uses with appropriately sized and well maintained buffer spaces between the business use and other land uses (Economy Goal B, Objective 1).
  6. Commercial uses shall be designed and located to coordinate with the surrounding land uses and shall have safe access and adequate parking (Economy Goal B, Objective 3).
2. The submitted building design generally meets the requirements of Section 3199 of the zoning regulations. Based on the submitted materials and colors, specific requirements are being modified as the proposal will not diminish the design character of the area.
  3. The following conditions are necessary to achieve consistency with the Our Boone County - Plan 2040 and to mitigate any foreseeable community impacts that may be created by the development. The property owner has signed a letter demonstrating agreement with these conditions.

**CONDITIONS:**

1. Roof mounted mechanical equipment shall be screened from view on all four building elevations.
2. Pedestrian crosswalks establishing connections from the interior of the site to the adjacent existing sidewalk network shall be provided at the direction of the City of Florence.

**FINDINGS OF FACT (Variance – Front Yard Setback):**

1. The proposed variance to reduce the front yard setback from fifty (50) feet to thirty-seven (37) feet meets the requirements of Section 204.D and 204.E of the zoning regulations.

There is an approximately 40 foot wide segment of the Remke property that separates the site from the Turfway Rd right-of-way, which serves as an access point between the property located at 6808 Turfway and the shared curb cut off of Turfway Road. When taken in full context, the proposed setback aligns with the approximate setback distances of the existing surrounding buildings.

FINDINGS OF FACT (Variance – Buffer Yard Width):

1. The proposed Variance reducing the Buffer Yard width from ten (10) feet to seven (7) feet along the west property line, five (5) feet along the south property line, and eight (8) feet along the east property line meets the requirements of Section 204.D and 204.E of the zoning regulations.

The submitted concept plan shows all plantings required by Section 3645 of the Zoning Regulations will be provided.

A copy of the Public Hearing minutes accompanies the findings and recommendation serving as a summary of the evidence and testimony presented by the proponents and opponents of this request. Attached is the signature page for the Zone Change/Concept Development Plan Committee Vote.

**ZONE CHANGE/CONCEPT PLAN COMMITTEE VOTE**

TO: Boone County Planning Commission  
FROM: Corin Gulick, Chairwoman  
DATE: February 19, 2025

REMARKS:

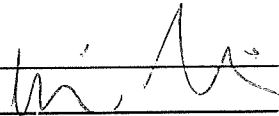
We, the Committee Members were present at the Committee Meeting and voted on the above request or else were absent from voting. Further, based upon the vote, the Committee directs the Staff to draft the findings of fact and conditions if deemed necessary in order to complete the Committee Report.

**CHANGE OF CONCEPT DEVELOPMENT PLAN/VARIANCES, Corrin Gulick, Chairwoman Lauren Elliott, Staff**

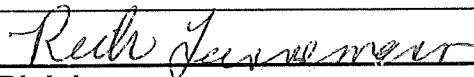
1. Request of **Brew Team KY, LLC (applicant)** for **Massive 2.0, LLC (owner)** for a Change of Concept Development Plan and Variances in a Commercial Services (C-3) district, for an approximate 0.56 acre area lot located at 7303 Turfway Road, Florence, Kentucky. The request is for a Change of Concept Development Plan to allow the development of a 543 square foot drive-through only coffee shop and a 277 square foot remote storage/cooler accessory structure. The Variances are to: (1) reduce the front yard setback from fifty (50) feet to thirty-seven (37) feet; and (2) reduce the Buffer Yard width from ten (10) feet to seven (7) feet along the west property line, five (5) feet along the south property line, and eight (8) feet along the east property line.

\_\_\_\_\_  
**Janet Kegley**

For Project \_\_\_\_ Absent \_\_\_\_  
Against Project \_\_\_\_  
Abstain \_\_\_\_ Deferred \_\_\_\_

  
\_\_\_\_\_  
**Corrin Gulick (Chairwoman)**

For Project  Absent \_\_\_\_  
Against Project \_\_\_\_  
Abstain \_\_\_\_ Deferred \_\_\_\_

  
\_\_\_\_\_  
**Rick Lunnemann**

For Project  Absent \_\_\_\_  
Against Project \_\_\_\_  
Abstain \_\_\_\_ Deferred \_\_\_\_

\_\_\_\_\_  
**Kathy Clark (Alternate)**


For Project \_\_\_\_ Absent \_\_\_\_  
Against Project \_\_\_\_  
Abstain \_\_\_\_ Deferred \_\_\_\_

\_\_\_\_\_  
**Steve Harper**

For Project \_\_\_\_ Absent \_\_\_\_  
Against Project \_\_\_\_  
Abstain \_\_\_\_ Deferred \_\_\_\_

\_\_\_\_\_  
**Steve Turner (Alternate)**

For Project \_\_\_\_ Absent \_\_\_\_  
Against Project \_\_\_\_  
Abstain \_\_\_\_ Deferred \_\_\_\_

  
\_\_\_\_\_  
**David Hincks**

For Project  Absent \_\_\_\_  
Against Project \_\_\_\_  
Abstain \_\_\_\_ Deferred \_\_\_\_

\_\_\_\_\_  
**Jackie Steele (Alternate)**

For Project \_\_\_\_ Absent \_\_\_\_  
Against Project \_\_\_\_  
Abstain \_\_\_\_

**TOTAL:**    \_\_\_\_ DEFERRED    \_\_\_\_ FOR PROJECT    \_\_\_\_ ABSENT  
                  \_\_\_\_ AGAINST PROJECT    \_\_\_\_ ABSTAIN

**COMMISSION MEMBERS PRESENT:**

Mr. Randy Bessler  
Mrs. Kathy Clark  
Mrs. Pamela Goetting  
Ms. Corrin Gulick, Vice Chairwoman  
Mr. Steve Harper, Temporary Presiding Officer  
Mr. David Hincks  
Mrs. Janet Kegley  
Mr. Eric Richardson  
Mr. Charlie Rolfsen, Chairman  
Mr. Bob Schwenke  
Mrs. Jackie Steele, Secretary/Treasurer  
Mr. Tom Szurlinski  
Mr. Steve Turner

**COMMISSION MEMBERS NOT PRESENT:**

Mr. Rick Lunnemann  
Mr. Kenny Vaught

**LEGAL COUNSEL PRESENT:**

Mr. Dale Wilson

**STAFF MEMBERS PRESENT:**

Mr. Kevin P. Costello, AICP, Executive Director  
Mr. Michael D. Schwartz, Director, Zoning Services  
Mr. Steve Lilly, PLS, GISP, Planner  
Ms. Lauren Elliott, Planner

Chairman Rolfsen introduced the third item on the Agenda at 8:02 p.m.

**CHANGE OF CONCEPT DEVELOPMENT PLAN/VARIANCES, Lauren Elliott, Staff**

3. Request of **Brew Team KY, LLC (applicant)** for **Massive 2.0, LLC (owner)** for a Change of Concept Development Plan and Variances in a Commercial Services (C-3) district, for an approximate 0.56 acre area lot located at 7303 Turfway Road, Florence, Kentucky. The request is for a Change of Concept Development Plan to allow the development of a 543 square foot drive-through only coffee shop and a 277 square foot remote storage/cooler accessory structure. The Variances are to: (1) reduce the front yard setback from fifty (50) feet to thirty-seven (37) feet; and (2) reduce the Buffer Yard width from ten (10) feet to seven (7) feet along the west property line, five (5) feet along the south property line, and eight (8) feet along the east property line.

Staff member, Lauren Elliott, referred to her PowerPoint presentation. The 0.56 acre tract is located on the southwest side of Turfway Road. The property doesn't have road frontage as it is an out-lot in the Remke parking lot. The full site history is described on Page 1 of the Staff Report. In 2023, a Taco John's restaurant was approved to be built on the site. The site is currently vacant and was previously occupied by a Krispy Kreme donut store. It was demolished. Ms. Elliott described the surrounding zoning land uses. The 2040 Future Land Use Map designates the site for Commercial (C) use. Pages 5-6 of the Staff Report include references to the Comprehensive Plan. Ms. Elliott showed photographs of the site and adjoining properties. The submitted Concept Development Plan includes a 540 square foot drive thru only coffee shop, a 280 square foot remote storage cooler, 12 parking spaces, 2 drive thru lanes that each can accommodate 9 vehicles, a dumpster enclosure and perimeter landscaping. Access to the site is from 2 shared driveways. Pages 6-7 of the Staff Report include the applicable regulations to the site. The applicant has included a memo addressing the applicable design standards. Building elevations have been included with the application as well as trash enclosure details, a project narrative and a trip generation narrative. Comments from the City of Florence Departments are attached to the Staff Report. Again, action on the Variance is final based upon the Planning Commission's action.

Chairman Rolfsen asked if the applicant was present and wanted to proceed with their presentation?

Mr. Brian Evans, applicant, stated that he was before the Board about a month ago for a site in Florence on US 42. It is the same building and same concept. He is available to answer any questions.

Chairman Rolfsen asked if there were more locations in Boone County? Mr. Evans replied no more at this time. The first location in Newport is moving along in terms of construction.

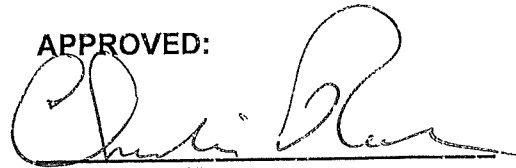
Chairman Rolfsen asked if anyone in the audience would like to speak in favor or against the request or had any questions?

Mrs. Clark asked if Biggby Coffee is located in the area? Mr. Costello replied yes. Mrs. Clark also mentioned Dunkin Donuts located off Turfway Road. Mr. Evans stated the competition doesn't scare them. He thinks they have the best brand of coffee out there. They don't serve food like their competitors. Their focus is on beverages only. Only 30% of their beverages are coffee.

Seeing no one else, Chairman Rolfsen asked if the Commissioners had any questions or comments?

**Seeing no further questions or comments from the audience or Board members, Chairman Rolfsen announced that the Committee Meeting for this item will be on February 19, 2025 at 5:00 P.M. This item will be on the Agenda for the Business Meeting on March 5, 2025 at 7:00 p.m. in the Fiscal Courtroom. Chairman Rolfsen closed the Public Hearing at 8:12 p.m.**

APPROVED:



Charlie Rolfsen  
Chairman

Attest:



Kevin P. Costello, AICP  
Executive Director

**COMMISSION MEMBERS PRESENT:**

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Mrs. Kathy Clark  
Mrs. Pamela Goetting  
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Mr. David Hincks  
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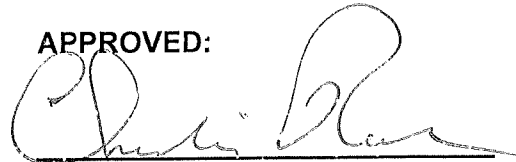
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APPROVED:



Charlie Rolfsen  
Chairman

Attest:



Kevin P. Costello, AICP  
Executive Director

**BOONE COUNTY PLANNING COMMISSION  
BOONE COUNTY FISCAL COURTROOM  
BURLINGTON, KENTUCKY  
BUSINESS MEETING  
MARCH 5, 2025  
7:00 P.M.**

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Chairman Rolfsen opened the Business Meeting at 7:00 p.m. and welcomed the audience to the Planning Commission's March 5, 2025 Business Meeting. Chairman Rolfsen then invited everyone to join him in reciting the Pledge of Allegiance.

**COMMISSION MEMBERS PRESENT:**

Mr. Randy Bessler  
Mrs. Kathy Clark  
Ms. Corrin Gulick, Vice Chairwoman  
Mr. Steve Harper, Temporary Presiding Officer  
Mr. David Hincks  
Mrs. Janet Kegley  
Mr. Rick Lunnemann  
Mr. Charlie Rolfsen, Chairman  
Mr. Bob Schwenke  
Mrs. Jackie Steele, Secretary/Treasurer  
Mr. Tom Szurlinski  
Mr. Steve Turner

**COMMISSION MEMBERS NOT PRESENT:**

Mrs. Pamela Goetting  
Mr. Eric Richardson  
Mr. Kenny Vaught

**LEGAL COUNSEL PRESENT:**

Mr. Dale Wilson

**STAFF MEMBERS PRESENT:**

Mr. Kevin P. Costello, AICP, Executive Director  
Mr. Michael Schwartz, Director, Zoning Services  
Mr. Steve Lilly, GISP, Planner  
Ms. Lauren Elliott, Planner

**APPROVAL OF THE MINUTES:**

Chairman Rolfsen stated that the Commissioners received copies of the Minutes from the February 19, 2025 Business Meeting. He asked if there were any comments or corrections?

**Mr. Szurlinski moved to approve the Minutes as presented. Mr. Hincks seconded the motion and it carried unanimously.**

**BILLS:**

Mr. Kevin P. Costello, AICP, Executive Director, advised the Commissioners of the **Bills to be Paid**, which included a list of **Expenses** and **Salaries and Benefits** for a time period between February 6, 2025 and March 5, 2025.

**EXPENSES:**

Accounting Fees	1,361.95
Attorney Fees	4,800.00
Auto Expense	32.30
Consultant/Profess Svcs Fees	1,195.00
Filing Fees (CLURS)	600.00
Legal Ads/Recruitment	591.33
Office & Board Meeting Supplies	655.05
Office / Equipment Maintenance	692.40
Office Equipment / Expense	331.48
Postage Expense	502.25
Printing/Pub/Dues/Subscriptions	1,459.00
Professional Development	<u>240.00</u>

**TOTAL: \$ 12,460.76**

**SALARIES AND BENEFITS:**

FICA-BCPC Portion	\$ 7,004.15
Health/Dental/Life/LTD	17,693.76
Retirement – BCPC Portion	18,726.66
Salaries – Staff Expenses	96,341.84
Salaries – BCPC & BOA	<u>1,375.00</u>

**TOTAL: \$ 141,436.67**

**GRAND TOTAL: \$ 153,897.43**

Ms. Gulick moved that the bills (expenses and salaries and benefits) be approved and paid as presented and indicated approval of those items, which have been previously paid. Dr. Clark seconded the motion and it carried unanimously.

**ACTION ON PLAN REVIEWS:**

**ZONING MAP AMENDMENT/CONDITIONAL USE PERMIT/VARIANCE, David Hincks, Chairman, Michael Schwartz, Staff**

1. Request of **Arnold Consulting Engineering Services Inc (applicant)** for **Shree Laxmi Vishnu LLC (owner)** for a Zoning Map Amendment from Commercial Four (C-4) to Office Two (O-2), a Conditional Use Permit for a hotel, and a Variance for an approximate 3.7 acre area located along the east side of Frogtown Connector Road, between Richwood Road and Frontage Road, approximately six hundred (600) feet north of Richwood Road, and having Parcel Identification Numbers (PIDN's) of 075.00-00-102.00 and 075.00-00-102.13, Boone County, Kentucky. The request is for: (1) a Zoning Map Amendment to allow the development of a 73,275 square foot, four story, 109 room hotel and a future development area; (2) a Conditional Use Permit to allow a hotel in an O-2 district; and (3) a Variance reducing the Buffer Yard A width along a portion of Frogtown Connector Road from ten (10) feet to four (4) feet.

Staff Member, Michael Schwartz read the Committee Report, which recommended approval of the Zoning Map Amendment, Conditional Use Permit and Variance based upon Findings of Facts and Conditions. The Condition Letter has been signed by the applicant and property owner and submitted to the Planning Commission. All Committee Members present voted in favor of the request with Mr. Lunnemann, Mr. Hincks and Ms. Gulick voting in favor.

Chairman Rolfsen asked if there was anyone in the audience who wanted to speak in favor or against the request?

Mr. Danny Whitley, applicant, stated that he was in agreement with the Conditions and was available to answer any questions.

Ms. Michelle Kelly, Gaines Way, inquired about the other existing hotels in the area. Mr. Schwartz showed a slide of the Holiday Inn Express and Hampton Inn. Both are located on the Frogtown Connector Road.

Seeing no further comment, **Mr. Hincks moved, by Resolution to the Boone County Fiscal Court to recommend approval of the Zoning Map Amendment, Conditional Use Permit and Variance based on the Committee Report, Findings of Fact and Conditions. Mr. Lunnemann seconded the motion.**

Mr. Hincks asked if there were any restrictions concerning the height of the other two hotels in the area as he noted that they were 3 stories in height. Mr. Schwartz responded no, since the other two hotels were built under the existing zoning of C-4.

**Chairman Rolfsen asked for a vote on the original motion made by Mr. Hincks and seconded by Mr. Lunnemann. The motion passed unanimously.**

**ZONING MAP AMENDMENT/CONDITIONAL USE PERMIT, Janet Kegley, Chairwoman,  
Michael Schwartz, Staff**

2. Request of **Bluegrass Cannacare LLC (applicant)** for **NKH Investment LLC (owner)** for a Zoning Map Amendment from Commercial Two (C-2) to Commercial Services (C-3) and a Conditional Use Permit for an approximate 0.35 acre area located at 6809 Burlington Pike, Florence, Kentucky. The request is for a Zoning Map Amendment and Conditional Use Permit to allow the existing building to be occupied by a medical cannabis dispensary business.

Staff Member, Michael Schwartz read the Committee Report, which recommended approval of the Zoning Map Amendment and Conditional Use Permit based upon Findings of Facts and Conditions. The Condition Letter has been signed and submitted to the Planning Commission. .

Chairman Rolfsen asked if there was anyone in the audience who wanted to speak in favor or against the request?

Mr. Jason Culter, contractor for the project, stated that he was available to answer any questions.

Seeing no further comment, **Mrs. Kegley moved, by Resolution to the City of Florence (as noted) to recommend approval of the Zoning Map Amendment and Conditional Use Permit based on the Committee Report, Findings of Fact and Conditions. Ms. Gulick seconded the motion and it passed unanimously.**

**CHANGE OF CONCEPT DEVELOPMENT PLAN/VARIANCES, Corrin Gulick, Chairwoman  
Lauren Elliott, Staff**

3. Request of **Brew Team KY, LLC (applicant)** for **Massive 2.0, LLC (owner)** for a Change of Concept Development Plan and Variances in a Commercial Services (C-3) district, for an approximate 0.56 acre area lot located at 7303 Turfway Road, Florence, Kentucky. The request is for a Change of Concept Development Plan to allow the development of a 543 square foot drive-through only coffee shop and a 277 square foot remote storage/cooler accessory structure. The Variances are to: (1) reduce the front yard setback from fifty (50) feet to thirty-seven (37) feet; and (2) reduce the Buffer Yard width from ten (10) feet to seven (7) feet along the west property line, five (5) feet along the south property line, and eight (8) feet along the east property line.

Staff Member, Lauren Elliott, read the Committee Report, which recommended approval of the Change in Concept Development Plan and Variances based upon the Committee Report, Findings of Fact and Conditions . The Condition Letter has been signed by the applicant and property owner and submitted to the Planning Commission. The Committee voted 3-0 in favor of the request.

Chairman Rolfsen asked if there was anyone in the audience who wanted to speak in favor or against the request?

Mr. Brian Evans, applicant, stated that he was available to answer any questions by the Board.

Seeing no further comment, **Ms. Gulick moved, by Resolution to the City of Florence to recommend approval of the Change in Concept Development Plan and Variances, based on the Committee Report, Findings of Fact and Conditions. Mrs. Steele seconded the motion and it passed unanimously.**

**CHANGE OF CONCEPT DEVELOPMENT PLAN/VARIANCE, Steve Harper, Chairman, Steve Lilly, Staff**

4. Request of **Viox and Viox Inc, per Brock MacKay (applicant) for CCM LLC (owner)** for a Change of Concept Development Plan and Variance in a Commercial Services (C-3) district, for an approximate 6.7 acre area lot located at 10855 Dixie Highway, Boone County, Kentucky. The request is for a Change of Concept Development Plan to allow the construction of an approximate 6,400 square foot building addition and the construction of an approximate 28,500 square foot commercial building and an approximate 11,000 square foot commercial building. The Variance is to reduce the Buffer Yard A width along the south property line from ten (10) feet to zero (0) feet.

Staff Member, Steve Lilly read the Committee Report, which recommended approval of the Change in Concept Development Plan based upon Findings of Facts and Conditions. The Condition Letter has been signed by the applicant and property owner and submitted to the Planning Commission. All Committee Members present voted in favor of the request with a 3-0 vote.

Chairman Rolfsen asked if there was anyone in the audience who wanted to speak in favor or against the request?

Mr. Mackay, applicant, stated that he was present to answer any questions from the Board.

Seeing no further comment, **Ms. Gulick moved, by Resolution to the Boone County Fiscal Court to recommend approval of the Change in Concept Development Plan and Variance based on the Committee Report, Findings of Fact and Conditions. Mr. Turner seconded the motion and it passed unanimously.**

**ZONING MAP AMENDMENT, Corrin Gulick, Chairwoman, Michael Schwartz, Staff**

5. Request of **Steve Berling (applicant) for Corporex Parks of Kentucky LLC (owner)** for a Zoning Map Amendment from Rural Suburban (RS) to Commercial Two (C-2) for an approximate 2.8 acre area located at 1681 Erlanger Road, Boone County, Kentucky, and including those properties with the following Parcel Identification Numbers (PIDN's): 071.00-01-020.00, 071.00-01-021.00, 071.00-01-022.00, and 071.00-01-024.00. The request is for a zone change to allow for the construction of a 6,000 square foot restaurant and a 2,800 square foot restaurant with drive-through service.

Staff Member, Michael Schwartz read the Committee Report, which recommended approval of the Zoning Map Amendment based upon Findings of Facts and Conditions. The Condition Letter has been signed by the applicant and property owner and submitted to the Planning Commission.

All Committee Members present voted in favor of the request with a 3-0 vote.

Chairman Rolfsen asked if there was anyone in the audience who wanted to speak in favor or against the request?

Mr. Korey Guess stated that he lives two plots from the proposed development. He asked where does the need for this use arise? He moved into his house over a year ago and there was no mention of it. He will lose his privacy. There will be a noisy lift station next to him. There will be truck traffic delivering to both restaurants. He doesn't want it or need it because he is the community. There are four houses on this road. He wasn't aware of the meeting. Mr. Costello asked if Mr. Guess's wife attended the Public Hearing. Mr. Guess replied yes.

Mr. Schwartz stated that there was a legal ad in the newspaper, a sign posted on the property and all adjoining property owners were notified via a letter. He pointed to the property owners that were notified. Mr. Guess stated that he didn't get a letter.

Mr. Wilson noted that Mr. Guess's wife attended the Public Hearing and had an opportunity to speak. Questions were asked and answers were provided at the Committee Meeting.

Mr. Berling, applicant, stated that Corporex has owned the property for a while. He noted that Mr. Guess's back yard does touch the property in question. It is not immediately adjacent. He is the second property owner. The road will be widened to the third entrance. Water will be provided by the Northern Kentucky Water District because there is a 12 inch water main in the area. The lift station is a private one without a big generator. One will not be able to hear it go on and off. It will be away from the neighbor's property. A 30 foot buffer is required. Mr. Schwenke asked if the berm and fence could be installed? Mr. Berling responded yes if they could limit it to towards the back and not the side. Mr. Berling agreed to do it. Mr. Schwartz stated that the minutes could reflect this change and new condition.

Seeing no further comment, **Ms. Gulick moved, by Resolution to the Boone County Fiscal Court to recommend approval of the Zoning Map Amendment based on the Committee Report, Findings of Fact and Conditions and to include a fence as recorded in the minutes. Mr. Hincks seconded the motion and it passed unanimously.**

**CHANGE OF CONCEPT DEVELOPMENT PLAN/CONDITIONAL USE PERMIT, Corrin Gulick, Chairwoman, Michael Schwartz, Staff**

6. Request of **Alex Othman (applicant/owner)** for: (1) a Change of Concept Development Plan for an approximate 2.62 acre area of the site; (2) a Conditional use Permit for an approximate 7.52 acre area of the site; and (3) expansion of an existing commercial parking facility for an approximate 2.02 acre area of the site. The site is an approximate 9.54 acre area located at 527-535 Hunter Road and 571-591 Hunter Road, Boone County, Kentucky, which is currently zoned Commercial Services (C-3). The submitted request is to allow the conversion of an approximate 7.52 acre area of the site from commercial parking to a truck stop and to allow the expansion of the existing commercial parking facility on an approximate 2.02 acre area of the site.

Staff Member, Michael Schwartz read the Committee Report, which recommended approval of the Change in Concept Development Plan and Conditional Use Permit based upon Findings of

Facts and Conditions. He referred to updated drawings showing Hetzel Drive and Hunter Drive. The Condition Letter has been signed by the applicant and property owner and submitted to the Planning Commission.

Chairman Rolfsen asked if there was anyone in the audience who wanted to speak in favor or against the request?

Mr. Jim Bertrum, engineer, stated that he was present to answer any questions about the project.

Seeing no further comment, **Ms. Gulick moved, by Resolution to the Boone County Fiscal Court to recommend approval of the Change in Concept Development Plan and Conditional Use Permit based on the Committee Report, Findings of Fact and Conditions. Mr. Szurlinski seconded the motion.**

Ms. Gulick stated that she was motivated to make it work. In both the Boone County Transportation Plan and the Boone County Comprehensive Plan, truck traffic is discussed in depth because of our location near the interstate and river. We are going to have trucks because of our location with the transportation network. She suggests the County Engineer and the applicant look at the following: the westbound left had turn from KY 20 to KY 212 as well as the right turn onto Hetzel Drive. Finally, the sight distance at Hetzel Drive for vehicles coming up the hill. With all of this, it could work. Chairman Rolfsen thought that the use of Hetzel Drive for truck traffic was the only way it could work. Ms. Gulick replied that both entrances would be evaluated for right turning movements during the permitting process. The left turn lane has 75 feet of storage. That is the minimum. It might have to be 200 feet based upon the 45 mph speed limit.

Mr. Bertrum responded that they are studying it and agreed to it as the next step. Hetzel Drive will continue to be a public road. In response to a question from Mrs. Steele, Mr. Bertrum stated that signs will be posted that trucks are not allowed on Hunter Road similar to what is there now.

**Chairman Rolfsen asked for a vote on the original motion made by Ms. Gulick and seconded by Mr. Szurlinski. The motion passes unanimously.**

## **NEW BUSINESS**

### **ZONING MAP AMENDMENT/CHANGE IN AN APPROVED CONCEPT DEVELOPMENT PLAN, Michael Schwartz, Staff**

7. Request of **The Northern Kentucky Development Alliance, LLC, per Dale McPherson and Patrick Rector (applicant) for Arlinghaus I LLC, per Robert Schroeder (owners)** for a Zoning Map Amendment from Suburban Residential One (SR-1) to Suburban Residential One/Planned Development (SR-1/PD) for an approximate 18.8 acre area located along the north side of Hathaway Road, between Old Union Road and Spruce Lane, approximately 2,400 feet east of Spruce Lane, being directly across from Meiman Road and having a Parcel Identification Number (PIDN) of 052.00-00-028.03, Union, Kentucky and a request of **Arlinghaus I LLC, per Robert Schroeder (applicant and owner)** for a Change in an Approved Concept Development Plan in a Suburban Residential One (SR-1) district for an approximate 81 acre area located along the north side of Hathaway Road, between Old Union Road and Spruce Lane, approximately

2,400 feet east of Spruce Lane, being directly across from Meiman Road and having a Parcel Identification Number (PIDN) of 052.00-00-028.03. The request is for a zone change/change of concept development plan to allow the development of an approximate 13,000 square foot event center, with associated functions and structures, and to amend the design and layout of a previously approved single-family residential subdivision.

**Mrs. Steele moved to schedule the Public Hearing for Item #7 on April 2, 2025 at 7:30 p.m. in the Fiscal Courtroom. Mr. Schwenke seconded the motion and it passed unanimously.**

**H. EXECUTIVE DIRECTOR'S REPORT:**

- No Report

**I. COMMITTEE REPORTS:**

- Airport (Randy Bessler)  
No Report
- Administrative/Personnel (Tom Szurlinski)  
No Report
- Enforcement (Tom Szurlinski)  
No Report
- Long-Range Planning/Comprehensive Plan (Bob Schwenke)  
No Report
- Technical/Design Review (Rick Lunnemann)  
No Report
- Executive (Charlie Rolfsen)

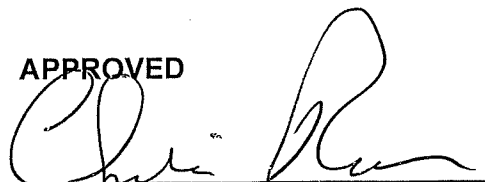
**J. CHAIRMAN'S REPORT: (Charlie Rolfsen)**

**K. OKI REPORT: (Randy Bessler)  
No Report**

**L. ADJOURNMENT:**

There being no further business to come before the Planning Commission, **Mr. Bessler moved to adjourn the meeting. Mr. Turner seconded the motion and it passed unanimously. The meeting was adjourned at 7:52 p.m.**

**APPROVED**



**Charlie Rolfsen**  
**Chairman**

Attest:



Kevin P. Costello, AICP  
Executive Director

# SUPPORTING INFORMATION



## **BOONE COUNTY PLANNING COMMISSION**

[www.boonecountyky.org/pc](http://www.boonecountyky.org/pc)  
[www.boonecountygis.com](http://www.boonecountygis.com)

Boone County Administration Building  
2950 Washington Street, Room 317  
P.O. Box 958  
Burlington, KY 41005

Phone (859) 334-2196; Fax (859) 334-2264  
[plancom@boonecountyky.org](mailto:plancom@boonecountyky.org)

February 21, 2025

Brian Evans  
Brew Team KY, LLC  
3108 Vestal Parkway E  
Vestal, NY 13850

**RE: Request of Brew Team KY, LLC (applicant) for Massive 2.0, LLC (owner) for a Change of Concept Development Plan and Variances in a Commercial Services (C-3) district, for an approximate 0.56 acre area lot located at 7303 Turfway Road, Florence, Kentucky. The request is for a Change of Concept Development Plan to allow the development of a 543 square foot drive-through only coffee shop and a 277 square foot remote storage/cooler accessory structure. The Variances are to: (1) reduce the front yard setback from fifty (50) feet to thirty-seven (37) feet; and (2) reduce the Buffer Yard width from ten (10) feet to seven (7) feet along the west property line, five (5) feet along the south property line, and eight (8) feet along the east property line.**

Dear Mr. Evans:

The following represents the recommended conditions of approval for the above referenced application as discussed by the Planning Commission's Zone Change/Concept Plan Committee at their February 19, 2025 meeting. If the property owner and developer agrees to the conditions, please so indicate by signing in the space provided at the end of this letter and return the original letter to the Planning Commission's office by Friday, February 28, 2025.

### CONDITIONS

1. Roof mounted mechanical equipment shall be screened from view on all four building elevations.
2. Pedestrian crosswalks establishing connections from the interior of the site to the adjacent existing sidewalk network shall be provided at the direction of the City of Florence.

Sincerely,

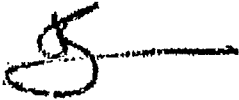


Lauren M. Elliott  
Planner, Zoning Services

LME/ss

AGREEMENT

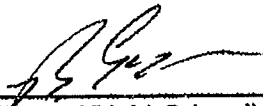
We, the property owner and applicant of the approximate 0.56 acre area located at 7303 Turfway Road, Florence, Kentucky, agree to the conditions listed herein for the above referenced Change of Concept Development Plan.



\_\_\_\_\_  
Massive 2.0, LLC (owner)

02/28/25

\_\_\_\_\_  
Date



\_\_\_\_\_  
Brew Team KY, LLC (applicant)

02/28/25

\_\_\_\_\_  
Date

**CITY OF FLORENCE, KENTUCKY  
ORDINANCE O-10-2025**

**AN ORDINANCE ADOPTING AND APPROVING A CHANGE OF CONCEPT DEVELOPMENT PLAN AND VARIANCES IN A COMMERCIAL SERVICES (C-3) DISTRICT, FOR AN APPROXIMATE 0.56 ACRE AREA LOCATED AT 7303 TURFWAY ROAD, FLORENCE, KENTUCKY, TO ALLOW THE DEVELOPMENT OF A 543 SQUARE FOOT DRIVE-THROUGH ONLY COFFEE SHOP AND A 277 SQUARE FOOT REMOTE STORAGE/COOLER ACCESSORY STRUCTURE AND VARIANCES TO: (1) REDUCE THE FRONT YARD SETBACK FROM FIFTY (50) FEET TO THIRTY SEVEN (37) FEET; AND (2) REDUCE THE BUFFER YARD WIDTH FROM TEN (10) FEET TO SEVEN (7) FEET ALONG THE WEST PROPERTY LINE, FIVE (5) FEET ALONG THE SOUTH PROPERTY LINE, AND EIGHT (8) FEET ALONG THE EAST PROPERTY LINE. (BREW TEAM KY, LLC)**

**WHEREAS**, the City of Florence, Kentucky, is a member of the county-wide planning unit with a county-wide planning commission known as the Boone County Planning Commission, and

**WHEREAS**, the Boone County Planning Commission by Resolution No. R-25-10-A recommended approval, with conditions, for a change of Concept Development Plan and Variances, and

**WHEREAS**, the recommendation for approval by the Boone County Planning Commission is based upon certain findings and conditions attached to the Commission's Resolution, all of which have been reviewed by the City Council for the City of Florence, Kentucky.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY OF FLORENCE, KENTUCKY, AS FOLLOWS:**

**SECTION I**

That the request of Brew Team KY, LLC (Applicant) for Massive 2.0, LLC (Owner) for a change of Concept Development Plan and Variances in a Commercial Services (C-3) district, for an approximate 0.56 acre area located at 7303 Turfway Road, Florence, Kentucky, to allow the development of a 543 square foot drive-through only coffee shop and a 277 square foot remote storage/cooler accessory structure and Variances to: (1) reduce the front yard setback from fifty (50) feet to thirty seven (37) feet; and (2) reduce the buffer yard width from ten (10) feet to seven (7) feet along the west property line, five (5) feet along the south property line, and eight (8) feet along the east property line, shall be and is hereby approved.

The real estate which is the subject of this request is more particularly described in Exhibit "A," attached hereto and incorporated herein by reference. The zoning map of Boone County, Kentucky, as it applies to the City of Florence, Kentucky, shall be amended or changed to reflect the change in Concept Development Plan and Variances for this subject property.

## **SECTION II**

The approval of this Concept Development Plan and Variances is granted subject to the conditions, terms and provisions of the Boone County Planning Commission recommendation, including its Committee Report, made a part of that recommendation, a copy of that recommendation and Committee Report of the Boone County Planning Commission being attached, marked Exhibit "B" and incorporated herein as if fully set out, this recommendation being in the form of Resolution No. R-25-010-A of the Boone County Planning Commission, including the exhibits referenced to that Resolution.

## **SECTION III**

This approval is granted based on the Findings of Fact made by the Boone County Planning Commission and contained within its recommendation that is attached and part of the Commission's Resolution No. R-25-010-A, marked Exhibit "B", and attached hereto.

## **SECTION IV**

In addition to those conditions set forth in the recommendation of the Boone County Planning Commission, this approval of the City of Florence, Kentucky, through its City Council, shall be and is hereby subject to the additional conditions that have been agreed to in writing by the property owner/applicant as shown on Exhibit "C", a copy of which is attached and incorporated herein by reference.

## **SECTION V**

If the approval for this change of Concept Development Plan and Variances shall be held invalid, in whole or in part, by any Court of proper jurisdiction, that invalidity shall not affect the validity of any of the other zoning regulations, zoning map, or comprehensive plan provisions as they are severable from this Ordinance and are intended to have full force and effect regardless of any invalidity relating to this particular Ordinance.

## **SECTION VI**

This Ordinance shall be published by posting on the City's internet website.

**CITY OF FLORENCE, KENTUCKY  
READING SUMMARY**

**ORDINANCE O-10-2025**

The City of Florence, Kentucky, enacted on second reading Ordinance O-10-2025 on the 13<sup>th</sup> day of May 2025. The title of this Ordinance is as follows:

**AN ORDINANCE ADOPTING AND APPROVING A CHANGE OF CONCEPT DEVELOPMENT PLAN AND VARIANCES IN A COMMERCIAL SERVICES (C-3) DISTRICT, FOR AN APPROXIMATE 0.56 ACRE AREA LOCATED AT 7303 TURFWAY ROAD, FLORENCE, KENTUCKY, TO ALLOW THE DEVELOPMENT OF A 543 SQUARE FOOT DRIVE-THROUGH ONLY COFFEE SHOP AND A 277 SQUARE FOOT REMOTE STORAGE/COOLER ACCESSORY STRUCTURE AND VARIANCES TO: (1) REDUCE THE FRONT YARD SETBACK FROM FIFTY (50) FEET TO THIRTY SEVEN (37) FEET; AND (2) REDUCE THE BUFFER YARD WIDTH FROM TEN (10) FEET TO SEVEN (7) FEET ALONG THE WEST PROPERTY LINE, FIVE (5) FEET ALONG THE SOUTH PROPERTY LINE, AND EIGHT (8) FEET ALONG THE EAST PROPERTY LINE. (BREW TEAM KY, LLC)**

The effect of this Ordinance is to allow a change of Concept Development Plan and Variances in a Commercial Services (C-3) district, for an approximate 0.56 acre area located at 7303 Turfway Road, Florence, Kentucky, to allow the development of a 543 square foot drive-through only coffee shop and a 277 square foot remote storage/cooler accessory structure and Variances to: (1) reduce the front yard setback from fifty (50) feet to thirty seven (37) feet; and (2) reduce the buffer yard width from ten (10) feet to seven (7) feet along the west property line, five (5) feet along the south property line, and eight (8) feet along the east property line.

The full text of Ordinance O-10-2025 including its exhibits, is available for examination in the office of the City Clerk of the City of Florence, Kentucky, in the Florence Government Center, 8100 Ewing Blvd., Florence, Kentucky, during regular office hours.

**CERTIFICATION**

I hereby certify that the foregoing is a summary of the contents of Ordinance O-10-2025 and that it has been prepared by me on the 22<sup>nd</sup> day of April 2025, and I am an attorney licensed to practice law in the Commonwealth of Kentucky.



THOMAS R. NIENABER  
SKEES, WILSON & NIENABER, PLLC  
7699 Ewing Blvd., P.O. Box 756  
Florence, KY 41022-0756  
Phone: (859) 371-7407/Fax: (859) 371-9872  
Email: tnienaber@fuse.net

**CITY OF FLORENCE, KENTUCKY**  
**PLANNING AND ZONING COMMITTEE**

**IN RE: AGREED ADDITIONAL CONDITIONS - REQUEST OF BREW TEAM KY, LLC, (APPLICANT) FOR MASSIVE 2.0, LLC (OWNER) FOR A CHANGE OF CONCEPT DEVELOPMENT PLAN AND VARIANCES IN A COMMERCIAL SERVICES (C-3) DISTRICT, FOR AN APPROXIMATE 0.56 ACRE AREA LOT LOCATED AT 7303 TURFWAY ROAD, FLORENCE, KENTUCKY. THE REQUEST IS FOR A CHANGE OF CONCEPT DEVELOPMENT PLAN TO ALLOW THE DEVELOPMENT OF A 543 SQUARE FOOT DRIVE-THROUGH ONLY COFFEE SHOP AND A 277 SQUARE FOOT REMOTE STORAGE/COOLER ACCESSORY STRUCTURE. THE VARIANCES ARE TO: (1) REDUCE THE FRONT YARD SETBACK FROM FIFTY (50) FEET TO THIRTY-SEVEN (37) FEET; AND (2) REDUCE THE BUFFER YARD WIDTH FROM TEN (10) FEET TO SEVEN (7) ALONG THE WEST PROPERTY LINE, FIVE (5) FEET ALONG THE SOUTH PROPERTY LINE, AND EIGHT (8) FEET ALONG THE EAST PROPERTY LINE.**

The Planning and Zoning Committee has recommended and the Applicant has agreed that the following additional conditions shall apply to the request described above.

1. A Change in Concept Development Plan application shall be required if the restaurant changes from beverage sales only to food and beverage sales. This condition is being added to allow vehicle stacking, que lengths, and traffic safety in the parking lot and streets to be re-evaluated based on the proposed restaurant model. This condition does not apply to pre-packaged food, which is served in a wrapper and possibly heated in a microwave.
2. Change in Concept Development Plan condition #2 shall be modified as follows:

~~Pedestrian crosswalks establishing connections from the interior of the site to the adjacent existing sidewalk network shall be provided at the direction of the City of Florence.~~

A sidewalk connection shall not be required between the proposed building and the public sidewalks on Turfway Road. The Planning and Zoning Committee determined that an ADA compliant route was not feasible for the following reasons:

- A. The grades on site.
- B. Remke owns the property between the subject site and the Turfway Road right-of-way. Improvements cannot be required on the Remke site.

Agreed to this 14<sup>th</sup> day of APRIL, 2025.

BY: [Signature]  
(Applicant)

COUNTY OF Jefferson STATE Kentucky

The foregoing instrument was acknowledged before me this 14<sup>th</sup> day of APRIL, 2025, by BRIAN EVANS, the DIRECTOR OF ENTITLEMENTS, on behalf of the company.

**ASHLEY SERAD**  
Notary Public - State at Large  
Kentucky  
My Commission Expires Oct. 14, 2026  
Notary ID KYNP80585

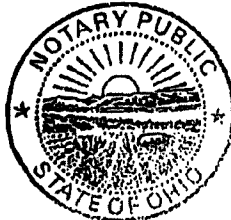
Ashley Serad  
NOTARY PUBLIC, State at Large  
My Commission Expires: 10/14/2026

Agreed to this 2<sup>nd</sup> day of April, 2025.

BY: [Signature]  
(Property Owner)

COUNTY OF Hamilton STATE of OHIO

The foregoing instrument was acknowledged before me this 2<sup>nd</sup> day of April, 2025, by Blake M... .., the OWNER/MEMBER, on behalf of the company.



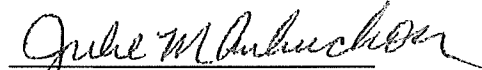
**RICHARD P. GABELMAN**  
Attorney at Law  
Notary Public, State of Ohio  
My Commission Has No Expiration  
Date, Section 147.03 O.R.C.

[Signature]  
NOTARY PUBLIC, State at Large  
My Commission Expires: N/A

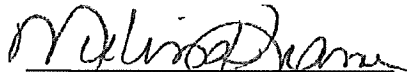
PASSED AND APPROVED ON FIRST READING THIS 22<sup>nd</sup> DAY OF APRIL 2025.

PASSED AND APPROVED ON SECOND READING AND PUBLICATION ORDERED  
THIS 13<sup>th</sup> DAY OF MAY 2025.

**APPROVED:**

  
Julie M. Aubuchon, Mayor

**ATTEST:**

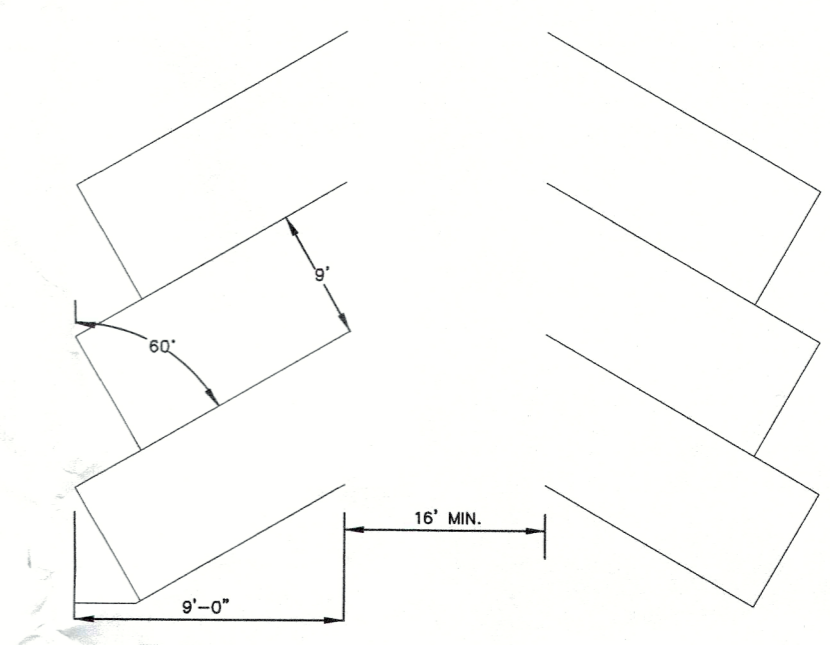
  
Melissa Kramer, City Clerk



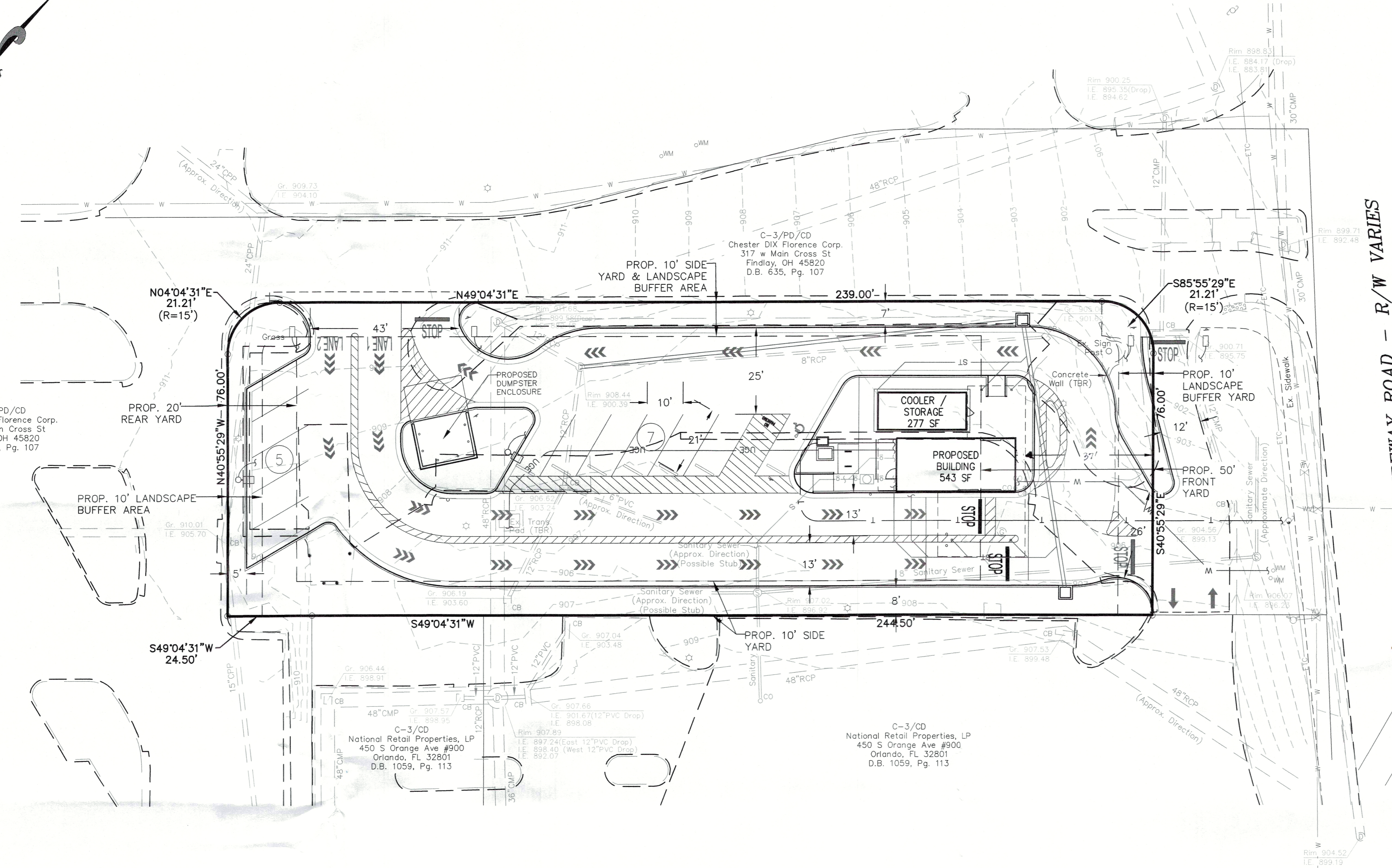
LOCATION MAP  
NOT TO SCALE

PROJECT DATA

TOTAL SITE AREA	= 0.5± Ac. (24,382 SF)
EXISTING ZONING	= C-3
EXISTING USE	= PARKING LOT
PROPOSED USE	= COFFEE SHOP
BUILDING HEIGHT	= 20' (50' MAX. ALLOWED)
BUILDING AREA	= 543 SF
PROPOSED BUILDING	= 543 SF
PROPOSED COOLER	= 277 SF
<b>PARKING REQUIRED</b>	
1 SP/300 SF	= 3 SPACES
<b>PARKING PROVIDED</b>	
	= 12 SPACES



TYPICAL ANGLED SPACE LAYOUT  
NO SCALE



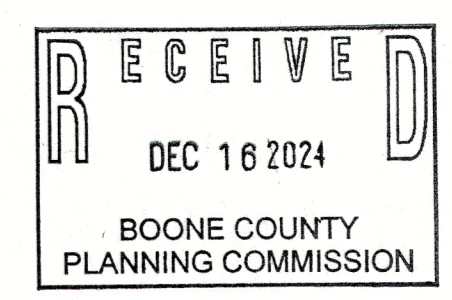
TURFWAY ROAD - R/W VARIES

C-3/PD/CD  
Chester DIX Florence Corp.  
317 w Main Cross St  
Findlay, OH 45820  
D.B. 635, Pg. 107

C-3/CD  
National Retail Properties, LP  
450 S Orange Ave #900  
Orlando, FL 32801  
D.B. 1059, Pg. 113

C-3/CD  
National Retail Properties, LP  
450 S Orange Ave #900  
Orlando, FL 32801  
D.B. 1059, Pg. 113

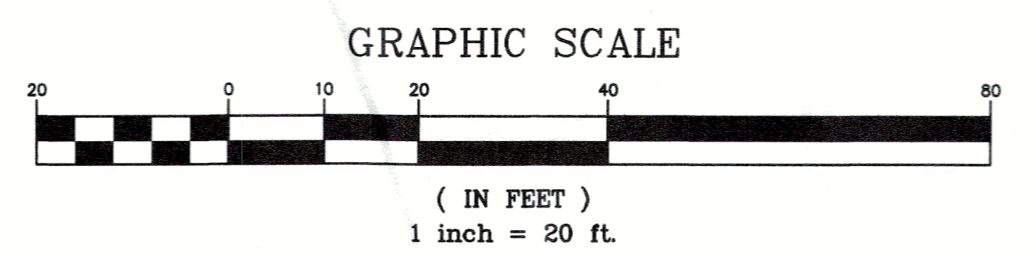
ccop  
APPROVED  
Staff *Laurie Latta*  
Date *3/5/25*  
Boone County  
Planning Commission



SITE ADDRESS:  
7303 TURFWAY RD  
FLORENCE, KY 41042  
PARCEL ID 072.00-01-001.03  
D.B. 1105, PG. 842

LEGEND

	= EXISTING CONTOURS		= EXISTING LAMP POST
	= EXISTING STORM AND CATCH BASIN		= EXISTING FIRE HYDRANT
	= EXISTING SANITARY SEWERS		= EXISTING GAS VALVE
	= EXISTING OVERHEAD ELECTRIC		= EXISTING WATER VALVE
	= PROPOSED STORM SEWER, CATCH BASIN		= EXISTING WATER METER
	= PROPOSED SEWER AND MANHOLE		
	= PROPOSED UNDERGROUND ELECTRIC		
	= PROPOSED UNDERGROUND COMMUNICATIONS		
	= PROPOSED WATER LINE		
	= PROPOSED CONTOURS		



NO.	DATE	DESCRIPTION	BY

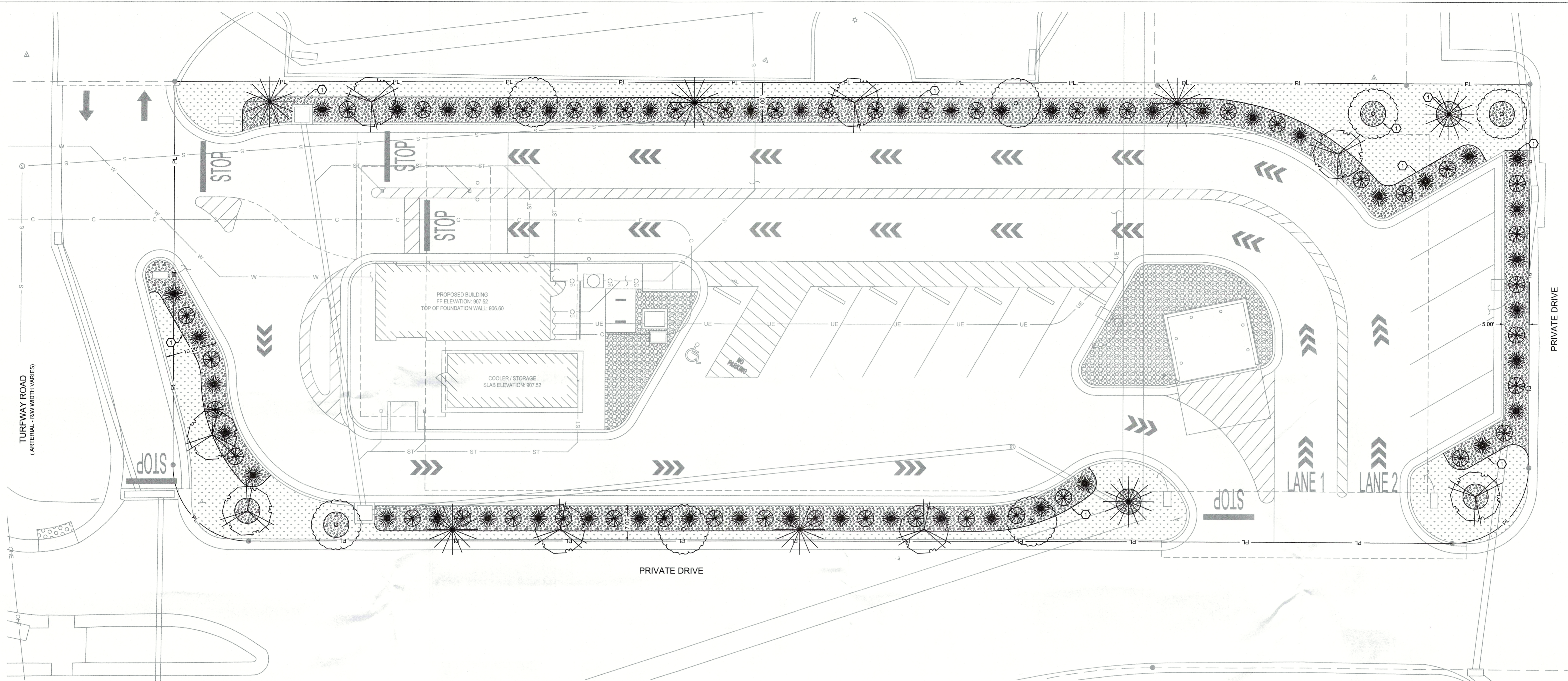
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	DATE: 11.13.24	CHECKED BY: MH	

PROJECT DATA	FILE NAME: 24127 - SITE PLAN	SCALE: AS SHOWN	DRAWN BY: ZS
	DATE: 11.13.24	CHECKED BY: MH	

**LD&D**  
LAND DESIGN & DEVELOPMENT, INC.  
ENGINEERING AND ARCHITECTURE  
507 WASHINGTON AVENUE, SUITE 101  
LOUISVILLE, KENTUCKY 40202  
PHONE: 502.442.0774  
WEB: SITE: WWW.LD-D.COM

SITE PLAN  
**7 BREW TURFWAY RD**  
OWNER  
MASSIVEG2.0 LLC  
2260 FRANCIS LN  
CINCINNATI, OH 45206

JOB NO. **24127**  
SHEET **1** OF **1**



**GENERAL LANDSCAPING NOTES**

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITY LINES AND OTHER ABOVE OR BELOW GROUND OBSTRUCTIONS SO THAT PROPER PRECAUTIONS SHALL BE TAKEN NOT TO DISTURB OR DAMAGE SUCH IMPROVEMENTS. REFER TO CIVIL DRAWINGS FOR PROPOSED AND EXISTING UTILITY LOCATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARDS FOR NURSERY STOCK" REPRESENT GENERAL GUIDELINE SPECIFICATIONS ONLY AND WILL CONSTITUTE MIN. QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- THE ARCHITECT OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL TREES SHALL BE CALIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
- SPECIFIED CALIPER MEASUREMENT FOR TREES SHALL BE MEASURED AT 6" ABOVE THE GRADE.
- ANY MATERIAL WHICH DIES OR DEFLOLIATES PRIOR TO ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED AND REPLACED.
- CONTRACTOR IS RESPONSIBLE FOR SOIL SAMPLING AND TESTING TO DETERMINE EXACT FERTILIZER REQS.
- PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE OF THE CITY AND LOCAL GOVERNING BODIES. CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS DRAWN.
- BACKFILL TREE AND SHRUB PITS WITH A PREPARED PLANTING MIX AS FOLLOWS U.N.O.:
  - 2 PARTS BY VOLUME TOPSOIL.
  - 1 PART BY VOLUME BROWN RIVER SAND.
  - 1 PART BY VOLUME PEAT MOSS.
  - 1 LB. COMMERCIAL FERTILIZER PER C.Y. OF MIX.
- ALL TREE PITS SHALL RECEIVE A MINIMUM OF 24" OF THE SPECIFIED PLANTING MIX.
- ALL PLANTINGS SHALL BE MULCHED WITH A 3"-4" LAYER OF SHREDDED HARDWOOD MULCH AFTER INSTALLATION OF PLANT MATERIAL.
- ALL SHRUB PLANTING MATERIAL SHALL MEASURE A MIN. OF 18" IN HEIGHT AT THE TIME OF PLANTING.
- THE PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ANY DEVIATION TO THE APPROVED FINAL LANDSCAPING PLAN SHALL REQUIRE THE WRITTEN APPROVAL OF THE ARCHITECT PRIOR TO INSTALLATION.
- KILL AND REMOVE ALL EXISTING WEEDS FROM THE SITE AREA PRIOR TO PLANTING.
- REFER TO SITE GRADING PLAN FOR FINISH GRADES.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLETELY MAINTAINING THE WORK (INCLUDING BUT NOT LIMITED TO: WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF ALL PLANTINGS UNTIL TOTAL ACCEPTANCE OF THE WORK BY THE ARCHITECT AND OWNER.
- CONTRACTOR WILL STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE OWNER'S REPRESENTATIVE APPROVE ALL STAKING PRIOR TO INSTALLATION.
- THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
- REFER TO SITE PLAN FOR GROUND COVERING REQUIREMENTS.
- SEEDED AREAS SHALL BE REASONABLY SMOOTH AND FREE FROM STONES, ROOTS, OR OTHER DEBRIS.
- SODDED AREAS SHALL BE INSTALLED PER SUPPLIER'S INSTALLATION INSTRUCTIONS.
- PERMANENT SEEDING SEASON RUNS FROM MARCH 1ST TO JUNE 1ST AND SEPTEMBER 15TH TO NOVEMBER 1ST. SEEDING AND MULCHING MUST BE DONE WHENEVER WORK IS COMPLETE REGARDLESS OF THE SEASON. WHENEVER SEEDING AND MULCH IS INSTALLED OUTSIDE THE PERMANENT SEEDING SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLANTING AND MULCHING ANY AREAS WHERE GROWTH HAS NOT BECOME ESTABLISHED DURING THE NEXT PERMANENT SEASON.
- IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT AND OBTAIN THE REVIEW AND APPROVAL FROM THE LOCAL GOVERNMENT AGENCY THAT HAS JURISDICTION OVER THE LANDSCAPE IMPROVEMENTS INCLUDED IN THIS SET OF DRAWINGS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT AND OBTAIN THE REVIEW AND APPROVAL FROM THE LOCAL GOVERNMENT AGENCY THAT HAS JURISDICTION OVER THE IRRIGATION IMPROVEMENTS INCLUDED IN THIS SET OF DRAWINGS.

**BOONE COUNTY GENERAL REQUIREMENTS**

- THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPING MATERIALS, AND SHALL KEEP ALL PLANTS IN A PROPER, NEAT AND ORDERLY APPEARANCE, FREE FROM REFUSE AND DEBRIS AT ALL TIMES. ALL UNHEALTHY OR DEAD PLANT MATERIAL SHALL BE REPLACED BY THE NEXT PLANTING SEASON.
- ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED ACCORDING TO THE PLANTING DETAILS CONTAINED HEREIN.
- ALL TREES FROM PLANT LIST D SHALL BE A MINIMUM OF SIX (6) FEET (NOT TO INCLUDE THE ROOT BALL) IN OVERALL HEIGHT AT THE TIME OF PLANTING. IN ADDITION, ALL TREES FROM PLANT LIST A AND B SHALL BE A MINIMUM OF TWO (2) INCHES IN CALIPER SIZE. SMALL TREES FROM PLANT LIST C SHALL HAVE A MINIMUM INSTALLATION SIZE OF 1 1/2 INCHES IN CALIPER SIZE OR SIX (6) FEET IN HEIGHT IF A "CLUMP" VARIETY. TALL SHRUBS FROM PLANT LIST E SHALL HAVE A MINIMUM INSTALLATION SIZE OF TWENTY-FOUR (24) INCHES B & B AND SMALL/LOW SHRUBS FROM PLANT LIST E SHALL HAVE A MINIMUM INSTALLATION SIZE OF THREE (3) GALLONS.
- ALL PLANT MATERIAL MUST BE INSTALLED ACCORDING TO THE APPROVED LANDSCAPING PLAN BY NO LATER THAN THE NEXT PLANTING SEASON OR WITHIN SIX (6) MONTHS FROM THE DATE THAT A BUILDING OCCUPANCY PERMIT IS ISSUED, SEASON PERMITTING. IF NO OCCUPANCY PERMIT IS REQUIRED ALL PLANT MATERIAL MUST BE INSTALLED BY THE NEXT PLANTING SEASON FROM THE DATE OF APPROVAL FOR THE LANDSCAPING PLAN.
- ALL PLANT MATERIAL THAT IS SELECTED SHOULD BE ABLE TO TOLERATE THEIR SPECIFIC PLANTING ENVIRONMENT, INCLUDING BUT NOT LIMITED TO EXPOSURE TO SUNLIGHT OR SHADE, AND BE EASILY MAINTAINED. ALSO, ALL LANDSCAPING SHALL BE DESIGNED AND INSTALLED TO PERMIT ACCESS TO ANY AREA WHERE REPAIRS, RENOVATIONS OR MAINTENANCE TO SITE BUILDINGS, UTILITIES, ETC. CAN BE REASONABLY EXPECTED, AND SHALL NOT INTERFERE WITH OVERHEAD UTILITY LINES AT MATURITY.

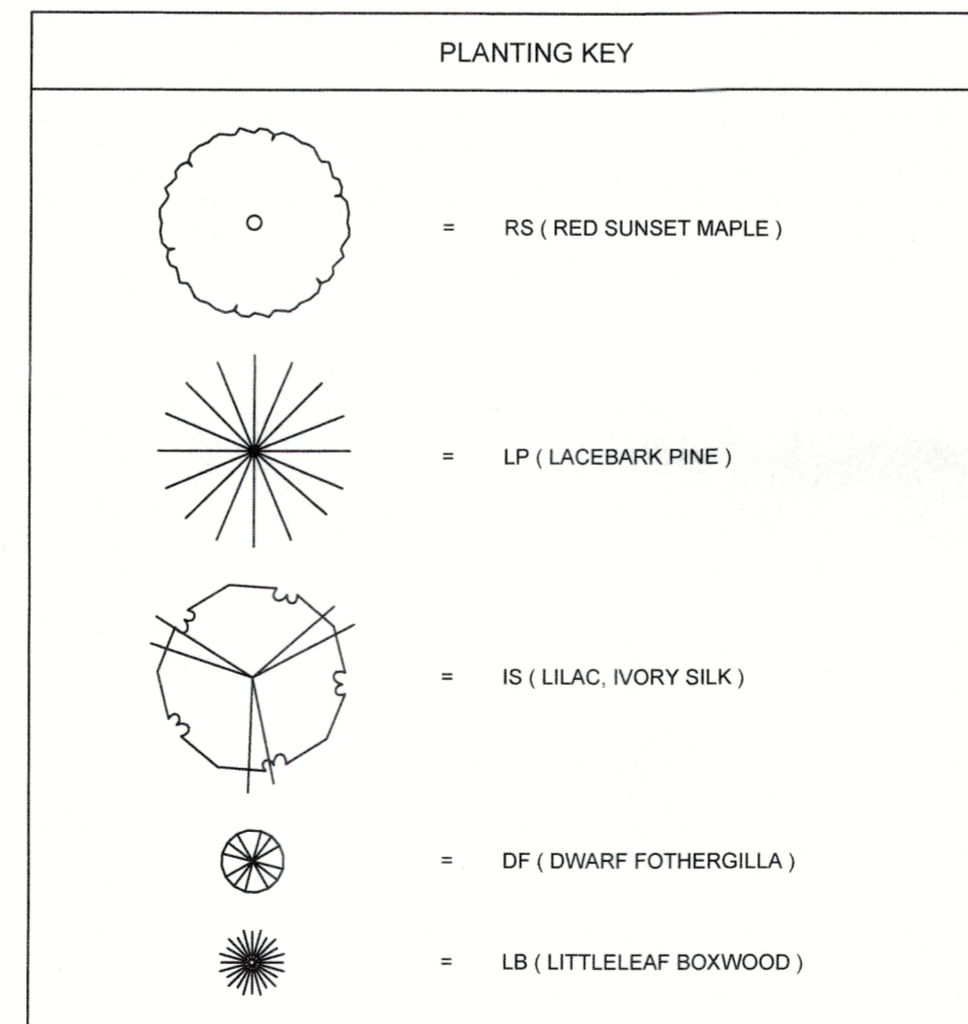
**PERIMETER LANDSCAPING:**

**TURFWAY ROAD:**  
 60 L.F. PARKING PERIMETER @ 1 TREE / 30 L.F. = 2 TREES  
 60 L.F. PARKING PERIMETER @ 15 SHRUBS / 100 L.F. = 9 SHRUBS FROM PLANT LIST C  
 10' BUFFER REQUIRED, 10' BUFFER PROVIDED.

**WEST PRIVATE DRIVE:**  
 150 L.F. PARKING PERIMETER @ 1 TREE / 30 L.F. = 5 TREES  
 150 L.F. PARKING PERIMETER @ 15 SHRUBS / 100 L.F. = 29 SHRUBS FROM PLANT LIST C  
 10' BUFFER REQUIRED, 7' BUFFER PROVIDED.

**SOUTH PRIVATE DRIVE:**  
 91 L.F. PARKING PERIMETER @ 1 TREE / 30 L.F. = 3 TREES  
 91 L.F. PARKING PERIMETER @ 15 SHRUBS / 100 L.F. = 14 SHRUBS FROM PLANT LIST C  
 10' BUFFER REQUIRED, 5' BUFFER PROVIDED.

**EAST PROPERTY LINE:**  
 269 L.F. PARKING PERIMETER @ 1 TREE / 30 L.F. = 9 TREES  
 269 L.F. PARKING PERIMETER @ 15 SHRUBS / 100 L.F. = 41 SHRUBS FROM PLANT LIST C  
 10' BUFFER REQUIRED, 8' BUFFER PROVIDED.



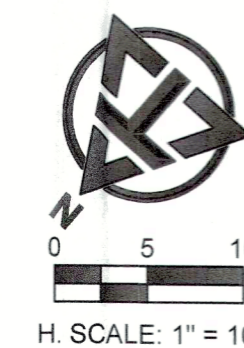
PLANTING LIST					
TYPE	COMMON NAME (SCIENTIFIC NAME)	QUANTITY REQUIRED	QUANTITY PROVIDED	CONDITION AND SIZE	APPROXIMATE MATURE SIZE (HT x SP)
<b>CANOPY TREES</b>					
RS	RED SUNSET MAPLE (ACER RUBRUM)	7	7	2" CAL. B&B	60'X60'
<b>NON-CANOPY TREES</b>					
IS	LILAC, JAPANESE TREE (SYRINGA RETICULATA)	8	8	2" CAL. B&B	30'X25'
<b>EVERGREEN TREES</b>					
LP	LACEBARK PINE (PINUS BUNGEANA)	7	7	6' HEIGHT	50'X40'
<b>SHRUBS</b>					
DF	RED CHOKEBERRY (ARONIA ARBUTIFOLIA)	100	100	3 GALLON POT	8'X4'
LB	LARGE FORTHERGILLA (FOTHERGILLA MAJOR)	98	98	3 GALLON POT	8'X6'

**HATCH LEGEND**

- TURF GRASS SOD. INSTALL PER SUPPLIER'S INSTALLATION INSTRUCTIONS.
- LANDSCAPE ROCK. PLACE 6" OF 1"-2" RIVER ROCK OVER COMMERCIAL GRADE WEED FABRIC.
- LANDSCAPE MULCH. SMOOTH SOIL SHALL BE COVERED BY WEED FABRIC AND TOPPED WITH 3" TO 4-INCH LAYER OF SHREDDED HARDWOOD MULCH. MATCH EXISTING COLOR.

**KEY NOTES:**

- INSTALL HEAVY DUTY METAL EDGING (MIN 3/16" THICK) TO SEPARATE LANDSCAPE PLANTING AREAS FROM TURF AREAS.



**Kentucky 811**  
 Call 811 or 1.800.752.6007  
 www.kentucky811.org

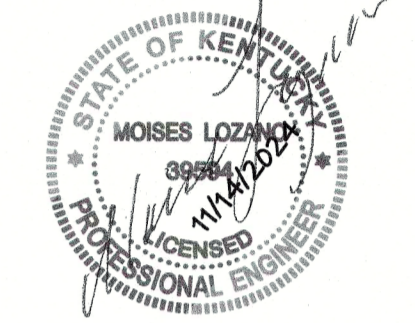
**TOOTH & ASSOCIATES**  
 1550 E. REPUBLIC ROAD  
 SPRINGFIELD, MO 65804  
 Ph: 417-888-0645 Fax: 417-888-0687  
 www.tothassociates.com  
 KY# 0736482  
 © 2024 Toth and Associates, Inc.

**C5.1**  
 LANDSCAPE PLAN

DATE: NOVEMBER 13, 2024

7 BREW COFFEE  
 FLORENCE, KY #2

7303 TURFWAY ROAD,  
 FLORENCE, KY 41042



ENGINEER OF RECORD:  
 NAME: MOISES LOZANO  
 LICENSE NO. KY #PE-39594

PROJECT NUMBER:  
 91116

REVISION:

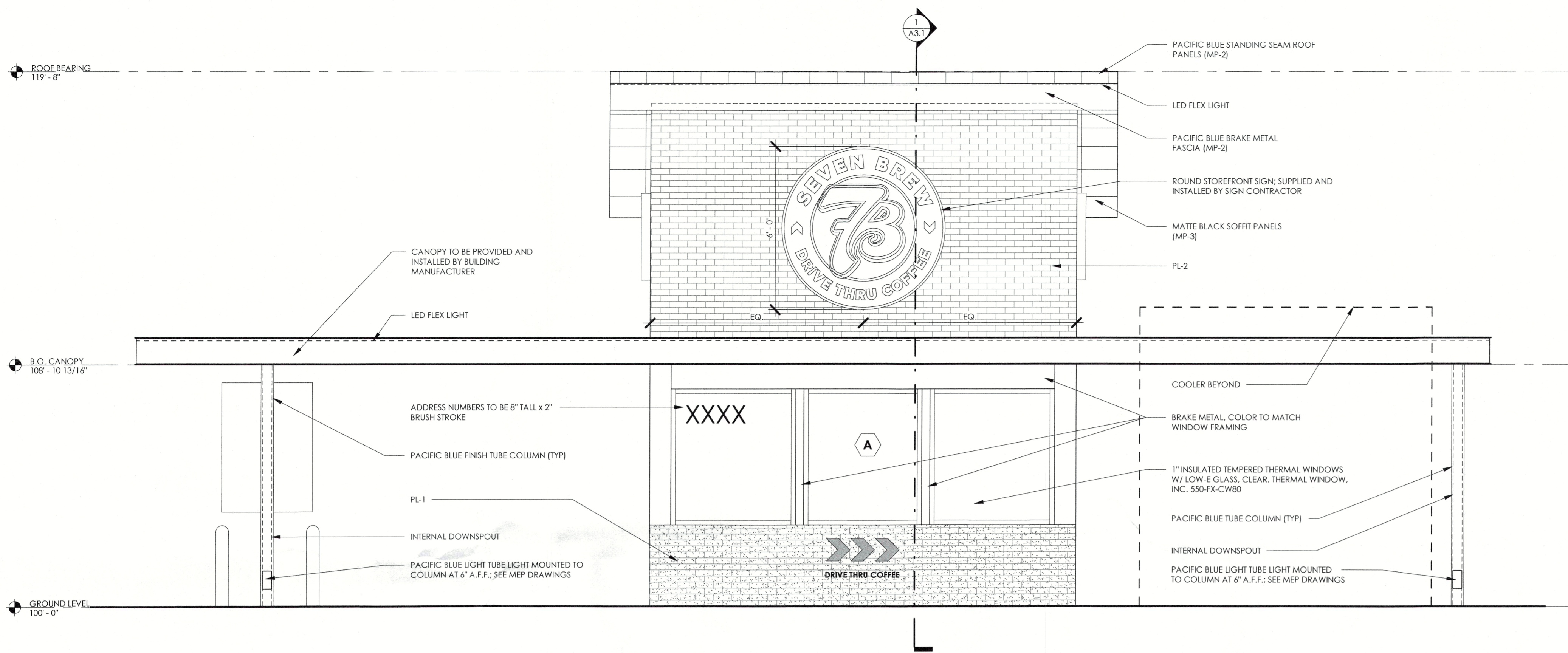


ARCHITECT OF RECORD:  
 NAME: ADAM KREHER  
 LICENSE NO. 7077

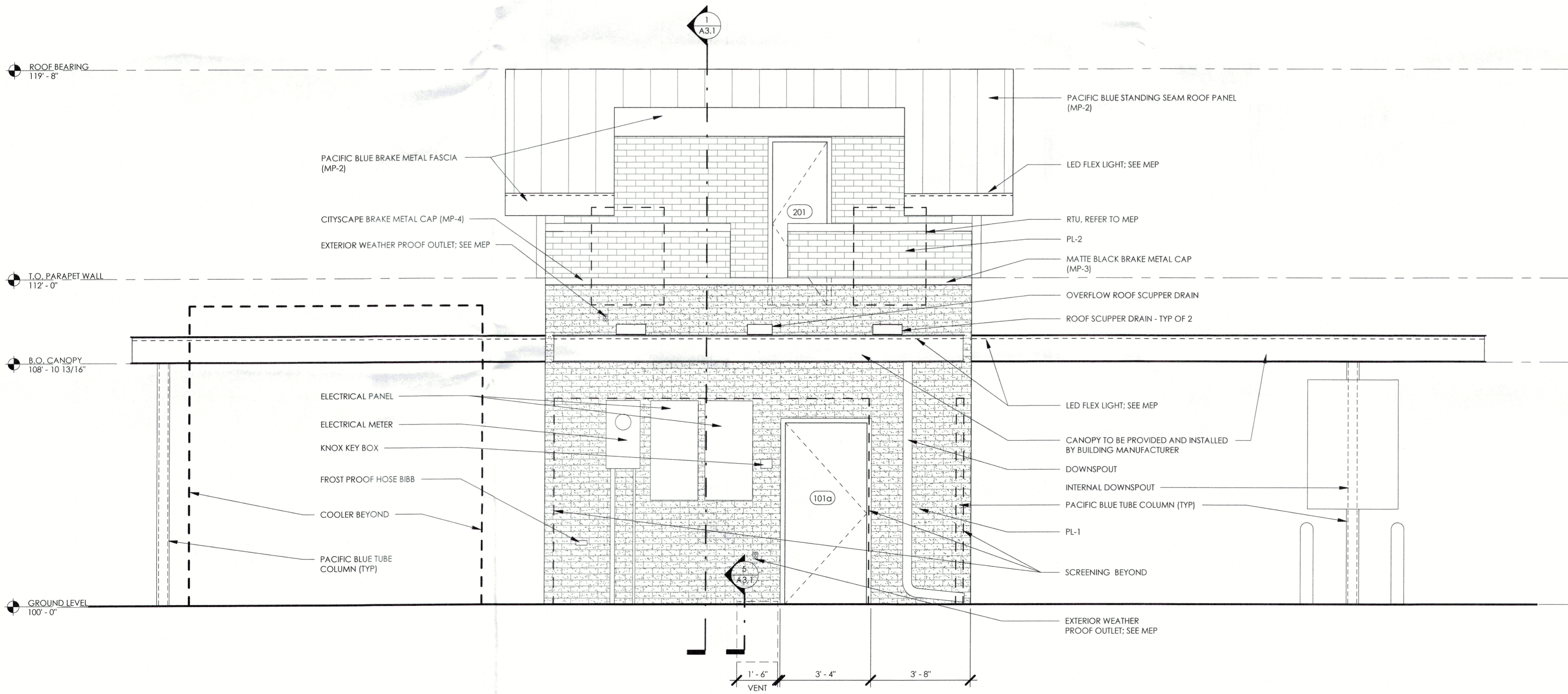
PROJECT NUMBER: 24268 7BFK2  
 REVISION:

**7 BREW COFFEE**  
**FLORENCE, KY #2**  
 7303 TURFWAY ROAD,  
 FLORENCE, KY 41042

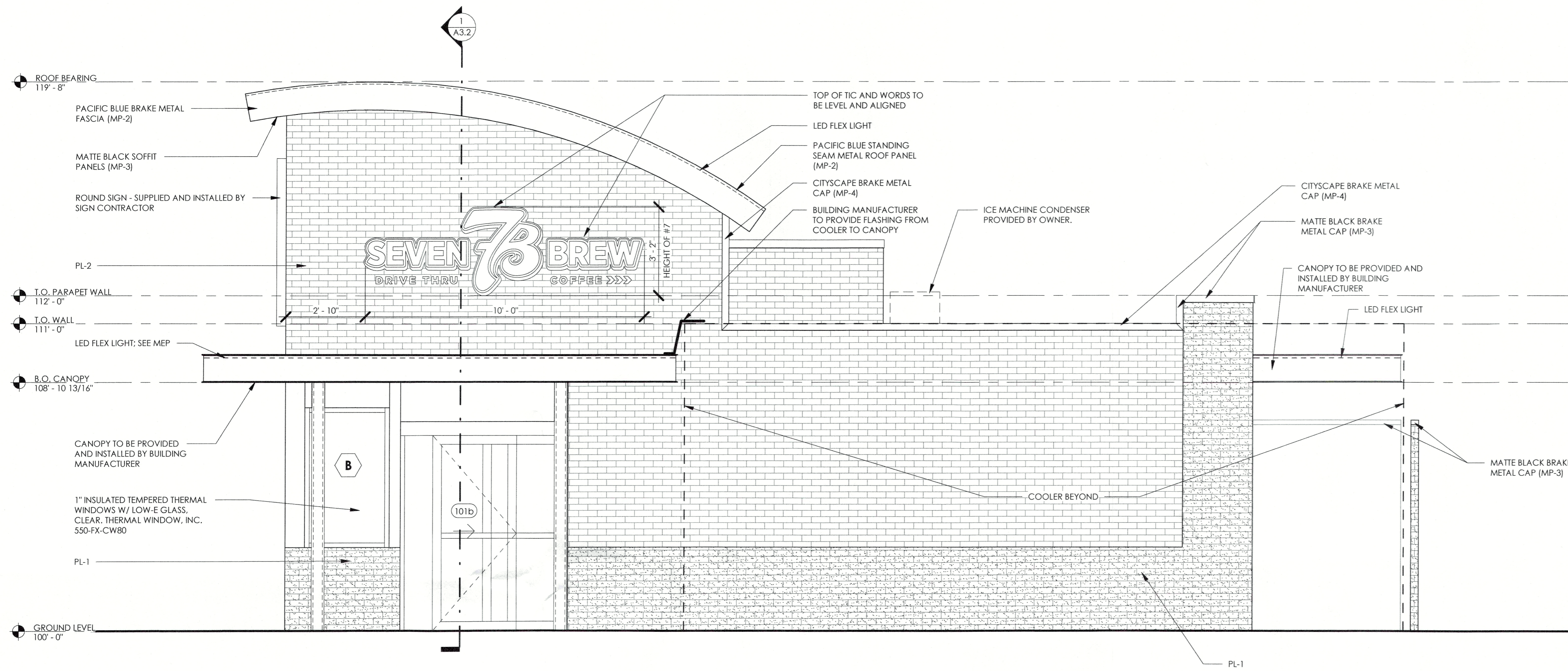
**A2.1**  
 EXTERIOR ELEVATIONS



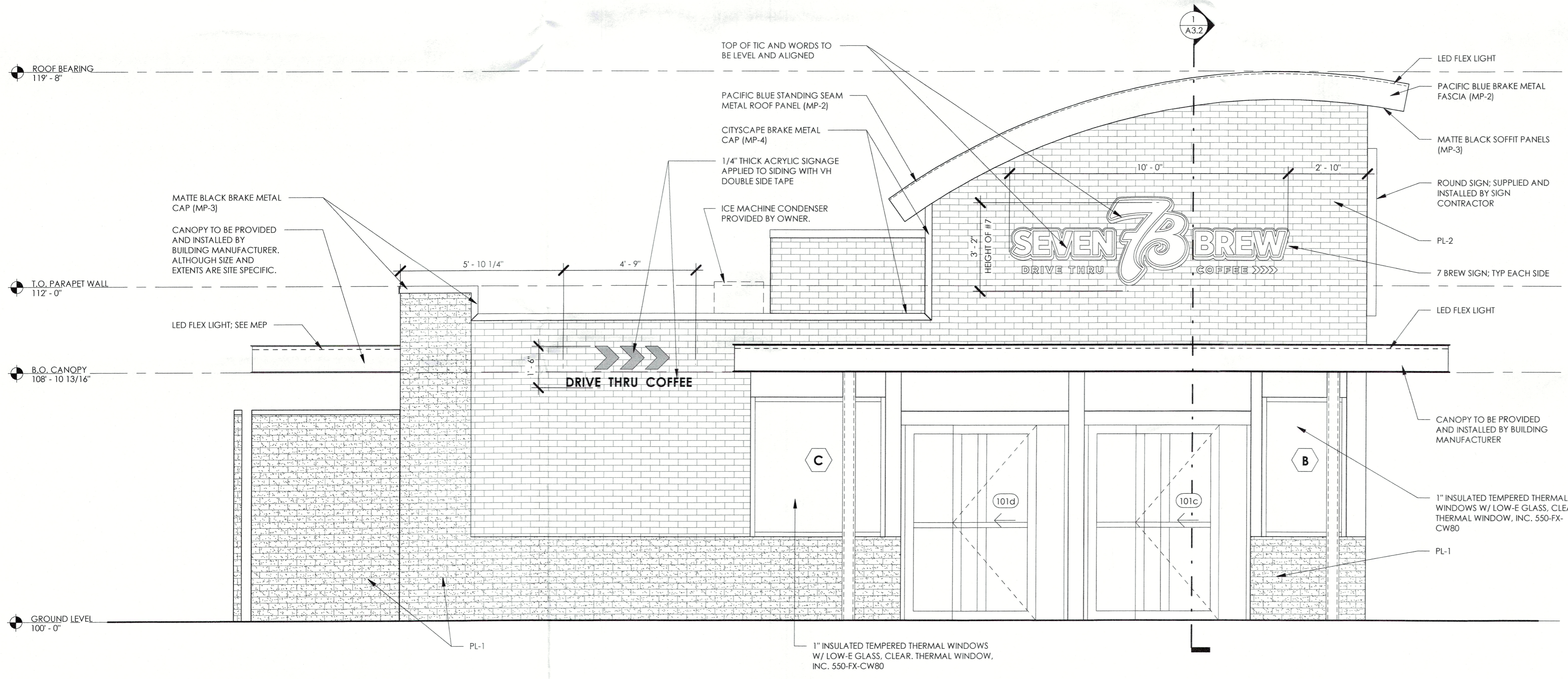
**1** EXTERIOR ELEVATION - FRONT  
 3/8" = 1'-0"



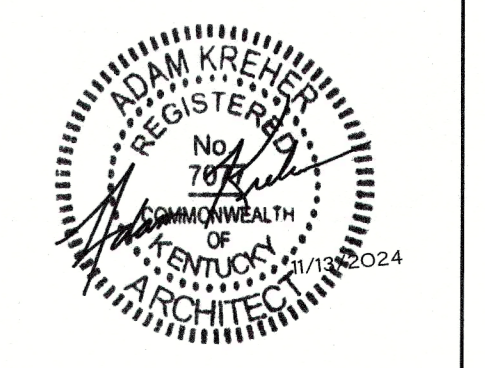
**2** EXTERIOR ELEVATION - BACK  
 3/8" = 1'-0"



1 EXTERIOR ELEVATION - RIGHT SIDE  
3/8" = 1'-0"



2 EXTERIOR ELEVATION - LEFT SIDE  
3/8" = 1'-0"

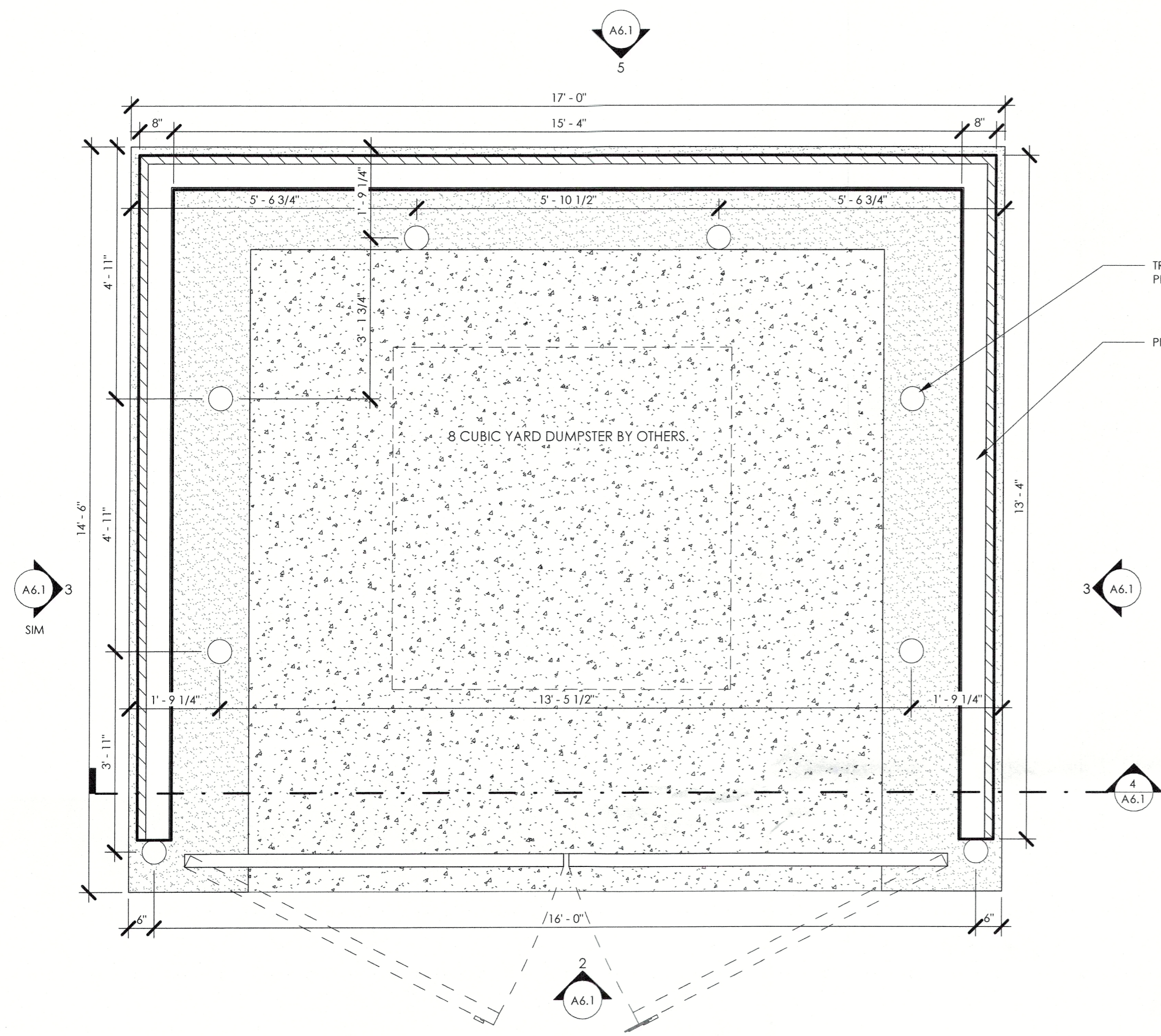


ARCHITECT OF RECORD:  
NAME: ADAM KREHER  
LICENSE NO. 7077

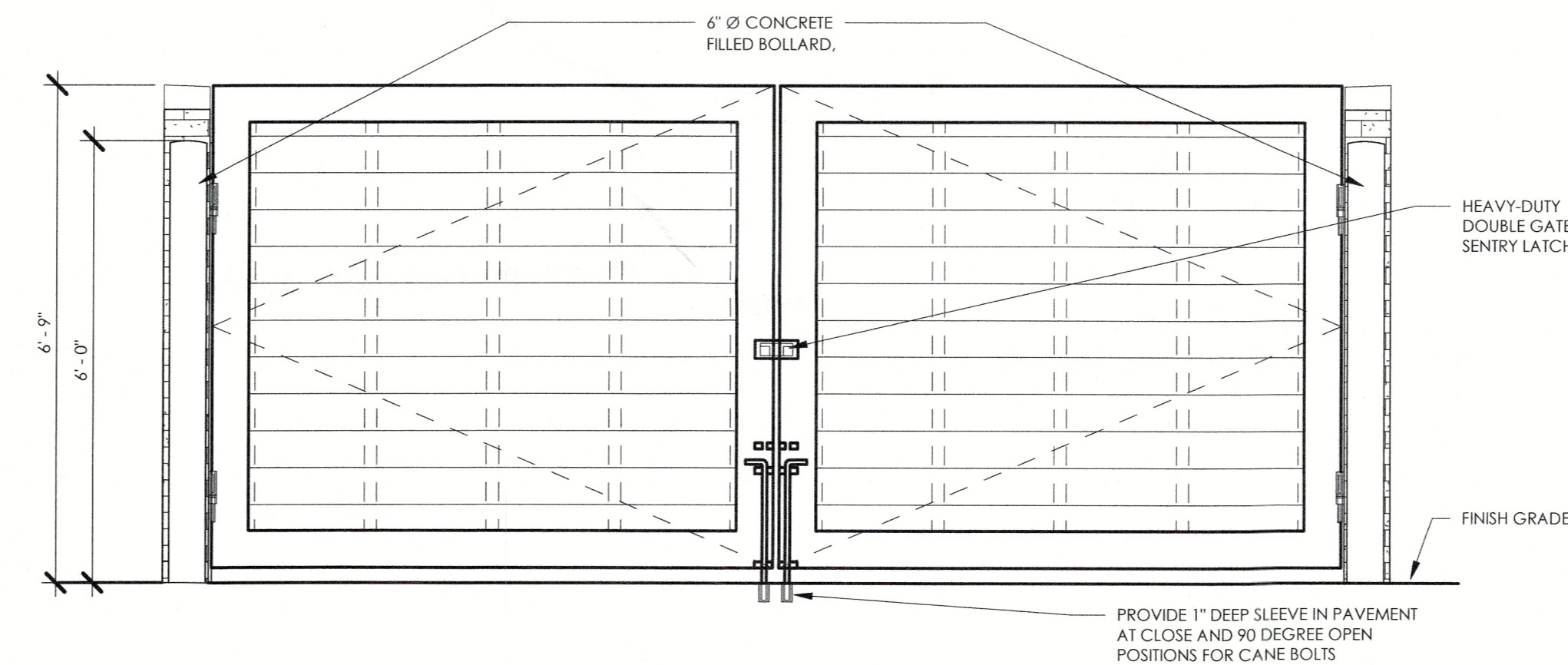
PROJECT NUMBER: 24268 7BFK2  
REVISION:

7 BREW COFFEE  
**FLORENCE, KY #2**  
7303 TURFWAY ROAD,  
FLORENCE, KY 41042

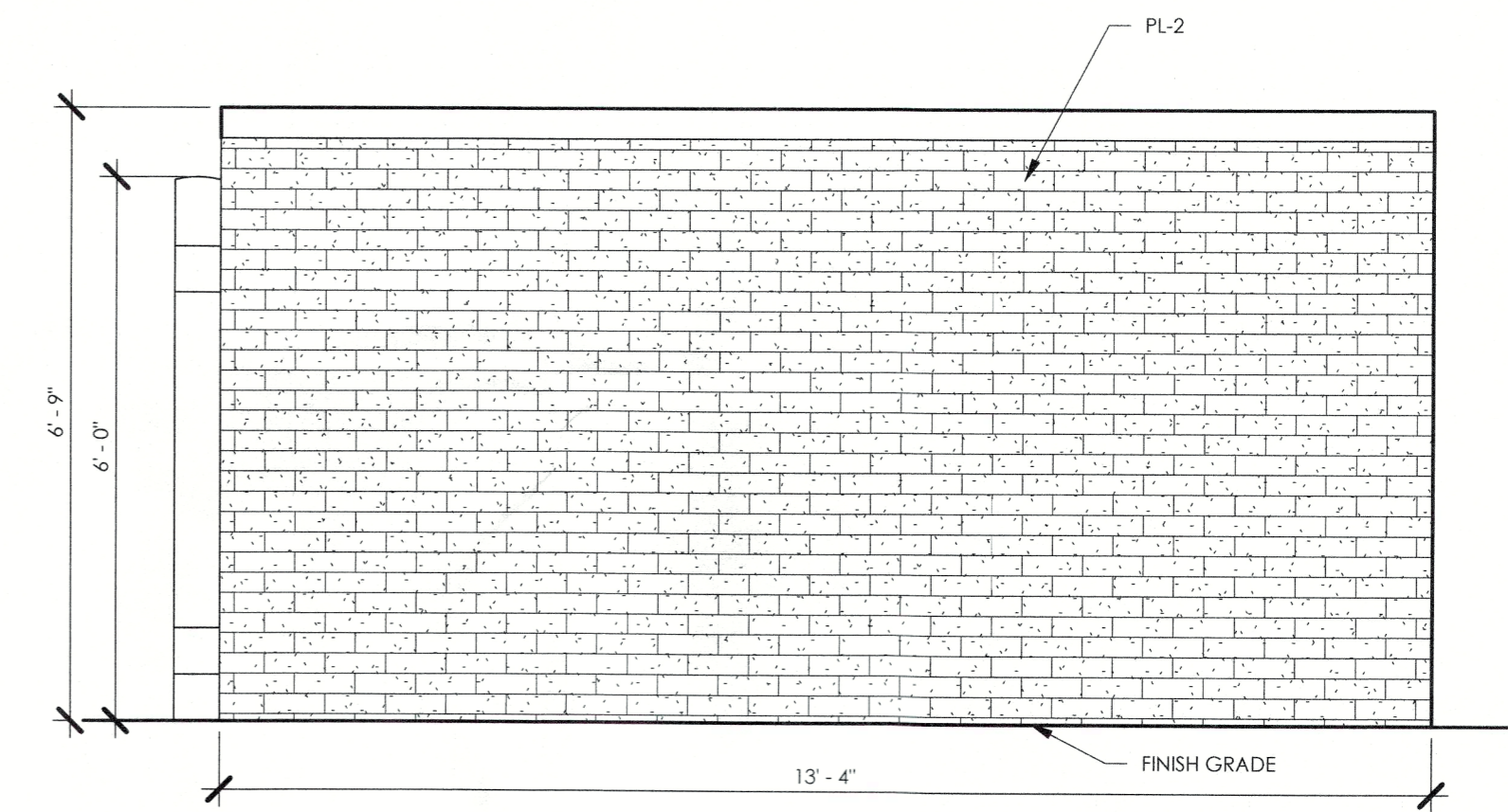
**A2.2**  
EXTERIOR ELEVATIONS



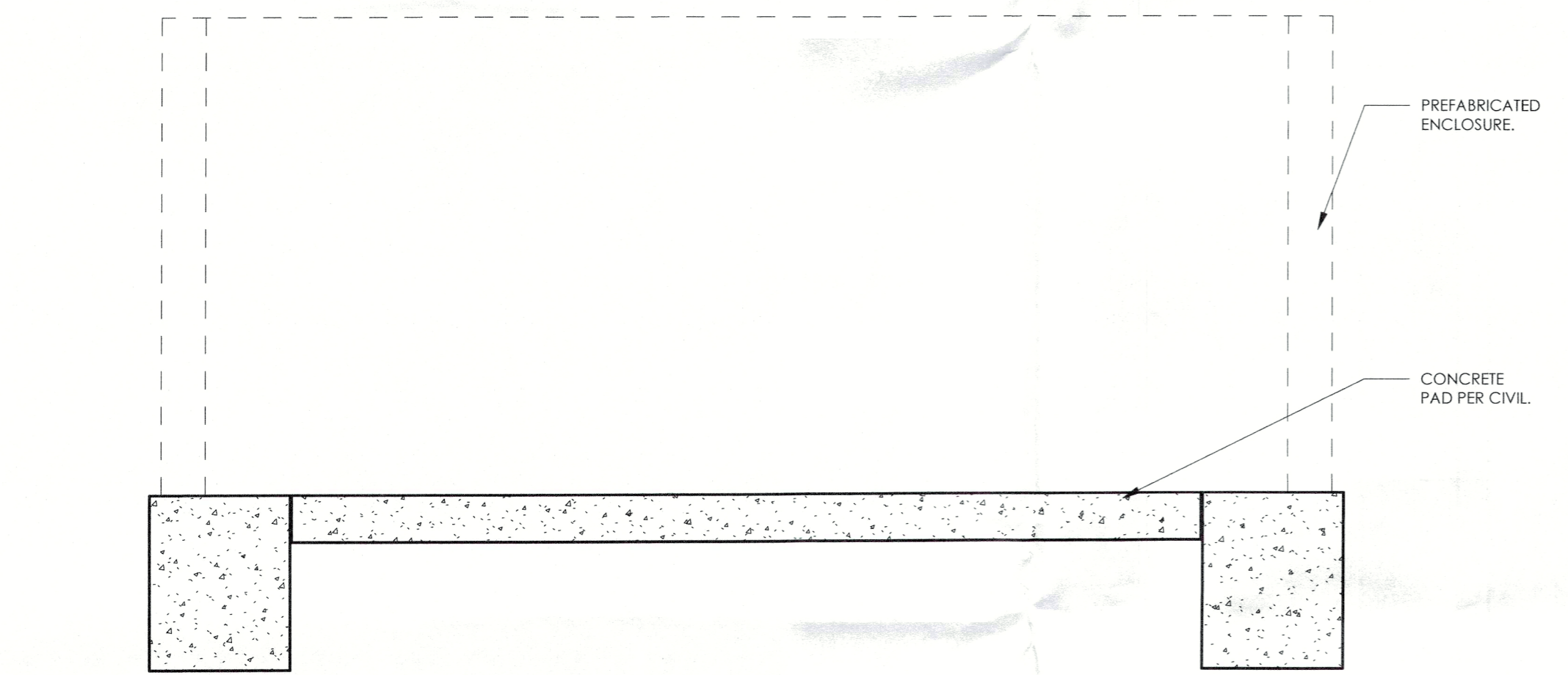
1 TRASH ENCLOSURE  
1/2" = 1'-0"



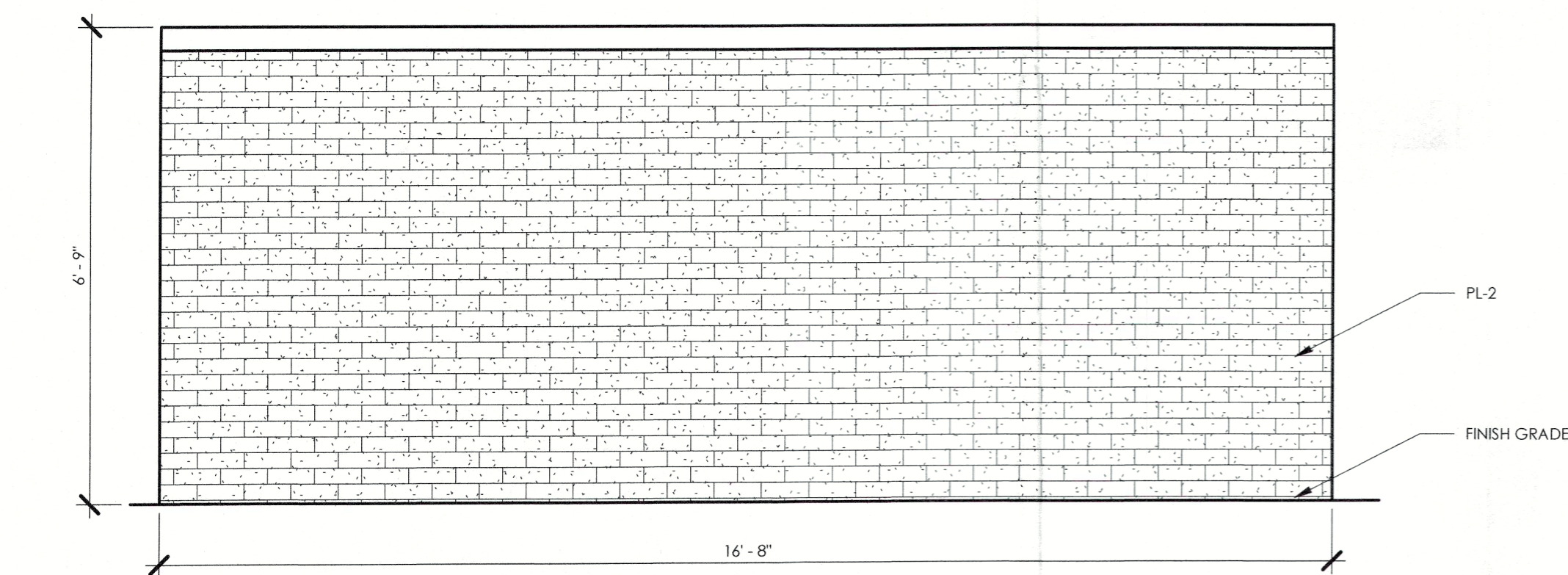
2 TRASH ENCLOSURE - FRONT ELEVATION  
1/2" = 1'-0"



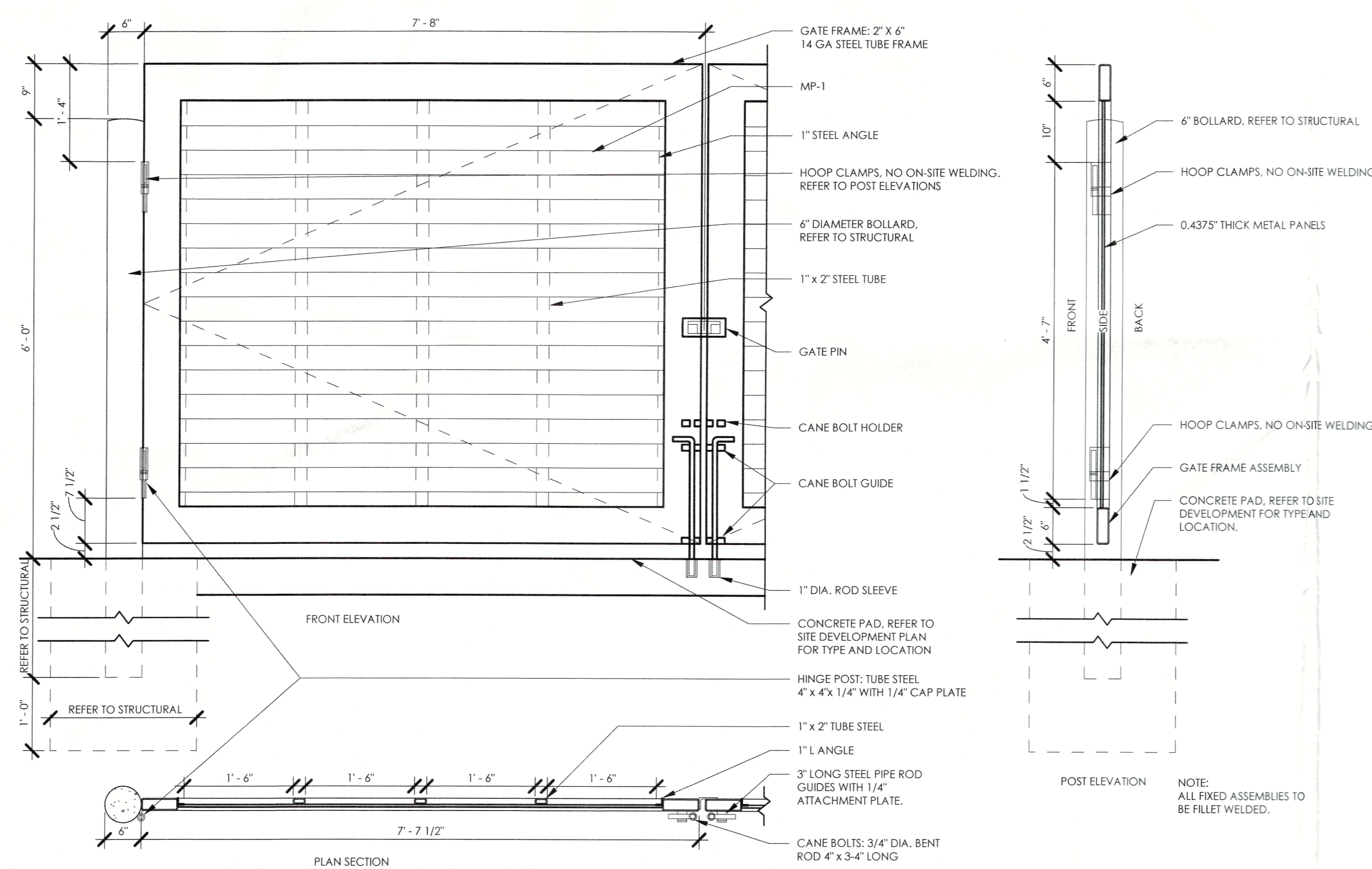
3 TRASH ENCLOSURE - SIDE ELEVATION  
1/2" = 1'-0"



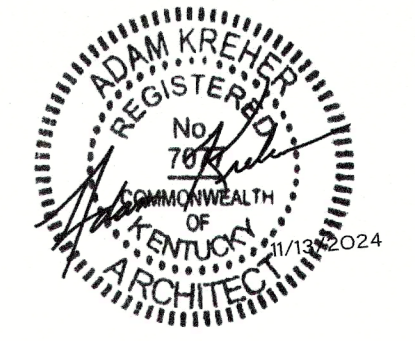
4 TRASH ENCLOSURE - SECTION DETAIL  
1/2" = 1'-0"



5 TRASH ENCLOSURE - BACK ELEVATION  
1/2" = 1'-0"



6 TRASH ENCLOSURE GATE DETAILS  
3/4" = 1'-0"

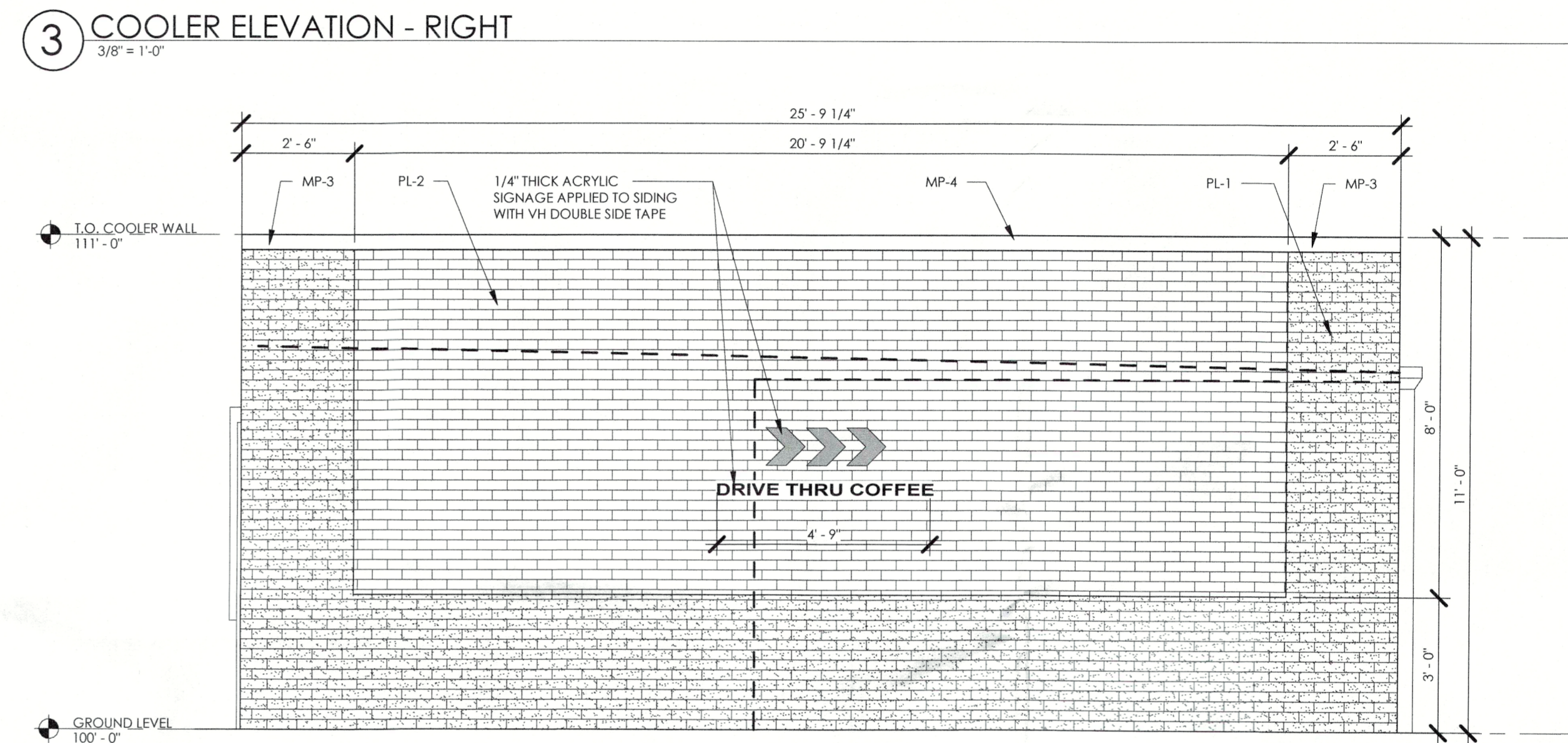
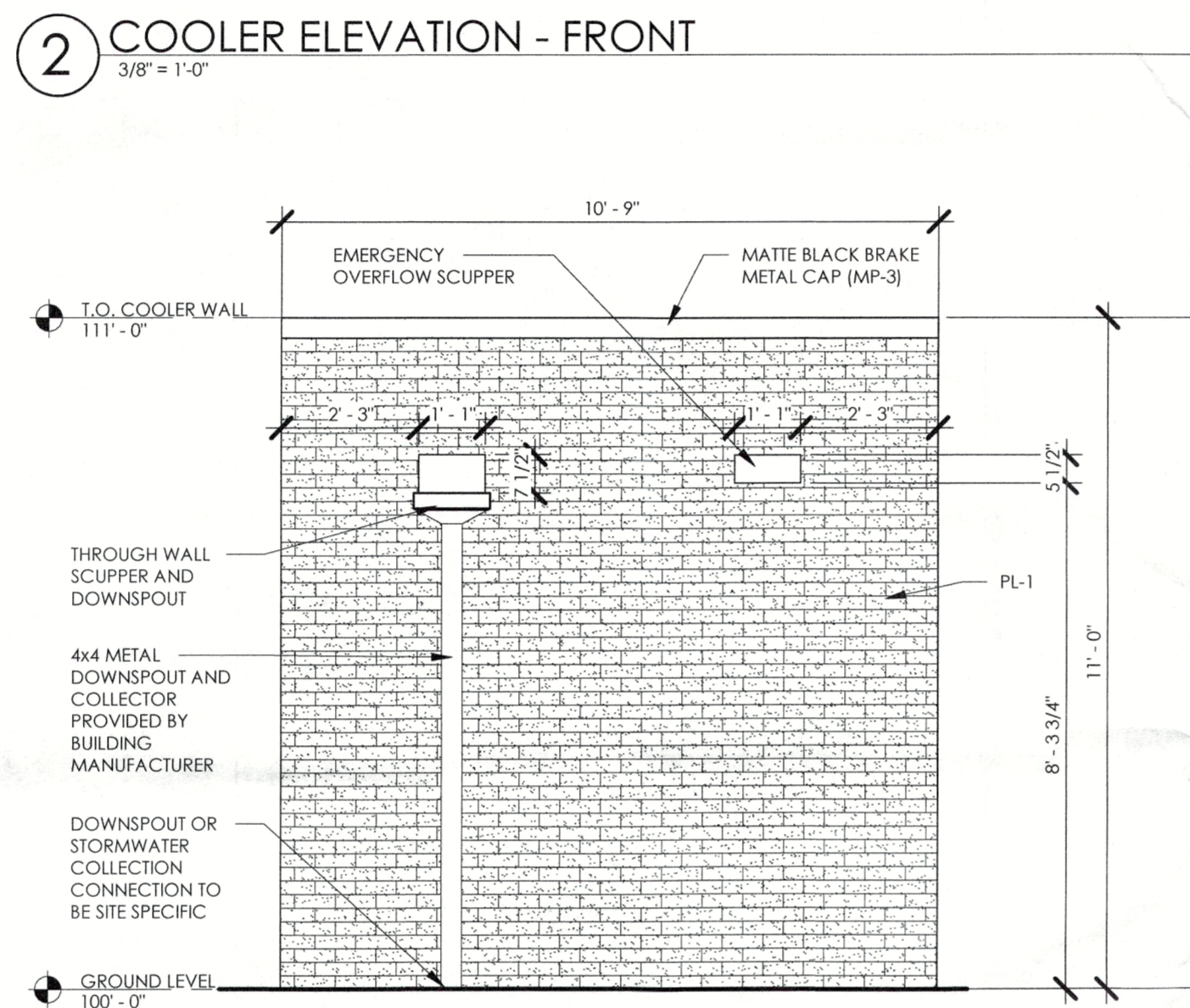
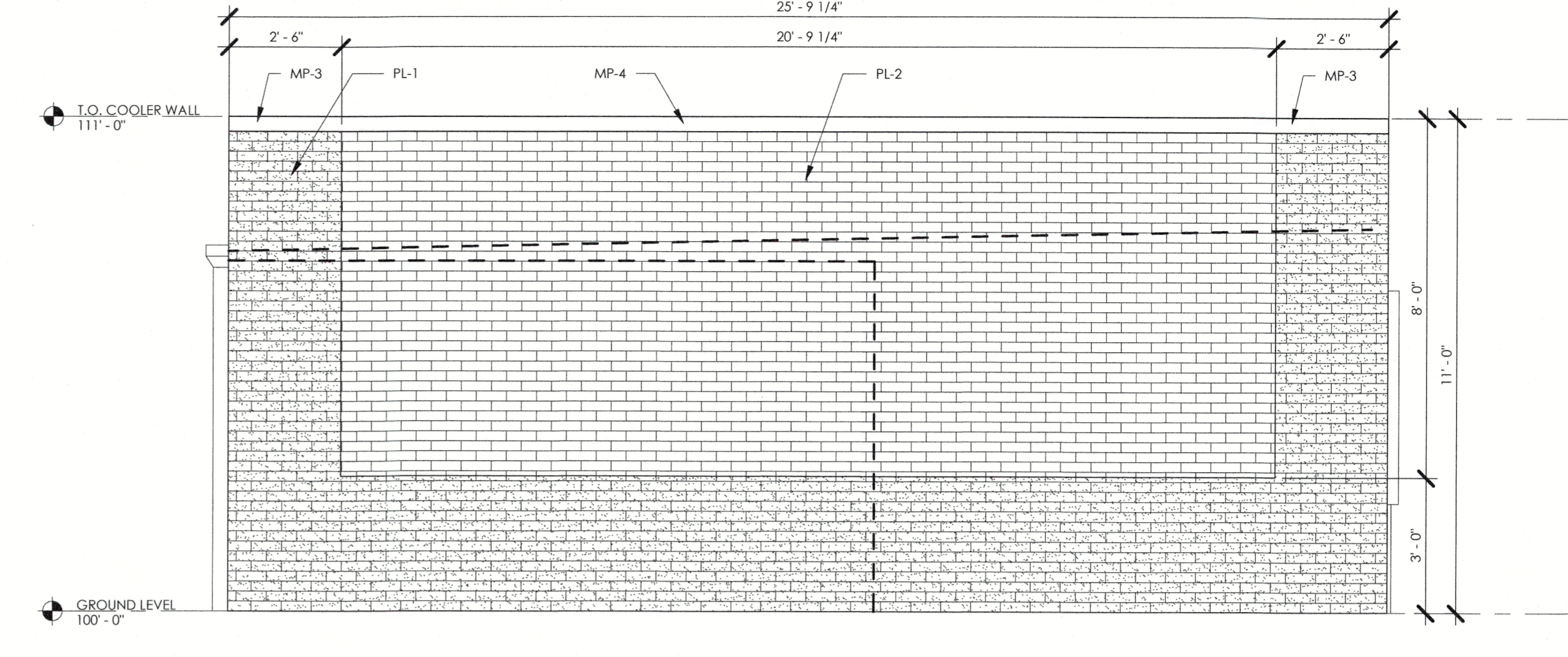
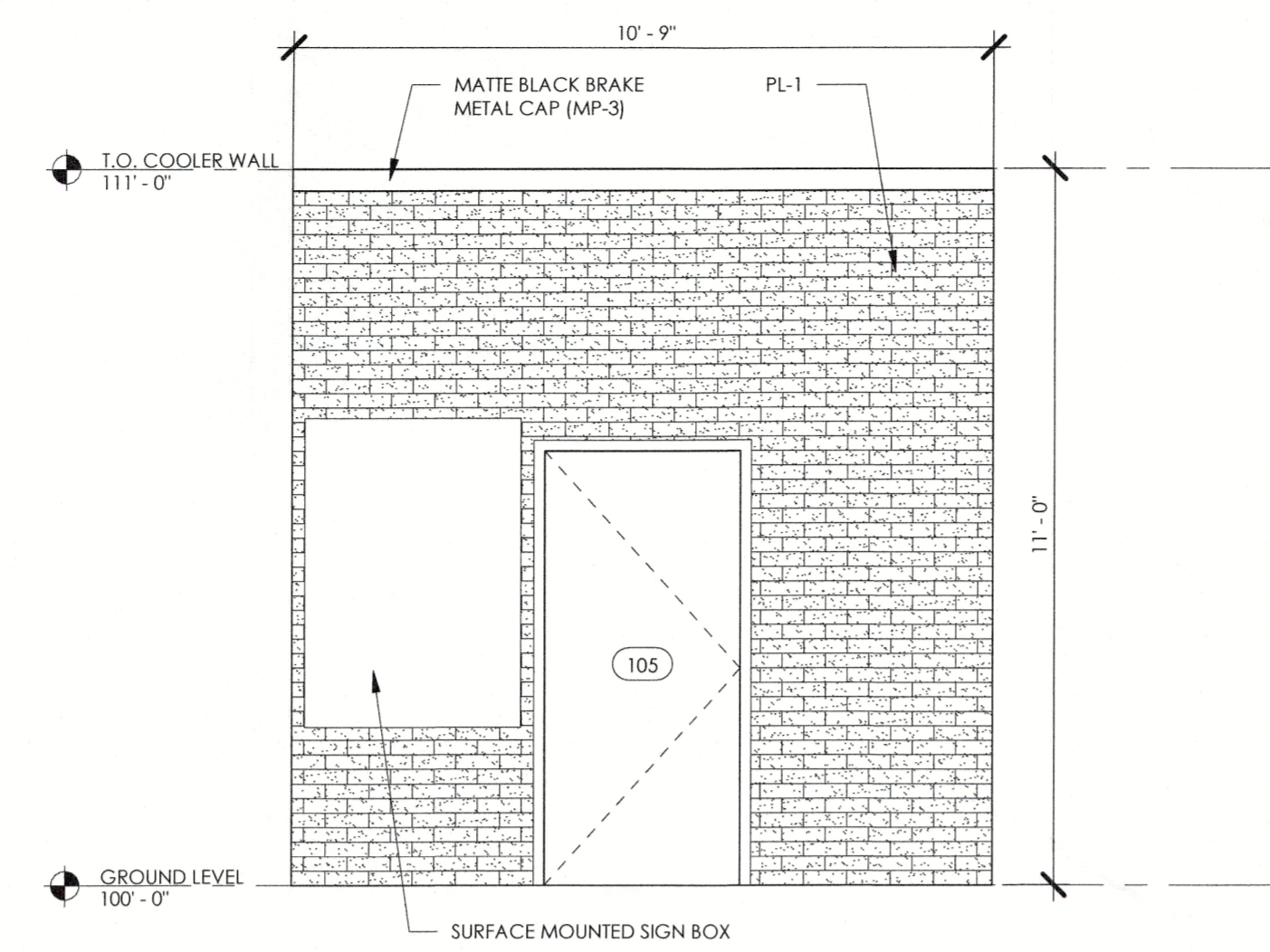
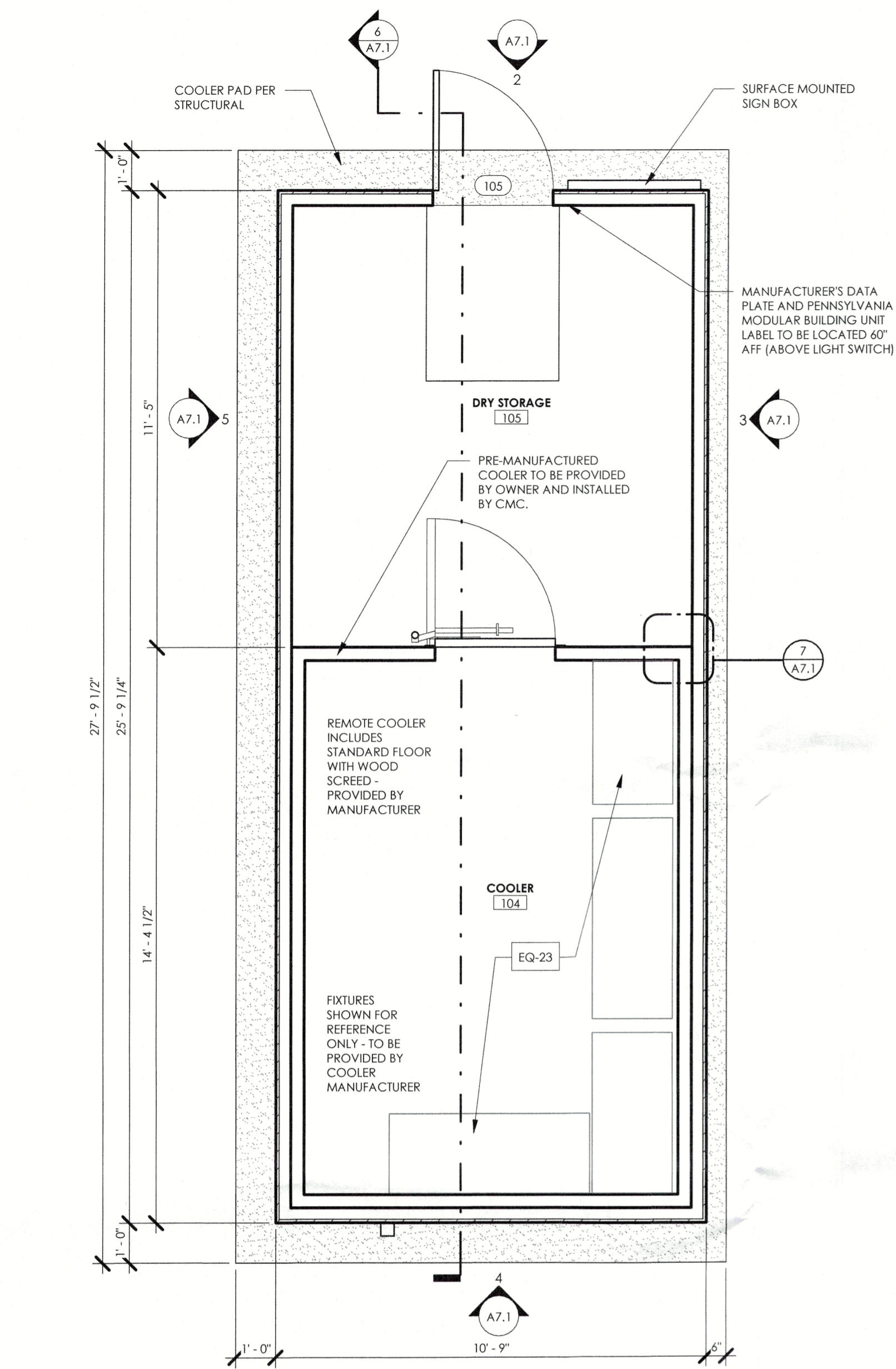


ARCHITECT OF RECORD:  
NAME: ADAM KREHER  
LICENSE NO. 7077

PROJECT NUMBER: 24268 7BFK2  
REVISION:

7 BREW COFFEE  
**FLORENCE, KY #2**  
7303 TURFWAY ROAD,  
FLORENCE, KY 41042

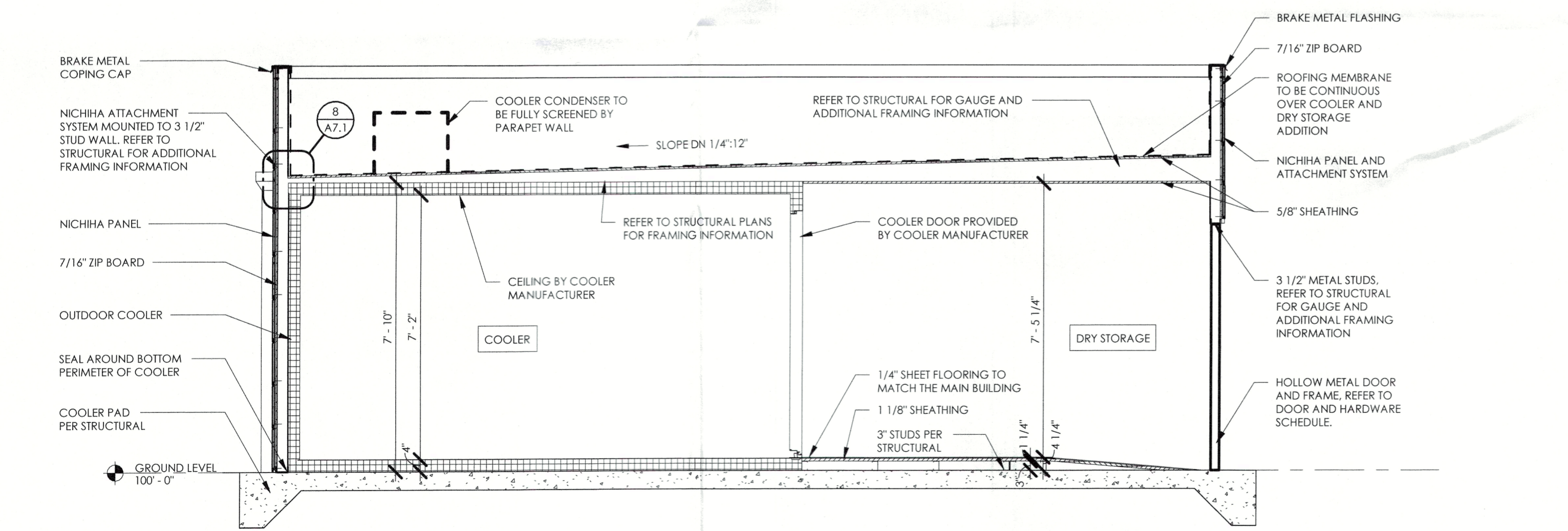
**A6.1**  
TRASH ENCLOSURE DETAILS



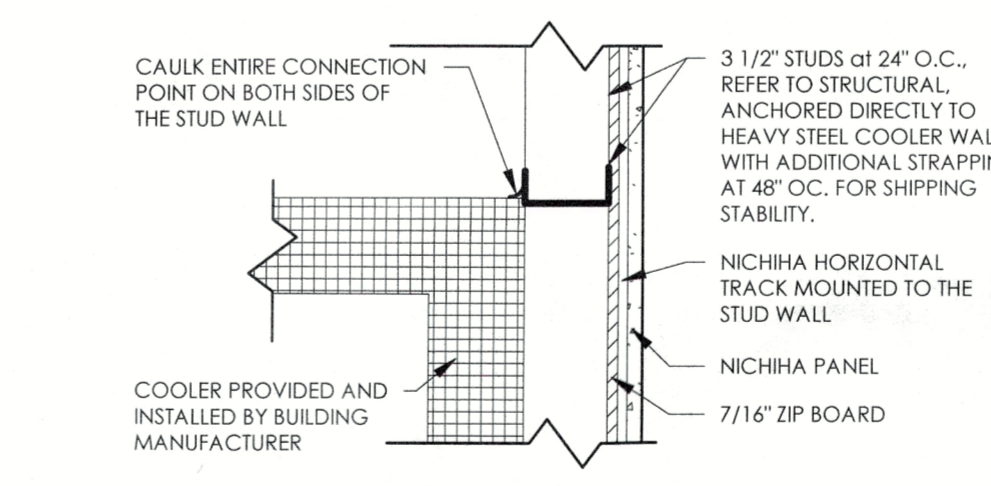
1 REMOTE COOLER PLAN  
3/8" = 1'-0"

4 COOLER ELEVATION - REAR  
3/8" = 1'-0"

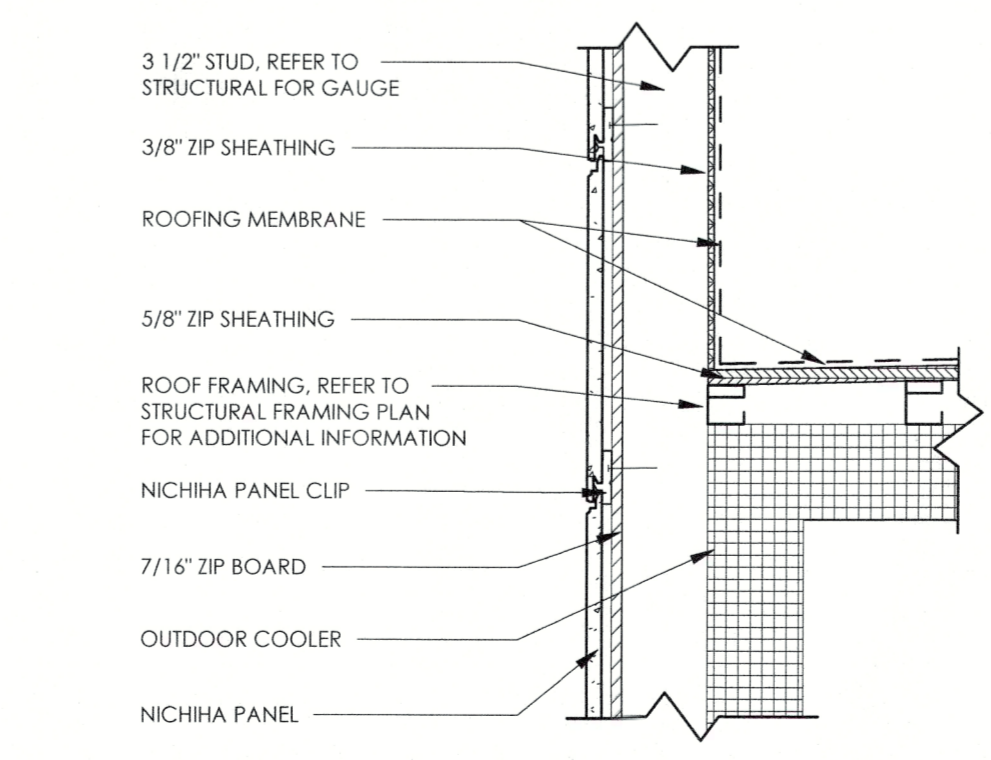
5 COOLER ELEVATION - LEFT  
3/8" = 1'-0"



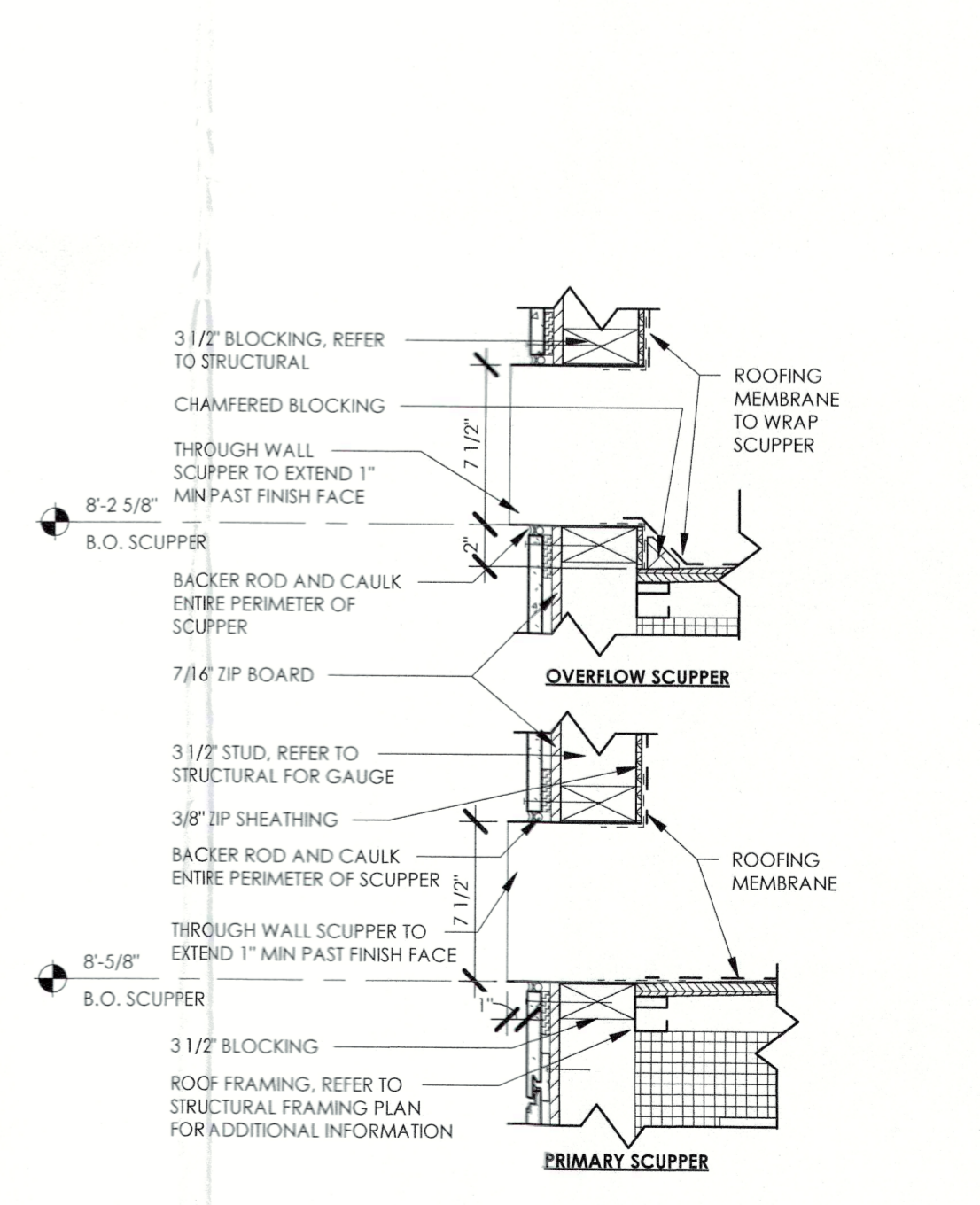
6 COOLER SECTION  
3/8" = 1'-0"



7 REMOTE COOLER PLAN DETAIL  
1 1/2" = 1'-0"



8 NICHHA - LOW EAVE DETAIL  
1 1/2" = 1'-0"



9 NICHHA - SCUPPER DETAIL  
1 1/2" = 1'-0"



ARCHITECT OF RECORD:  
NAME: ADAM KREHER  
LICENSE NO. 7077

PROJECT NUMBER: 24268 78FK2  
REVISION:

**7 BREW COFFEE**  
**FLORENCE, KY #2**  
7303 TURFWAY ROAD,  
FLORENCE, KY 41042

**A7.1**  
REMOTE COOLER DETAILS

## EQUIPMENT AND FIXTURE SCHEDULE

FEB NO.	EQ NO.	QTY.	MANUFACTURER	PRODUCT	PRODUCT NO.	SIZE	NOTES
#1	EQ-1	1	NORLAKE / KOLPAK / APPROVED EQ	REMOTE WALK-IN COOLER		675 CUBIC SF	B, F
	EQ-1.2	1	NORLAKE - CAPSULE PAK / APPROVED EQ	WALK-IN CONDENSER	CP8100JC-E-4V		B, F
#9	EQ-2	1	GRINDMASTER	DISPENSER	WTH20		
	EQ-3	1	LA MARZOCCO	ESPRESSO MACHINE	LINEA PB [AV] - 3		
	EQ-4	2	LA MARZOCCO	ESPRESSO MACHINE	LINEA PB [AV] - 4		
#2	EQ-5	2	MANITOWOC	ICE MAKER HEADS	IYF 1800 C		A
#3	EQ-6	1	MANITOWOC	ICE MAKER BIN	LB 1760	60"	
	EQ-7	27	TORRANI	SYRUP RACK			C
	EQ-8	3	VITAMIX	BLENDER			C, H
	EQ-9	4	BUILDING MANUFACTURER	STAINLESS STEEL STORAGE SHELVING		[A] 55 36" X 36" X 37" [B] 55 36" X 60" X 66" [C] 55 12" X 33" X 80" [D] 55 14" X 18" X 36"	B, D, G
#10	EQ-10	2	SPACEMAN	CHILLER MACHINE	6695-C		
	EQ-10.1	1	PROVIDED BY CMC	STAND/ ROLLING CART	CART - 550		
	EQ-11	3	MAZZER	COFFEE BEAN GRINDER	ROBUR S NERO		
	EQ-12	1	MAZZER	DECAF COFFEE BEAN GRINDER	SUPER JOLLY PRO V [E] NERO		
	EQ-13	3	RUBBERMAID	TRASH CONTAINER			C, E
#13	EQ-14	1	ATOSA	REFRIGERATED MERCHANDISER	MCF8723GR	54"	B
#4	EQ-15	3	JOHN BOOS	MOBILE ICE BINS	513034 CL-24IC-CAB-31	36"	B
#12.1	EQ-16	1	ATOSA	UNDERCOUNTER REFRIGERATOR	MGF36RGR	36"	B
	EQ-17	3	STRONGWAY	AIR CURTAIN	49947	36"	D
#14.2	EQ-18	4	BLEND TECH	RAPID RINSER			B
#14.1	EQ-19	3	T&S BRASS	RINSE WELL W/ STEM	B-2282-01-F05		
#14.3	EQ-20	1	ATOSA	HAND WASH SINK	MRS-18-1B[W]	18" X 14" X 5"	B
#15	EQ-21	2	QUANTUM	WALL MOUNTED SHELF	1448GY	48" X 14"	B, E, J
	EQ-22	4	EPOXY COATED SHELVING UNIT	COOLER SHELVING		[2] 24" X 48" [2] 24" X 60"	B, F
	EQ-23	0	STAINLESS WALL SHELF	WALL MOUNTED SHELF		36" X 14"	B
	EQ-24	1	MULTI PURPOSE DRY CHEMICAL (2A:10B) FIRE EXTINGUISHER	FIRE EXTINGUISHER	PER NFPA 10		C, I

### EQUIPMENT SCHEDULE NOTES:

- REMOTE CONDENSOR - IF 1800C
- EQUIPMENT MANUFACTURER SPEC IS OPTIONAL BUT MUST BE EQUAL APPROVED BY 7BREW - U.N.O.
- PROVIDED BY SMALLWARES PROVIDER
- PROVIDED BY BUILDING MANUFACTURER
- NOT SHOWN ON FLOOR PLAN, REFER TO INTERIOR ELEVATIONS
- NOT SHOWN ON FLOOR PLAN, REFER TO A7.1
- EQ-9D NOT ANCHORED AND LOCATION IS APPROXIMATE
- 3RD EQ-8'S LOCATION IS MARKET AND OPERATION SPECIFIC
- PROVIDED AND INSTALLED BY GC
- TO BE USED FOR DRYING RACK IN LIEU OF DRAINBOARDS

### GENERAL SCHEDULE NOTES:

ALL EQUIPMENT TO BE INSTALLED BY A LICENSED INSTALLER AND TO THE MANUFACTURERS SPECIFICATIONS

## FINISH MATERIALS SCHEDULE

SYMBOL	ITEM	DESCRIPTION	REMARKS	INTERIOR FINISH CLASSIFICATION
W1	ABET LAMINATI "STRATIFICATO"	8MM 405 WHITE 63 X 165	INTERIOR WALL FINISH	CLASS A
C1	ACOUSTIC CEILING TILE	VINYLROCK 2X4 CEILING TILE VINYL FACED	MAIN BUILDING CEILING FINISH	CLASS A
MP-1	METAL SIDING	PAC-CLAD 16" METAL WALL PANEL COLOR: CITYSCAPE	EXTERIOR FINISH	
MP-2	BRAKE METAL	COLOR: PACIFIC BLUE FINISH: SMOOTH	METAL ROOF, COPING AND CANOPY COLUMNS	
MP-3	BRAKE METAL	COLOR: MATTE BLACK FINISH: SMOOTH	METAL SOFFIT AND METAL COPING	
MP-4	BRAKE METAL	COLOR: CITYSCAPE FINISH: SMOOTH	METAL COPING AT SIDE WALLS	
PL-1	DECORATIVE PANEL	NICHHA MODERNBRICK COLOR: MIDNIGHT FIBER CEMENT PANEL	EXTERIOR FINISH	
PL-2	DECORATIVE PANEL	NICHHA CANYONBRICK COLOR: SHALE BROWN FIBER CEMENT PANEL	EXTERIOR FINISH	
WC-1	DECORATIVE WALL COVERING	CUSTOM VINYL WALL COVERING	COOLER WALLS - EXTERIOR	
F1	RESILIENT VINYL FLOORING	PROTECT-ALL FLOORING COLOR: LIGHT GRAY	MAIN BUILDING AND DRY STORAGE FLOOR FINISH	
B1	METAL COVE BASE	METAL BASE COLOR: WHITE	SERVICE AREA AND TOILET	
GL-1	GALVALUME METAL PANEL	CEILING AND WALL FINISH COLOR: FACTORY FINISH	DRY STORAGE WALLS AND CEILING FINISH	CLASS A

### FINISH MATERIALS SCHEDULE NOTES:

- ALL BUILDING FINISH ITEMS ARE PROVIDED BY CMC.
- CEILING AND WALLS ARE PRE-FINISHED/FACTORY FINISHED AND DO NOT REQUIRE PAINTING IN FIELD.

## GENERAL CONSTRUCTION PROCEDURES

- ALL CONSTRUCTION SHALL BE EXECUTED IN STRICT COMPLIANCE WITH ALL LOCAL CODES AND ORDINANCES. GENERAL CONTRACTOR SHALL COMPLY WITH ALL CONSTRUCTION REGULATIONS AND PROCEDURES ESTABLISHED BY THE LANDLORD.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING APPLICATIONS FOR AND PROCURING ALL PERMITS AND CERTIFICATES AS MAY BE REQUIRED BY GOVERNING AGENCIES AND SHALL BEAR THE COST FOR SUCH PERMITS AND CERTIFICATES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS OF THE SITE.
- EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURATE CONSTRUCTION DOCUMENTS, BUT IF A CONFLICT EXISTS, THE GENERAL CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION. THESE DOCUMENTS INDICATE THE DESIGN INTENT AND IF EXISTING CONDITIONS ARE IN CONFLICT THE GENERAL CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- THE GENERAL CONTRACTOR SHALL MAINTAIN DIRECT SUPERVISION OVER ALL SUBCONTRACTORS AND SHARE RESPONSIBILITY FOR THEIR PERFORMANCE AND QUALITY OF WORK. A LIST OF ALL SUBCONTRACTORS SHALL BE PROVIDED TO THE OWNER AND THE ARCHITECT. A COPY OF THIS LIST SHALL BE POSTED ON THE JOB SITE.
- ALL SIGNAGE AND MOUNTING DEVICES SHALL BE PROVIDED, AND ALL SIGNAGE APPROVALS OBTAINED, BY OWNERS SIGN CONTRACTOR. GENERAL CONTRACTOR SHALL PROVIDE ELECTRICAL POWER AS REQUIRED AND ENSURE SUFFICIENT SPACE AND CLEARANCE IS PROVIDED FOR PROPER INSTALLATION. SIGNAGE CONTRACTOR SHALL APPLY FOR AND SECURE ALL APPROVALS REQUIRED BY ALL LOCAL GOVERNING AGENCIES AND SUPPLY ANY DRAWINGS OR GRAPHIC REPRESENTATIONS REQUIRED BY LANDLORD.
- ALL CONCEALED WOOD BLOCKING USED IN CONSTRUCTION SHALL BE FIRE-RETARDANT TREATED (IF APPLICABLE).
- GENERAL CONTRACTOR SHALL PERFORM AND/OR CAUSE TO BE PERFORMED ALL WORK IN A FIRST-CLASS WORKMANLIKE MANNER AND IN ACCORDANCE WITH EACH TRADE'S ESTABLISHED PROCEDURES AND MANUFACTURERS' RECOMMENDATIONS FOR PRODUCT USE AND INSTALLATION.
- ALL PRODUCTS USED ON THIS PROJECT SHALL BE FIRST QUALITY, NEW, AND FREE OF ASBESTOS OR OTHER ENVIRONMENTALLY UNSAFE SUBSTANCES.
- GENERAL CONTRACTOR SHALL CONTACT ARCHITECT PRIOR TO CONSTRUCTION START DATE TO CONFIRM THAT THEY HAVE THE LATEST APPROVED CONSTRUCTION DOCUMENTS FOR THIS LOCATION.

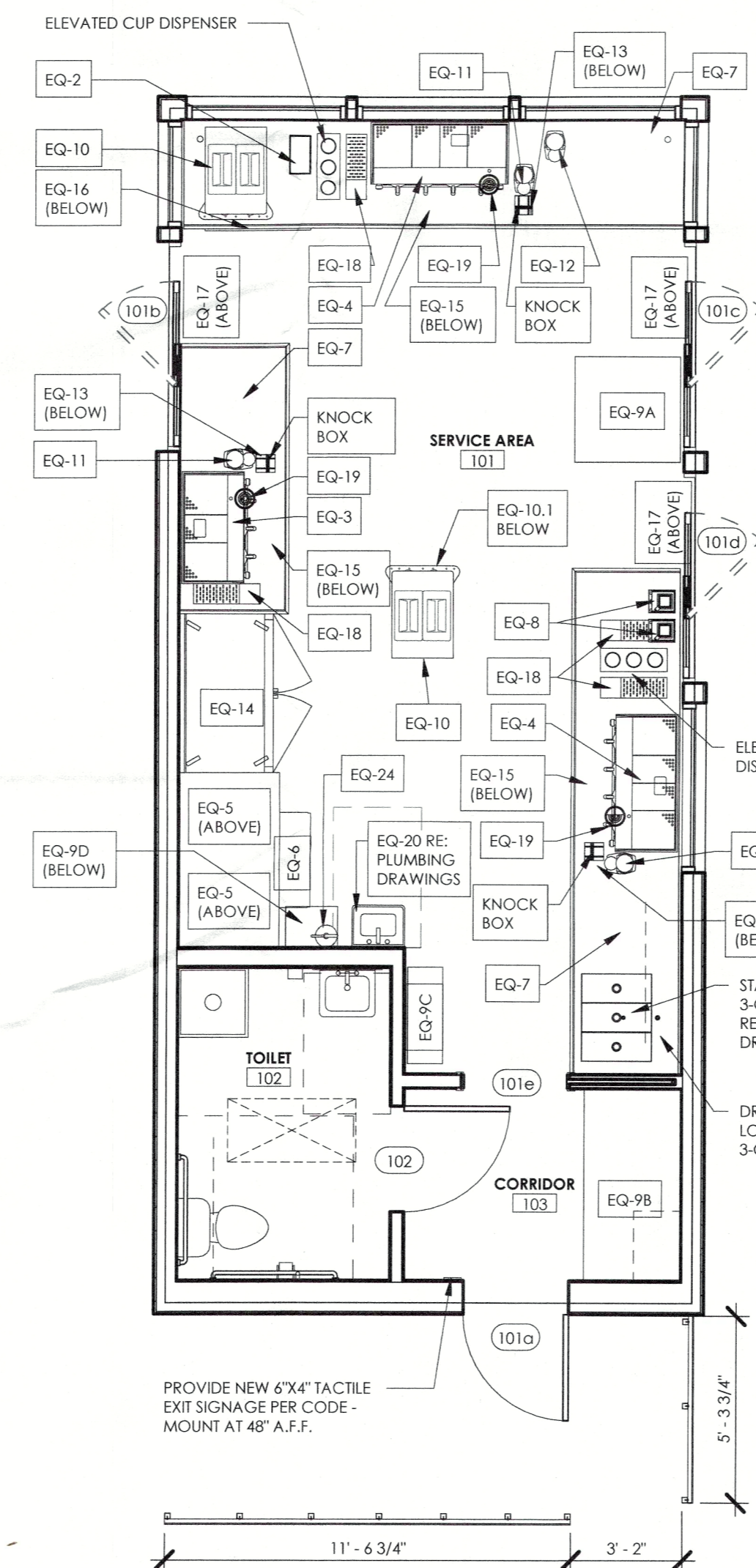
## SUSTAINABILITY GUIDELINES

THE FOLLOWING GUIDELINES TO BE USED BY GENERAL CONTRACTOR ARE VOLUNTARY IN NATURE. IT IS HIGHLY RECOMMENDED THAT THE GENERAL CONTRACTOR FOLLOW THESE GUIDELINES TO THE EXTENT IT IS FEASIBLE.

- IMPROVE INDOOR AIR QUALITY:
  - REDUCE CONSTRUCTION DUST AND AIR PARTICULATES WITH DUST CONTAINMENT SYSTEMS AND/OR SHUT OFF CIRCULATING AIR.
  - CHANGE HVAC FILTERS AT THE CONCLUSION OF THE JOB.
  - USE LOW V.O.C. PAINTS, ADHESIVES, SEALANTS, ETC

## PREFABRICATED BUILDING

THIS BUILDING IS BEING FABRICATED IN A CONTROLLED ENVIRONMENT AND TRANSFERRED TO THE JOB SITE. THIS BUILDING WILL BE FULLY INSPECTABLE ON SITE. 3RD PARTY INSPECTIONS WILL BE PROVIDED FOR STRUCTURAL FRAMING, BUILDING, PLUMBING AND ELECTRICAL.



1 FUTURE PLAN  
1/4" = 1'-0"

## TYPICAL SYMBOL LEGEND

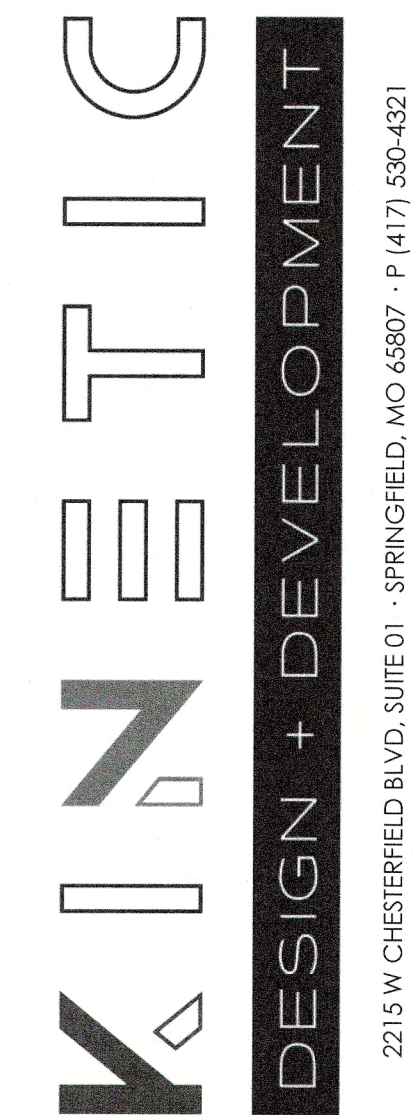
DETAIL DESIGNATION DETAIL NUMBER ROOM TAG ROOM NAME ROOM NUMBER SHEET NUMBER	ELEVATION HEIGHT ELEVATION TAG CEILING HEIGHT WINDOW TAG REVISION DELTA GRID BUBBLE ENLARGED DETAIL FINISH TAG
SQUARE FOOTAGE 12/A3.4	T.O. WALL 106'-0"
1011 1011 ### SF	1 A.D.O. A.D.O.
000A	0'-0"
L 101	W1
12 2	0.00
W1	101
EXISTING WALL	PT-1

## MATERIAL INDICATION

CONCRETE	FINISHED WOOD
DIMENSIONAL LUMBER	GYPSUM BOARD
RIGID INSULATION	PLYWOOD
BATT OR BLOWN INSULATION	GLASS
EARTH/BACKFILL	CMU

## ABBREVIATIONS

ACCOUST.	ACOUSTICAL	L.H.B.	LEFT HAND BEVEL
ADD.	ADDITIONAL	L.H.R.B.	LEFT HAND REVERSE BEVEL
A.F.F.	ABOVE FINISH FLOOR	LN	LINEAR / LINEAL
AF	AS FURNISHED	LVR	LOUVER
AL	AS INSTALLED	MAS	MASONRY
ALT.	ALTERNATE	MATL	MATERIAL
ALUM.	ALUMINUM	MAX	MAXIMUM
ANCH.	ANCHOR	MEZ	MEZZANINE
ARCH.	ARCHITECT	MFRD	MANUFACTURED
B	BOTTOM OF BEAM	MID	MIDDLE
B.B.	BOTTOM OF FOOTING	MIN	MINIMUM
B.D.	BOARD	MISC	MISCELLANEOUS
BKT.	BRACKET	MK	MARK
BLDG.	BUILDING	M.O.	MASONRY OPENING
BLKG	BLOCKING	MTD	MOUNTED
BM	BENCH MARK	MTE	METAL
B.O.	BOTTOM OF	MULL	MULLION
BRC	BASEMENT	NOM	NOMINAL
BSMT	BASIN	NTS	NOT TO SCALE
C	CENTER	O.A.	OVERALL
C.S.	COUNTERSINK	OD	OUTSIDE DIAMETER
CAB.	CABINET	OD	OWNER FURNISHED CONTRACTOR INSTALLED
C.C.	CENTER-TO-CENTER	OFI	OWNER FURNISHED OWNER INSTALLED
CEM.	CEMENT	OHT	OVERHEAD
CF	CONTRACTOR FURNISHED	OFF	OPENING
CFI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	OPF	OPPOSITE
CI	CLEAN OUT	PART	PARTITION
CLG	CEILING	PERM	PRE-ENGINEERED METAL BUILDING
CLC	CLEAN OUT	P.G.	PRESENT GRADE
COL	COLUMN	PLAM	PLASTIC LAMINATE
CONC	CONCRETE	PLAS	PLASTIC
CONF	CONFERENCE	PL	PROPERTY LINE
CONN.	CONNECTION	PLUMB	PLUMBING
CONSTR	CONSTRUCTION	PLY	PLYWOOD
CONT	CONTINUOUS	PP	POWERPOLE
CONTR.	CONTRACTOR	PR	PAIR
COORD	COORDINATE	PVC	POLYVINYL CHLORIDE
COR	CORRIDOR	Q.T.	QUARRY TILE
CTR	CENTER	R	RADIUS
CYL	CYLINDER	RCP	REINFORCED CONCRETE PIPE
D	DEGREE	RE	REFER
C.W.	COLD WATER	R.H.B.	RIGHT HAND BEVEL
DBL	DOUBLE	R.H.R.B.	RIGHT HAND REVERSE BEVEL
D.F.	DEGREE	RL	RAIN LEADER
DEM	DEMOLITION	R.O.	ROUGH OPENING
DEMO	DEMOLITION	RES.	RESILIENT TILE
DIA	DIAMETER	REQD	REQUIRED
DIA. B.	DIAGONAL	REQMT	REQUIREMENT
DIAG	DIAGONAL	R.T.V.	ROTARY-TURBINE VENT
DM	DOWNPOUT	REG	REGULAR
D.O.	DOWNPOUT	SAF	SAFETY
D.S.	DOWNPOUT	SCHD	SCHEDULE
E.L.	EACH	S.C.	SOLID CORE
ELEV	ELEVATION (VIEW)	SECT	SECTION
ELEV	ELEVATOR	SHT	SHEET
E.W.C.	ELECTRIC WATER COOLER	SIM	SIMILAR
EQUIP	EQUIPMENT	SPEC	SPECIFICATION
EXISTG	EXISTING	STND	STANDARD
EXP	EXPOSED	STD	STEEL
EXT.	EXTERIOR / EXTENSION	STRCT	STRUCTURE / STRUCTURAL
F.B.O.	FURNISHED BY OTHERS	SURF	SURFACE
F.E.	FIRE EXTINGUISHER	SURF	SURFACE
F.E.C.	FIRE EXTINGUISHER CABINET	SUSP	SUSPENDED
F.E.B.	FIRE EXTINGUISHER BRACKET	SYSTEM	SYSTEM
FR	FINISH	STOR	STORAGE
FR	FINISH	T.O.	TOP OF
F.G.	FINISH GRADE	UNO	UNLESS NOTED OTHERWISE
F.L.	FLOW LINE	VCP	VIRIBED-CLAY-PIPE
FLASH	FLASHING	VEST	VESTIBULE
FLR	FLOOR	VERT	VERTICAL
F.M.	FACE OF MASONRY	VOL	VOLUME
FOND	FOUNDATION	V.R.B.	VENTRILO-ROOF
FR	FIRE RETARDANT	VCT	VINYL COMPOSITION TILE
FRM	FRAME	W	WIDE
FURN	FURNISHED	W	WOOD
F.R.T.	FIRE RETARDANT TREATED	W.D.	WINDOW DIMENSION
FTG	FOOTING	WDW	WINDOW
FUR	FURNISHING	WRB	WEATHER RESISTANT BARRIER
GA.	GALVANIZED	WRF	WELODED WIRE FABRIC
GAL.	GALLON	WT	WEIGHT
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR		
GL	GALVANIZED IRON		
GLD.	GLASS		
GOVT	GOVERNMENT		
G.S.	GRAVEL STOP		
GENA.	GENERAL		
GEN	GYPSUM		
GENR	GENERAL CONTRACTOR		
H.C.	HOLLOW CORE		
HCL	HOLLOW		
HORIZ	HORIZONTAL		
H	HEIGHT		
HT	HEATING		
HTD	HEATER		
HTR	HOT WATER		
H.W.	HOT WATER		
LD.	INSIDE DIAMETER		
INSUL	INSULATION		
INT.	INTERIOR		
INTV	INTERIOR		
JNT	JOINT		
JST	JOIST		
K.E.S.	KITCHEN EQUIPMENT SUPPLIER		
LAM	LAMINATE		
LAV	LAVATORY		
LG	LONG		



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REVISION:

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G0.1

GENERAL NOTES & SCHEDULES

DATE: NOVEMBER 14, 2024